



VALLEJO ARCHITECTURAL HERITAGE AND LANDMARK COMMISSION

**REGULAR MEETING
JANUARY 16, 2025**

COMMISSIONERS

Angela McDonald (Chair)
Annalissa Quismorio
Ann Adams
Brendan Riley
Jared Chacon
Joshua Sosa
Tanya Hall

HYBRID MEETING

www.Cityofvallejo.net

6:30 PM

**Council Chambers
555 Santa Clara Street
Vallejo, CA 94590**

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom	City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.
PUBLIC COMMENT: Members of the Public may provide public comments during the City Council Meeting in person or via ZOOM (https://ZoomRegular.Cityofvallejo.net) , or via phone, by dialing (669) 900-6833.	For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment
<u>VIEW THE MEETING:</u> There are four different ways you can view this public meeting: • In Person • Watch Vallejo local channel 28 • Stream from the City website: www.cityofvallejo.net/Streaming • Join the Zoom webinar: https://ZoomRegular.Cityofvallejo.net	
Hybrid Options are available for members of the public to participate. To participate remotely	
<u>Option to Join by Computer</u> From your browser go to https://ZoomRegular.CityofVallejo.net to launch and join the zoom application. Meeting ID: 914 0075 0676# Meeting Password: 131313	<u>Option to Join by Phone</u> Dial (669) 900-6833 Enter Meeting ID: 914 0075 0676# Meeting Password: 131313 Press *9 to digitally raise your hand from the phone. Press *6 to unmute/mute
Any supplemental writing related to an agenda item for an open session of a regular meeting that is distributed to all or a majority of all members of the City Council less than 72 hours before the meeting will be posted concurrently on the City's website at www.cityofvallejo.net/agendas Written material distributed during the meeting, will be available at the meeting if prepared by the City or after the meeting if prepared by someone else. Such materials may be obtained from the City Clerk	



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AGENDA

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. CONSENT CALENDAR AND APPROVAL OF AGENDA**
 - A. APPROVAL OF AGENDA**
 - B. APPROVAL OF THE MINUTES**

Recommendation: By Motion Approve November 21st, 2024 Regular Meeting Minutes.
- 5. REPORT OF THE CITY COUNCIL LIAISON**
- 6. COMMUNITY FORUM**
- 7. PUBLIC HEARING**
 - A. 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)**

Recommendation: Staff recommends that the Architectural Heritage and Landmarks Commission find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a) – New Construction or Conversion of Small Structures, and adopt a resolution to approve Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review (LR24-0004) and Exception Permit (EXC24-0010), based on the findings and conditions contained in the Resolution attached hereto.
Contact: Laura Solomon, Associate Planner (707) 648-5436
Laura.Solomon@cityofvallejo.net
- 8. WRITTEN COMMUNICATIONS**

- 9. REPORT OF THE COMMITTEE/BOARD SECREATRY**
 - A. SECRETARY'S REPORT**
 - B. CITY ATTORNEY'S REPORT**
 - C. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION**
 - D. REPORT OF THE ADHOC SUBCOMMITTEES**
 - 1. RECORDS/RESOURCES ADHOC SUBCOMMITTEE**
 - 2. GOAL SETTING ADHOC SUBCOMMITTEE**
 - 3. REVIEW OF VALLEJO MUNICIPAL CODE CHAPTER 16.614 - ARCHITECHTURAL HERITAGE AND HISTORIC PRESERVATION**
- 10. OTHER**
 - A. POTENTIAL FORMATION OF ADDITIONAL SUBCOMMITTEES**
 - 1. POSSIBLE AHLIC WORK PLAN/BUDGET REQUEST**
 - 2. DISCUSS SECRETARY OF THE INTERIOR STANDARDS**
 - 3. DISCUSS AND MAKE RECOMMENDATIONS FOR MINISTERIAL PROCESS FOR NON-CONTRIBUTING HOMES**
 - B. FUTURE AGENDA ITEMS**
 - 1. FUTURE PRESENTATIONS**
- 11. ADJOURNMENT**

ADDITIONAL CITY INFORMATION

Members of the public can:

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- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/subscribe)
- Sign up for emergency alerts at: alertsolan.com

I, Dalia Vidor, Executive Secretary do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to

Angela McDonald (Chair)
Annalisa Quismorio
Ann Adams
Brendan Riley
Jared Chacon
Joshua Sosa
Tanya Hall,

at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at
5:00 P.M., January 13, 2025.

Dated: January 13, 2025

Dalia Vidor

Dalia Vidor, Executive Secretary

MINUTES

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION REGULAR MEETING – 6:30 P.M.

November 21, 2024

1. **CALL TO ORDER**

The meeting was called to order by Chair McDonald at 6:36 pm

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: Chair McDonald, Vice-Chair Hall, Commissioners Adams, Riley, Chacon, Hall, Quismorio

Absent: Commissioner Sosa, and Quismorio

Staff present: Planning and Development Services Director Pollot and Planning Manager Orozco, Assistant City Attorney Zagaroli, Principal Planner Thacker, Associate Planner Solomon

4. **CONSENT CALENDAR AND APPROVAL OF THE AGENDA**

A. APPROVAL OF THE AGENDA

B. APPROVAL OF THE MINUTES

i. July 18, 2024 – Regular Meeting

C. APPORVAL OF CONSENT CALENDAR – None

Action: Commissioner Riley, Second by Commissioner Vice-Chair Hall, and carried unanimously (Absent – Sosa and Quismorio) to approve agenda, approval of the July 18, 2024 - regular meeting; with the following vote:

Vote:

AYES:	Chair McDonald, Vice-Chair Hall, Commissioner Adams, and Riley
NOES:	Commissioner Chacon
ABSENT:	Commissioner Sosa and Quismorio
ABSTAIN:	None

5. **REPORT OF THE CITY COUNCIL LIAISON - None**

6. **COMMUNITY FORM – None**

7. **PUBLIC HEARING**

-
- A. PROJECT TITLE:** 128 Carolina Street - New Single-Family Residence
- PROJECT NUMBER:** Certificate of Appropriateness (COA22-0007)
Development Review (DVR22-0031)
- RECOMMENDATION:** Staff recommends that the Architectural Heritage and Landmarks Commission find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a) and adopt a resolution to approve Certificate of Appropriateness (COA#22-0007) and Development Review (DVR22-0031) based on the findings and conditions contained herein.
- Planning Manager Orozco introduced Associate Planner Solomon.
- Associate Planner Solomon presented the item.
- Commissioners asked questions and staff and the applicant responded.
- Chair McDonald opened the public hearing.
- Speakers – Liana, Abby, Stuart F.
- Chair McDonald closed the public hearing.
- The Commission deliberated the merits of the project, and a motion was made:
- Motion:** Commissioner Chacon, Second by Commissioner Riley, and carried unanimously (Absent – Sosa and Quismorio), with the correction to CEQA Section from 15303(c) to 15303 (a), to find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a) and to approve Certificate of Appropriateness (COA22-0007) and Development Review (DVR22-0031), based on the findings provided in the attached Resolution and subject to the Conditions of Approval provided as Exhibit A to the Resolution.
- B. PROJECT TITLE:** 316 Florida Street - New Single-family Residence
- PROJECT NUMBER:** Certificate of Appropriateness (COA24-0002)
Development Review (DVR24-0004)
Landscape Review (LR24-0004)
Exception Permit (EXC24-0010)
- RECOMMENDATION:** Staff recommends that the Architectural Heritage and Landmarks Commission find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a), and adopt a resolution to approve Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review

(LR24-0004) and Exception Permit (EXC24-0010), based on the findings and conditions contained herein.

Planning Manager Orozco introduced Associate Planner Solomon.

Associate Planner Solomon presented the item.

Commissioners asked questions and staff responded.

Chair McDonald opened the public hearing.

Speakers – None

Chair McDonald closed the public hearing.

The Commission deliberated the merits of the project, and a motion was made:

Motion: Commissioner Riley, Second by Commissioner Chacon, and carried unanimously (Absent – Sosa and Quismorio), continued the action item to a date certain of January 16, 2025.

- C. PROJECT TITLE:** Hospital Building (H1) Modification at Turo University
- PROJECT NUMBER:** Certificate of Appropriateness (COA #23-0006)
- RECOMMENDATION:** Staff recommends that the Architectural Heritage and Landmark Commission find the project exempt from environmental review pursuant to CEQA Guidelines Section 15331 (Class 31 "Historical Resource Restoration/Rehabilitation") and approve Certificate of Appropriateness (COA23-0006) based on the findings provided in the attached Resolution and subject to the Conditions of Approval provided as Exhibit A to the Resolution.

Planning Manager Orozco introduced Principal Planner Thacker.

Principal Planner Thacker presented the item.

Commissioners asked questions and staff and applicant responded.

Chair McDonald opened the public hearing.

Speakers – None

Chair McDonald closed the public hearing.

The Commission deliberated the merits of the project, and a motion was made:

Motion: Chair McDonald, Seconded by Commissioner Adams, find the project exempt from environmental review pursuant to CEQA Guidelines Section 15331 (Class 31 "Historical Resource Restoration/Rehabilitation") and approve Certificate of Appropriateness (COA23-

0006) based on the findings provided in the attached Resolution and subject to the Conditions of Approval provided as Exhibit A to the Resolution, with the following vote:

Vote:

AYES: Chair McDonald, Commissioners Adams, and Riley
NOES: Vice-Chair Hall and Commissioner Chacon
ABSENT: Commissioner Sosa and Quismorio
ABSTAIN: None

8. WRITTEN COMMUNICATIONS

Staff provided the commission the written communication provided by Jimmy Ghenn regarding the Herbert House on how the city needs to appraise it and sell it to save it.

9. REGULAR REPORTS

A. SECRETARY'S REPORT - None

B. CITY ATTORNEY'S REPORT – None

C. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

Commissioner Riley commented on the Herbert House and the City is looking at potential buyers.

D. REPORT OF THE SUBCOMMITTEES

- i. Records/Resources Subcommittee
- ii. Goal Setting Subcommittee
- iii. Review of Vallejo Municipal Code Chapter 16.614 – Architectural Heritage and Historic Preservation.

Commissioner Chacon commented on reaching out to Commissioner Riley and Quismorio about setting up a meeting.

10. OTHER AGENDA ITEMS

A. Potential Formation of Additional Subcommittees

- i. Possible AHLC workplan/budget request
- ii. Review of the Secretary of the Interior's Standards
- iii. Create a ministerial process for non-contributing homes.

B. Future Agenda Items

- i. Future Presentations

11. ADJOURNMENT

The meeting was adjourned at 9:54 p.m.

ANGELA MCDONALD, CHAIR

ATTEST:

CESAR OROZCO, SECRETARY



DATE: January 16, 2025
TO: Architectural Heritage & Landmark Commission
FROM: Laura Solomon, Associate Planner
SUBJECT: **316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)**

PROJECT INFORMATION

Project Summary:

The project consists of a new two-story 3,247 square foot single-family residence with a detached 800 square-foot four-car garage with an 800 square-foot Accessory Dwelling Unit above, on a vacant lot within the Saint (St.) Vincent Historic District. The residence façade is proposed to have James Hardie siding painted beige, black James Hardie roof fascia board with natural wood accent brackets, vinyl windows, and a stone veneer accent below the front porch. The project would retain the existing street tree and also include 1,724 square feet of new drought-tolerant landscaping along Florida Street and throughout the site.

Project Number(s):

Certificate of Appropriateness (COA24-0002)
Development Review (DVR24-0004)
Landscape Review (LR24-0004)
Exception Permit (EXC24-0010)

Location:

316 Florida Street / APN:0055-104-180

Applicant:

Maxwell Beaumont

Owner:

B & E Development LLC

General Plan Land Use Designation:

Primarily Single Family (R-SF)

Zoning District:

Residential Low Density (RLD)

Historic District:

Saint Vincent's Historic District

CEQA:

The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (A) (Class 3, "New Construction or Conversion of Small Structures").

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

RECOMMENDATION

Staff recommends that the Architectural Heritage and Landmarks Commission find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a) – New Construction or Conversion of Small Structures, and adopt a resolution to approve Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review (LR24-0004) and Exception Permit (EXC24-0010), based on the findings and conditions contained in the Resolution attached hereto.

BACKGROUND AND DISCUSSION

Background

On February 21, 2024, Maxwell Beaumont, on behalf of B & E Development, LLC, the property owner (“applicant”), applied for a Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review (LR24-0004) and Zoning Compliance (ZC24-0018) for the development of a new single-family residence with a detached four-car garage with an Accessory Dwelling Unit above on a vacant parcel at 316 Florida Street.

On October 16, 2024, the applicant applied for an Exception Permit to allow for the reduction of the second story setbacks. The project plans were routed to various city departments and outside agencies for their review and the application was determined to be complete by the City on October 18, 2024.

On November 21, 2024, the Architectural Heritage and Landmarks Commission held a public hearing to consider the project. Following the public hearing, the Commission subsequently voted to continue the hearing to January 16, 2025, in order to allow more time to analyze the proposed new structure's massing as it would relate to surrounding properties in the area.

Location and Land Use Context

The project site is located off Florida Street between Branciforte Street and Santa Clara Street. It is bounded by residential uses and Maxwell Alley to the north, residential uses and Santa Clara Street to the east, Florida Street and residential uses to the south and residential uses and Branciforte Street to the west.

State Route 37 is approximately 1.35 miles to the north, Sonoma Boulevard/State Route 29 is approximately 0.3 miles to the east and Interstate 80 (I-80) is approximately 1.7 miles to the east from the subject property. The immediate vicinity of the project site is characterized by existing residential uses (see Figure 1 in Attachment 2). The site's General Plan 2040 Land Use Designation is Primarily Single-Family (P-SF), and the site is zoned Residential Low Density (RLD), which implements the P-SF Land Use designation.

St. Vincent's Historic District

The St. Vincent's Historic District was formally listed in the National Register of Historic Places as the Vallejo Old City Historic District in 2003. The district is generally bounded by Mare Island Way and Butte Street to the west, Marin Street and properties adjacent to Sonoma Boulevard to the east, Quincy Alley to the north and Florida Street, Carolina Street and Kissel Alley to the south (see figure 2 in attachment 4). The district is comprised of mid-nineteenth to late-twentieth century residences, including examples of the Greek & Gothic Revival, Vernacular; Late Victorian such as Italianate, Queen Anne, Eastlake, Shingle Style; along with Colonial Revival, Tudor Revival, Mission, Craftsman, Prairie and Art Deco Styles. Its period of significance is

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

from 1868 to 1947.

Project Description

The project consists of a new two-story 3,247 square foot single-family residence and a detached 800 square-foot four-car garage with an 800 square-foot accessory dwelling unit above, on a vacant 6,500 square-foot parcel (see Figure 3 in Attachment 2). The residence is proposed to have an overall building height of 27 feet and two inches, with a total of four bedrooms and three bathrooms. The new residence and detached garage façades to have James Hardie siding painted beige, black James Hardie roof fascia board with natural wood accent brackets, vinyl windows, and a stone veneer accent below the front porch. The project also includes 1,724 square feet of new drought-tolerant landscaping along Florida Street and throughout the site (see attachment 3 for project plans). An Exception is required to allow for reduced setbacks for the second floor. A Zoning Compliance is required for the proposed accessory dwelling unit to ensure compliance with VMC Chapter 16.303 – Accessory Dwelling Units and, pursuant to state law, will be processed ministerially.

Code Compliance:

I. Required Entitlements

The project requires the following approvals under the Vallejo Municipal Code (VMC):

- Certificate of Appropriateness is required for a proposed single-family dwelling within the Saint Vincents Historic District. VMC Section 16.614.09 – Certificate of Appropriateness, states “a certificate of appropriateness shall be required prior to the construction, demolition, alteration, or relocation of, or addition to, any main or accessory structure or other designated feature in a historic district, or on the property of a designated landmark.” Additionally, VMC Table 16.614-A: Review Authority and Public Notice provides that all new principal structures shall be reviewed by the Architectural Heritage and Landmark Commission (AHLC).
- Development Review and Landscape Review are required for all permits for new construction such as for a proposed single-family residence. VMC Section 16.605.02 (A.1) procedures for a DVR states, “when a development project requires a use permit, variance, or any other discretionary approval, the development review application shall be submitted to the planning division as part of the application for the use permit, variance, or other discretionary approval. Development review decisions shall be made by the review authority for the use permit, variance or any other discretionary permit.” Accordingly, the AHLC has review authority over these entitlements.
- An Exception is required to allow for a 25% reduction of the required minimum setbacks for the second story. Exception review decisions shall be made by the review authority for the use permit, variance or any other discretionary permit. Accordingly, the AHLC has review authority over this entitlement.

II. General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is Primarily Single Family (R-SF). The General Plan characterizes this designation as follows:

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

The R-SF designation applies to residential neighborhoods primarily characterized by detached single-family homes, although some older areas have attached dwellings and small stores. Dwellings typically have front and rear yards, as well as side setbacks. Permitted land uses include single-family homes, in some instances duplexes, triplexes, fourplexes, and small commercial spaces, and public facilities such as schools, religious institutions, parks, and other community facilities appropriate within a residential neighborhood. The maximum permitted residential density in the R-SF designation is nine dwelling units per acre; however, in single-family areas where accessory dwelling units are allowed, maximum permitted residential density is 12 dwelling units per acre.

The project is consistent with the R-SF land use designation in that it proposes a detached single-family home with both a front and rear yard similar to surrounding existing residential development. A total of 1.7 units is allowed on the subject 6,500 square-foot lot. VMC Section 16.104.02 (A) General Rounding states, "fractions of one-half (0.5) or greater must be rounded up to the nearest whole number, and fractions of less than one-half (0.5) must be rounded down to the nearest whole number, except as otherwise provided." As such, the number of allowed units is rounded up to a maximum of two units permitted on the subject 6,500 square-foot lot. The proposed accessory dwelling unit does not count towards density allowed on the site.

Additionally, the project is consistent with applicable General Plan 2040 policies and actions, such as Policy NBE-1.11 - Historic Districts and NBE-2.8 - Infill Development (refer to Table 4 of Attachment 2).

III. Zoning Code Consistency

The project site has a zoning designation of Residential Low Density (RLD). The Zoning Code provides the following description for the RLD Zoning District:

The RLD Zoning District is for low-density residential areas in which permanent single unit residences, including detached and attached (duplexes and townhouses) units, are the primary use. Other residential types including cottages and bungalows around courts may be seen in this district as well as small neighborhood serving retail. This district also allows a variety of neighborhood supportive services, public and educational facilities, open spaces and community facilities. The maximum permitted residential density is nine dwelling units per acre, excluding accessory dwelling units.

VMC Table 16.301 – A: Land Use Regulations, states in part that 'Single-Family, Detached' is permitted in the RLD Zoning District, subject to a limitation that 2-10 units are permitted, subject to Director decision. Since the project consists of a detached single-family residence within the St. Vincent's Historic District, it shall be reviewed by the AHLC (as stated above).

The project is consistent with the applicable development standards in the RLD zoning district, such as setbacks, density, height, landscaping requirements, etc. (see Table 2 in Attachment 2). In addition to the standards mentioned above, the project is subject to the objective design standards for single unit housing (detached and attached) such as building entrances, street facing, building elevations, garage frontage, paving, and driveways (see Table 3 in Attachment 2 for compliance).

IV. Required Findings:

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

Certificate of Appropriateness: VMC Section 16.614.09 (E), requires the review authority, Architectural Heritage and Landmarks Commission, to make the applicable findings prior to granting the Certificate of Appropriateness:

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the historic district or landmark.
2. For projects located in a historic district, the proposed project is consistent with any conservation plan or specific plan adopted for the historic district.
3. For projects that require demolition, the architectural heritage and landmarks commission shall also find, as applicable:
 - a. It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost.
 - b. The retention of the structure constitutes a hazard to public safety.
 - c. The structure is a deterrent to a major improvement program which substantially benefits the city.
 - d. Retention of the structure in the judgment of the commission is not in the interest of the majority within the historic district.
 - e. Conditions of Approval. The director may impose or recommend that the architectural heritage and landmarks commission impose, such conditions in a certificate of appropriateness that are necessary to accomplish the purposes of this code and prevent or minimize adverse impacts upon the public. These conditions shall run with the land and not be affected by a change in ownership.

Development Review: VMC Section 16.605.03 requires the review authority, find the following to make the applicable findings prior to granting the Development Review:

1. Complies with all applicable specific standards and criteria of this Zoning Code;
2. Is consistent with the general plan and any applicable approved specific plan or planned development;
3. Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a major or minor use permit, variance, specific plan, planned development, or tentative map applicable to the project or the location where it is proposed;
4. Is in substantial compliance with any applicable adopted design guidelines;
5. Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;
6. Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area; and
7. That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.

Exception. VMC Section 16.608.05, requires the review authority, find the following to make the applicable findings prior to granting an Exception:

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

1. The exception is necessary due to the physical characteristics of the property and the proposed use or structure or other circumstances, including, but not limited to, topography, noise exposure, irregular property boundaries, or other unusual circumstance;
2. There are no alternatives to the requested exception that could provide an equivalent level of benefit to the applicant with less potential detriment to surrounding owners and occupants or to the general public;
3. The granting of the requested exception will not be detrimental to the health or safety of the public or the occupants of the property or result in a change in land use or density that would be inconsistent with the requirements of the Zoning Code;
4. If the exception requested is to provide reasonable accommodation pursuant to state or federal law, the review authority must also make the following findings in addition to any other findings that this Zoning Code requires:
 - a. That the subject housing or property will be used by an individual or organization entitled to protection;
 - b. If the request for accommodation is to provide fair access to housing, that the request is necessary to make specific housing available to an individual protected under state or federal law;
 - c. That the conditions imposed, if any, are necessary to further a compelling public interest and represent the least restrictive means of furthering that interest; and
 4. That denial of the requested exception would impose a substantial burden on religious exercise or would conflict with any state or federal statute requiring reasonable accommodation to provide access to housing; and
5. The project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.
6. Notification. Notice shall be provided in compliance with the requirements of Chapter 16.602, Common Procedures, Section 16.602.08, Noticing. When a project subject to an exception permit approval and requires a development review permit, use permit variance, an amendment of the Zoning Code or any other discretionary action, the notice for such approval shall also state that the project is subject to an exception.

Staff Analysis:

Staff believes all the applicable Certificate of Appropriateness, Development Review, and Exception findings (as listed above) can be made for the proposed project. Below is a summary of staff's analysis, separated by subject to facilitate review by the Architectural Heritage and Landmark Commission. The specific findings and recommended statements of fact are incorporated into the Resolution attached to this report (Attachment 1).

Architecture

The Certificate of Appropriateness is intended to ensure that the architectural and historical integrity of historic structures and the general character of historic districts are preserved. As proposed, the project would be consistent with the development standards found in VMC Chapter 16.202. Additionally, the architectural style would be compatible with the existing residential neighborhood within the St. Vincent's Historic District. The proposed development on the vacant lot has been designed in a way that would comply with the required setbacks for the first floor. The setbacks for the second floor would be met, with the exception of one side having a required twelve-foot setback. To address the second-floor setbacks, the applicant has requested an Exception to allow a reduction of up to 25% of the required second floor setbacks. Staff believes that the

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

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Exception requested would be appropriate in order to ensure the building architecture is consistent with surrounding neighborhood, as no nearby structures have a recessed second story. Lastly, the façade facing Florida Street would be visually interesting due to the inclusion of a projected covered porch at the primary entrance as well a deck on the second story, and wooden architectural details of accent brackets on the posts.

Landscaping

The VMC requires 20% of the front yard to be landscaped and to have one street tree per every 50 feet of frontage. The proposed project has an existing 50-foot frontage and would protect the existing street tree. As proposed, the front yard would be 91% landscaped, adding 683 square feet of landscaping in the front yard adjacent to Florida Street. Throughout the site, there would be a total of 1,724 square feet of new drought-tolerant landscaping including the existing street tree, 2 evergreen pear trees, 4 fruitless plum trees, coffeeberry, boxwood, lavender, blue-eyed grass and walkable clover groundcover.

Department of Interior Standards for the Rehabilitation of Historic Properties

Pursuant to VMC Section 16.38.260, any new construction within the St. Vincent's Historic District requires a Certificate of Appropriateness. The St. Vincent's Historic District has no formal, adopted design guidelines for new construction.

In 1976, the Federal Government created the Secretary of the Interior's Standards for Rehabilitation ("Secretary's Standards"), which were formally published in 1978 for use in evaluating rehabilitation work in historic districts. The Secretary's Standards provided government officials, architects and homeowners with standardized guidance that could be provided country-wide when faced with rehabilitation and new construction in historic districts. In July of 1985, the AHLC waived the 1973 guidelines and informally adopted the Secretary's Standards for use in evaluating new construction within the Architectural Heritage District.

The Secretary's Standards are generally silent on entirely new structures. Nonetheless, they do include the following statements that staff has used to evaluate the proposed single-family residence (the standards are in bold, and staff's determination follows in italics):

- **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

The proposed single-family residence is being constructed to be visually consistent with the neighborhood due to features such as siding, roof style, and double-hung windows, yet clearly recognizable as a modern building. The building would be constructed with modern materials such as Hardie board siding and metal garage doors. Recreating a false sense of historical features is discouraged with new construction. The proposed single-family residence is proposed to have similar scale and mass, height, setbacks and materials as homes within the district.

- **Not recommended: Introducing a new building, streetscape or landscape feature that is out of scale, or otherwise inappropriate to the setting's historic character.**

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

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The proposed single-family residence contributes to the character of neighborhood by respecting the scale and mass, site location, height, materials and orientation to other residences in the 100 block of Carolina Street, Lozier Alley, and the St. Vincent's District in general. The height of the proposed building is 27 feet and two inches, which is consistent with the average building height of 24 feet of buildings in close vicinity to the subject property. The location of the proposed building facing the street and its garage doors are orientated toward the alley to capture key characteristics of the neighborhood. The proposed setback of 25 feet from the front property line is consistent to the steep front yards of the other residences in the 300 block of Florida Street. The single-family residence will be visually compatible with the existing neighborhood due to the proposed materials horizontal lap siding and wood accents, with a covered porch surrounding the primary entrance, asphalt roof shingles and a combination of double-hung, slider and a large deck on second floor. Window and door placements on the proposed residence continues the established building rhythms along Florida Street.

- **Not recommended: Introducing new construction into a historic district that is visually incompatible or that destroys historic relationships within the district or the neighborhood.**

As stated above, the proposed single-family residence would not be visually incompatible or destroy historic relationships within the district or the neighborhood. The single-family residence would be visually compatible with the existing neighborhood due to the proposed materials horizontal lap siding and wood accents, with a covered porch surrounding the primary entrance, asphalt roof shingles and a combination of double-hung, slider and a large deck on second floor.

Overall, the proposed project would be consistent with the existing streetscape of Florida Street where there is a mix of architectural styles that range from Side Gable Vernacular and Modern Traditional, to more opulent Queen Anne and Eastlake buildings. The Sanborn Maps show that as of 1959, there was a two-story structure with two units on the front half of the property, plus a detached dwelling and two other accessory structures in the rear of the parcel. City of Vallejo Building Division records indicate structure was finalized in April of 1997 Demolition Permit (DM) #97-0002 and the property has since remained vacant. Therefore, the proposal would be spatially compatible to the former residence and to the existing neighborhood, but architecturally, with the modern farmhouse style, it would clearly be perceived as 21st century construction.

NOTICE AND COMMENTS

On November 7, 2024, pursuant to VMC Section 16.602.08 – Noticing, a 14-calendar day notice of this hearing was published in the Times Herald, mailed to all active neighborhood groups and all property owners within 500 feet of the subject property, and any other local agency expected to provide water, wastewater treatment, or other essential facilities or services to the project, as well as to members of the AHLC, the applicant and property owner.

Staff received one letter of support from a neighbor as of writing this report.

ENVIRONMENTAL REVIEW

The project is categorically exempt from the provisions of the CEQA Guidelines (Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15303 (A) (Class 3, "New Construction or Conversion of Small Structures"). The project includes the construction of a new single-family residence.

Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

None of the exceptions to the Class 3 exemption set forth in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource.

CONCLUSION

Based on the analysis contained in this staff report and the project's consistency with General Plan 2040 and the Vallejo Municipal Code, staff recommends that the AHLC find the project exempt from environmental review pursuant to CEQA Guidelines Section 15303(a), and approve Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review (LR24-0004), and Exception Permit (EXC24-0010), subject to the Conditions of Approval provided as Exhibit A of the Resolution.

EXPIRATION

Pursuant to VMC Section 16.602.12(A.2), approval of this Certificate of Appropriateness, Development Review, Landscape Review and Exception Permit shall automatically expire 24 months after its approval unless authorized construction has commenced prior to the expiration date (January 16, 2027) (if approved at this meeting and not appealed).

APPEAL PROCEDURE

VMC Section 16.602.14, Appeals, the applicant, or any party adversely affected by the decision of the AHLC may, within ten days after the rendering of the decision of the AHLC appeal in writing to the City Council by filing a written appeal with a fee as described in the Master Fee Schedule with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the project boundary. The Council may affirm, reverse, or modify any decision of the Planning Commission that is appealed.

Levine Act: Government Code 84308

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$250 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$250 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$250 made to the City Officers, such as the Mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$250 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

ATTACHMENTS

1.	Resolution
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Subject: 316 FLORIDA STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA24-0002), DEVELOPMENT REVIEW (DVR24-0004), LANDSCAPE REVIEW (LR24-0004), AND EXCEPTION PERMIT (EXC24-0010)

2.	Exhibit A - Conditions of Approval
3.	Supporting Information (Tables and Images)
4.	Project Plans
5.	Material Sample Board

CONTACT

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**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #25-XX

A RESOLUTION APPROVING CERTIFICATE OF APPROPRIATENESS (COA) #24-0002, DEVELOPMENT REVIEW (DVR) #24-0004, LANDSCAPE REVIEW (LR) #24-0004, AND EXCEPTION (EXC) #24-0010 TO DEVELOP A NEW SINGLE-FAMILY RESIDENCE

**316 FLORIDA STREET
APN: 0055-104-180**

RECITALS

WHEREAS, on August 29, 2017, the City Council adopted General Plan 2040; and

WHEREAS, the property which is the subject of the above-referenced proposed entitlements (Subject Property) has a General Plan 2040 land use designation of Primarily Single-Family; and

WHEREAS, on June 22, 2021, the City Council adopted a new Zoning Code and Zoning Map; and

WHEREAS, the Subject Property is located in the Residential Low Density Zoning District; and
WHEREAS, on February 21, 2024, B & E Development LLC, property owner ("applicant"), filed an application for a Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), and Landscape Review (LR24-0004), seeking approval for the construction of a new single-family dwelling on a vacant lot at 316 Florida Street (APN:0055-104-180) located in the St. Vincent's Historic District (the "project"); and

WHEREAS, on October 16, 2024, the property owner filed for an Exception (EXC24-0010) to the project to allow for the reduction to the required minimum second story setbacks; and

WHEREAS, on November 7, 2024, pursuant to Vallejo Municipal Code (VMC) Section 16.602.08(A), notice of the hearing by the City of Vallejo Architectural Heritage and Landmark Commission ("Commission") was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the Subject Property and electronically mailed to the members of the Commission and to the applicant; and

WHEREAS, on November 21, 2024, the Commission, after giving all public notices required by State law and the Vallejo Municipal Code, continued the public hearing to its next meeting on January 16, 2025; and

WHEREAS, on January 16, 2025, the Commission conducted a duly noticed public hearing,

WHEREAS, the Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

NOW THEREFORE, based on the record of proceedings, the Commission makes the following findings:

I. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15303 (a) (Class 3, "New Construction or Conversion of Small Structures"). The project proposes new construction within a historic district.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource.

II. FINDINGS RELATING TO THE APPROVAL OF THE CERTIFICATE OF APPROPRIATENESS PERMIT (VMC Section 16.614.09.E)

A. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

FACTS IN SUPPORT: The Secretary of the Interior's Standards for Rehabilitation are applicable to the project and are as follows:

1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Not Applicable. As this project is new construction on a vacant lot, it proposes no changes to the use of a building, or character-defining materials, architectural details, therefore, Rehabilitation Standard 1 is not applicable.

2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Although this project is new construction on a vacant lot, 1959 Sanborn Maps indicate the previous main structure on the Subject Property was a 2-story residential structure which is consistent with the proposed project. City of Vallejo Building Division records indicate removal of this structure was finalized in April of 1997 Demolition Permit (DM) #97-0002. The proposed project complies with Rehabilitation Standard 2.

3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed architectural style of the new construction on the property is compatible with the features, size, scale, and massing of the surrounding neighborhood. The 25-foot front setback, covered porch and horizontal siding with wood accents lend themselves to a modern farmhouse design and will not create a false sense of historical development. The proposed project complies with Rehabilitation Standard 3.

4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no documented changes that have occurred at the Subject Property that would result in acquired historic significance. The proposed project complies with Rehabilitation Standard 4.

- 5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

Not Applicable. As this project is new construction on a vacant lot, there is no preservation of distinctive materials and therefore, Rehabilitation Standard 5 is not applicable.

- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

As this project is new construction on a vacant lot, it proposes no replacement of missing features. The proposed project complies with Rehabilitation Standard 6.

- 7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The proposed project does not include chemical or physical treatments that would cause damage to historic materials, as this is new construction on a vacant lot, and therefore the project complies with Rehabilitation Standard 7.

- 8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

Not Applicable. The project proposes new construction on a vacant lot, therefore, there is a low chance of encountering archaeological resources. Rehabilitation Standard 8 does not apply to the proposed project.

- 9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

As this project is new construction on a vacant lot, it will not destroy historic materials, features, or spatial relationships that characterize the property. The proposed architectural style is compatible with the features, size, scale, and massing of the surrounding neighborhood, which will protect the integrity of the Subject Property and its environment due to the 25-foot front setback, covered porch and horizontal siding with wood accents. Additionally, the creation of a detached structure of this size, including an accessory dwelling unit over a garage with access from provided from the alley is typical of the existing residential neighborhood. The proposed project complies with Rehabilitation Standard 9.

- 10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Not applicable, as the project consists of all new construction located on a currently vacant lot. The proposed project complies with Rehabilitation Standard 10.

B. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.

The project site is within the St. Vincent's Historic District for which there is no adopted conservation plan or specific plan.

C. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (4) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.

Not Applicable. There is no demolition proposed as part of this project.

III. FINDINGS RELATING TO THE APPROVAL OF THE DEVELOPMENT REVIEW PERMIT (VMC Section 16.605.03) FOR THE PROJECT:

1. Complies with all applicable specific standards and criteria of this Zoning Code.

The proposed project is located on a property zoned Residential Low Density (RLD). The RLD zone is intended for low-density residential areas in which permanent single unit residences, including detached and attached (duplexes and townhouses) units, are the primary use. The project is consistent with the RLD zoning district in terms of land use, in that it involves the construction of a new single-family residence within an established neighborhood. The project is consistent with the applicable development standards, such as setbacks, lot coverage, building height, objective design standards, etc. as outlined in VMC Title 16, as proposed and conditioned.

2. Is consistent with the General Plan and any applicable approved Specific Plan or Planned Development.

The site has a General Plan designation of Primarily Single Family (R-SF), which is consistent with the current RLD zoning of the site. The R-SF General Plan designation applies to residential neighborhoods primarily characterized by detached single-family homes. Dwellings typically have front and rear yards, as well as side setbacks. Permitted land uses include single-family homes, in some instances duplexes, triplexes, fourplexes, and small commercial spaces, and public facilities such as schools, religious institutions, parks, and other community facilities appropriate within a residential neighborhood. The maximum permitted residential density in the R-SF designation is 12 dwelling units per acre. The proposed new dwelling is consistent with the permitted density range. The project is consistent with P-SF land use designation in that it involves the construction of a single-family residence within an established neighborhood that is primarily characterized by a mixture of detached single-family residences or multifamily residential. The buildings and its uses are consistent with the applicable actions and policies of the General Plan, such as Policy NBE-1.11 - Historic Districts and NBE-2.8 - Infill Development, and General Plan Designation.

3. **Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a Major or Minor Use Permit, Variance, Specific Plan, Planned Development, or tentative map applicable to the project or the location where it is proposed.**

The proposed single-unit dwelling and associated improvements will be consistent with the applicable development standards outlined in VMC Title 16, as proposed and conditioned. Since the subject parcel is within the St. Vincent's Historic District, the required Certificate of Appropriateness is also under review with this project. No other conditions, Use Permit, Variance, Planned Development, or tentative map condition are applicable to the project.

4. **Is in substantial compliance with any applicable adopted design guidelines.**

VMC Section 16.202.03 – Design Standards for single-unit housing (detached and attached), provides objective and subjective design standards as detailed in Table 3 of Attachment 2. As proposed, the dwelling complies with all applicable development and design standards for single-unit dwellings within the RLD zone.

5. **Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered.**

The proposed dwelling has been designed with consideration to the existing structures within the nearby vicinity. The dwelling features comparable setbacks (to the extent feasible with current setback standards) and massing and incorporates desirable features such as a covered front porch, high degree of fenestration, quality exterior materials, and landscaping improvements which overall relate well to other structures in the neighborhood. The new dwelling will fill a currently vacant lot within an existing neighborhood and will work to complete the urban framework of the neighborhood.

6. **Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area.**

The proposed project demonstrates thoughtful site planning in that it meets all applicable development standards required and as conditioned, and the proposed dwelling is sited to blend with the existing adjacent structures with respect to setback, massing, and architectural design. Therefore, it will serve to protect the value of private and public investments in the area.

7. **That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this Chapter.**

The proposed project is exempt under Section 15303 (a) (Class 3 "New Construction") of the CEQA Guidelines. Furthermore, the City has considered whether any of the exceptions found under Section 15300.2 of the CEQA Guidelines exist, which would preclude the project from being categorically exempt from CEQA. The project is consistent with Section 15300.2 as follows: (a) the site is not located

in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on an open a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

IV. FINDINGS RELATING TO THE APPROVAL OF AN EXCEPTION (VMC Section 16.608.05) FOR THE PROJECT:

- 1. The exception is necessary due to the physical characteristics of the property and the proposed use or structure or other circumstances, including, but not limited to, topography, noise exposure, irregular property boundaries, or other unusual circumstance;**

The project consists of the development of a two-story single-family dwelling. As proposed, the design includes similar massing to other structures in the surrounding neighborhood and meets the required ground-level setbacks. The required second-story setbacks of seven feet and twelve feet would encroach into the proposed floor plan and would significantly reduce the size of second-story dwelling rooms and bathroom. Additionally, the required setbacks would create a different type of architecture from the surrounding neighborhood as no nearby structures have a recessed second story. Therefore, the exception is necessary to keep the proposed architectural design compatible with adjacent structures and uphold the integrity of the surrounding neighborhood.

- 2. There are no alternatives to the requested exception that could provide an equivalent level of benefit to the applicant with less potential detriment to surrounding owners and occupants or to the general public;**

The project consists of the development of a two-story single-family dwelling. As proposed, the design includes similar massing to other structures in the surrounding neighborhood and meets the required ground-level setbacks. There are no alternatives that could provide an equivalent level of benefit to the applicant and there is no potential detriment to surrounding property owners or to the general public.

- 3. The granting of the requested exception will not be detrimental to the health or safety of the public or the occupants of the property or result in a change in land use or density that would be inconsistent with the requirements of the Zoning Code;**

The granting of the exception will not be detrimental to the health or safety of the public or to the occupants of the Subject Property, nor result in a change in land use or density that will be inconsistent with the requirements of the Zoning Code.

- 4. If the exception requested is to provide reasonable accommodation pursuant to state or federal law, the review authority must also make the following findings in addition to any other findings that this Zoning Code requires:**

- a. That the subject housing or property will be used by an individual or organization entitled to protection;**

- b. If the request for accommodation is to provide fair access to housing, that the request is necessary to make specific housing available to an individual protected under state or federal law;
- c. That the conditions imposed, if any, are necessary to further a compelling public interest and represent the least restrictive means of furthering that interest; and
- d. That denial of the requested exception would impose a substantial burden on religious exercise or would conflict with any state or federal statute requiring reasonable accommodation to provide access to housing; and

Not applicable; the exception requested is not pursuant to state or federal law.

- 5. **The project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.**

The proposed project is exempt under Section 15303 (a)(Class 3 “New Construction”) of the CEQA Guidelines. Furthermore, the City has considered whether any of the exceptions found under Section 15300.2 of the CEQA Guidelines exist, which would preclude the project from being categorically exempt from CEQA. The project is consistent with Section 15300.2 as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on an open a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

- 6. **Notification. Notice shall be provided in compliance with the requirements of Chapter 16.602, Common Procedures, Section 16.602.08, Noticing. When a project subject to an exception permit approval and requires a development review permit, use permit variance, an amendment of the Zoning Code or any other discretionary action, the notice for such approval shall also state that the project is subject to an exception.**

On November 7, 2024, pursuant to VMC Section 16.602.08 – Noticing, a 14-calendar day notice of this hearing was published in the Times Herald, mailed to all active neighborhood groups and all property owners within 500 feet of the Subject Property, and other local agencies expected to provide water, wastewater treatment, or other essential facilities or services to the project, as well as to members of the AHLC, the applicant and property owner.

V. RESOLUTION APPROVING THE PROJECT AT 316 FLORIDA STREET:

NOW, THEREFORE, LET IT BE RESOLVED that Architectural Heritage and Landmark Commission hereby finds the project to be exempt from environment review pursuant to CEQA Guidelines, Section 15303(a) (Class 3: “New Construction or Conversion of Small Structures”), and the Commission hereby APPROVES Certificate of Appropriateness (COA24-0002), Development Review (DVR24-0004), Landscape Review (LR24-0004), and Exception (EXC24-0010) based on the analysis contained in the staff report and the findings contained herein and subject to the Conditions of Approval attached as an exhibit.

VI. VOTE

PASSED AND ADOPTED at a regular meeting of the Commission of the City of Vallejo, State of California, on the 16th day of January 2025 by the following vote to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ANGELA MCDONALD, CHAIRPERSON
City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

CESAR OROZCO, SECRETARY
City of Vallejo Architectural Heritage and Landmarks Commission

CONDITIONS OF APPROVAL

**CERTIFICATE OF APPROPRIATENESS (COA24-0002)
DEVELOPMENT REVIEW (DVR24-004)
LANDSCAPE REVIEW (LR24-0004)
EXCEPTION PERMIT (EXC24-0010)
ZONING COMPLIANCE (ZC24-0018)
316 FLORIDA STREET
APN # 0055-104-180**

PERMIT DESCRIPTION: The project consists of a new two-story 3,247 square foot single-family residence with a detached 800 square-foot four-car garage and an 800 square-foot Accessory Dwelling Unit above, on a vacant lot within the Saint (St.) Vincent Historic District. The residence façade will have James Hardie siding painted beige, black James Hardie roof fascia board with natural wood accent brackets, vinyl windows, and a stone veneer accent below the front porch. The project will also include 1,724.26 square feet of new drought-tolerant landscaping along Florida Street and throughout the site.

A. PLANNING DIVISION

Laura Solomon, Associate Planner | laura.solomon@cityofvallejo.net | (707) 648-5391

Pre-Building Permit:

1. Prior to building permit submittal, submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate further development of the project. The approved conditions shall also be included with the building permit set, after the cover sheet.
2. Prior to building permit issuance, the Planning Division shall confirm that the building permit drawings and subsequent construction substantially conform with the approved Planning entitlement.
3. Prior to building permit issuance, the Planning Division shall confirm that the building permit, grading permit and all other drawings and documents substantially conform with the documents and/or representations, whether oral or written that were presented to and approved by the Planning and Development Services Director. Pursuant to VMC 16.602.10.b the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or submitted during the approval process shall be deemed conditions of approval. Any approval may be subject to requirements that the applicant guarantees, warranties, or ensures compliance with the plans and conditions in all respects.

During Construction:

4. Construction activities shall be managed in compliance with the following requirements:
 - a. Site Watering. During the construction of a project, all portions of the site shall be watered as necessary to reduce emissions of dust and other particulate matter, and all stockpiles shall be covered.
 - b. Maintenance. Streets and sidewalks shall be made dirt free at the completion of construction.
 - c. Noise. All construction and transport equipment shall be muffled in accordance with state and federal laws.
 - d. Emissions. Construction and transport equipment shall be operated to minimize exhaust emissions. During construction, trucks and equipment should be running only when necessary.

- e. Hours of Operation. Grading and pile driving operations within ¼ mile of residential units shall be limited to between 8:00 am and 5:00 p.m. on weekdays to ensure compliance with the requirements for construction activity in Subsection 16.502.12.D.1., Maximum Noise Level for Temporary Construction Activity, or as otherwise restricted as part of an approval.
 - f. Water Run-off. All water run-off from construction sites shall be controlled. During construction, trucks and equipment should be running only when necessary and shall comply with Chapter 12.41 of the Vallejo Municipal Code.
5. No person shall make, or cause to suffer, or permit to be made upon any public property, public right-of-way or private property, any excessive noise, annoying noise, amplified sound or vibrations that are physically annoying to reasonable persons of normal sensitivity or that are so harsh or so prolonged or unnatural or unusual in their use, time or place as to cause or contribute to the unnecessary and unreasonable discomfort of any persons of normal sensitivity located at the lot line of the property from which these noises emanate or that interfere with the peace and comfort of residents or their guests, or the operators or customers in places of business in the vicinity, or that may detrimentally or adversely affect such residences or places of business. (VMC Section 16.502.09 (C))
 6. Construction, demolition, and related loading/unloading activities that may generate noise shall be limited to the following: 7 a.m. and 6 p.m. in Monday- Friday, Saturday 9 am- 6 pm. No construction is to occur on Sunday or federal holidays. Construction equipment noise levels shall not exceed the City's maximum allowable noise levels
 7. The fencing for construction sites shall not be installed until a building permit or grading permit has been issued and shall be removed prior to final inspection. In the event that the building permits expire before the construction is completed, the Planning and Development Services Director may issue a temporary use permit pursuant to Chapter 16.339, Temporary Uses, to allow the fencing to remain for a longer period of time. (VMC Section 16.505.08 (B))

Landscaping:

8. Prior to first final building inspection, the landscape architect shall provide a Certificate of Completion and Certificate of Installation according to the Landscape Documentation in accordance with VMC Chapter 16.504.09: Water Efficient Landscape Requirements. The documentation shall include the following:
 - a. Irrigation Scheduling (VMC Section 16.504.11)
 - b. Schedule of Landscape and Irrigation Maintenance (VMC Section 16.504.08)
 - c. Landscape Irrigation Audit Report (VMC Section 16.504.13)
 - d. Soil Management Report (VMC Section 16.504.10)
9. Prior to first final building inspection, all landscaping and irrigation shall be installed in accordance with the approved plans, and the landscape architect shall provide written verification that the landscaping and irrigation have been installed in accordance with the approved landscape plans, particularly with respect to size, health, number and species of plants, and the overall design concept.
10. All landscaping shall be permanently maintained in a healthy and thriving condition at all times, in compliance with the approved landscape plan. Irrigation systems and their components shall be maintained in a fully functional manner consistent with the original approved design or upgraded to reflect current best practices for water efficiency. Regular maintenance shall include but is not limited to:
 - a. Adjusting, checking, and repairing irrigation equipment; resetting automatic controllers; aerating and de-thatching turf areas; adding/replenishing fertilizer, mulch, soil

amendments; insect control; the replacement of dead or diseased plants; pruning; watering; and weeding all landscaped areas.

- b. The trimming of vegetation is necessary to maintain the effective functioning of solar energy facilities and passive solar design features installed both on site and on adjacent properties.
 - c. The trimming of vegetation is necessary to keep pedestrian and bicycle paths clear. (VMC Section 16.504.08 (A))
 - d. Pruning, cultivating, weeding, fertilizing, replacement of plants, and watering on a regular basis.
 - e. Pruning or removal of overgrown vegetation, cultivated or uncultivated, that may harbor rats, vermin, or other nuisances, or otherwise be detrimental to neighboring properties.
 - f. The removal of dead, decayed, diseased, or hazardous trees, weeds and debris that create an unsightly appearance and may be dangerous to public safety and welfare or detrimental to neighboring properties or property values. Compliance shall be by removal, replacement, or maintenance.
 - g. Landscaping (trees, shrubs, ground cover, turf, etc.) which, due to accident, damage, disease, lack of maintenance, or other cause, fails to show a healthy appearance and growth, shall be replaced. Replacement plants shall conform to all standards that govern the original planting installation, approved landscaping plan, or as approved by the director. (VMC Section 16.504.08 (D))
11. Litter shall be removed from all landscaped areas in a timely fashion. (VMC Section 16.504.08 (B))
12. Turf areas shall be mowed on a regular basis and be kept green. Accumulation of leaves, twigs, bark, and other similar materials shall be removed on a regular basis. Planting areas shall be kept free of weeds at all times. (VMC Section 16.504.08 (C))

Fences, Walls and Screening:

13. Fencing and walls shall be continuously maintained with no sign of rust or disrepair. Any graffiti shall be removed within forty-eight hours of discovery by the property manager. (VMC Section 16.505.02 (B)).
14. All exterior mechanical equipment, whether on a roof, on the side of a structure, or located on the ground, shall be screened from public view. Exterior mechanical equipment to be screened includes, without limitation, heating, ventilation, air conditioning, refrigeration equipment, plumbing lines, ductwork, transformers, smoke exhaust fans, water meters, backflow preventers, service entry section, back-up and emergency generators, and similar utility devices.
- a. Screening shall be architecturally integrated into the main structure with regard to materials, color, shape, and size to appear as an integral part of the building or structure.
 - b. Equipment shall be screened on all sides, and screening materials shall be opaque.
 - c. When screening with plants, evergreen types of vegetation shall be planted and maintained. Plant material sizes and types shall be selected and installed so that, at the time of building occupancy, such plants effectively screen their respective equipment.
 - d. The use of wood expanded metal lath, and chain link for the purpose of screening is prohibited. (VMC Section 16.505.10)

Lighting:

15. Lighting shall be designed, located, and installed to be directed downward or toward structures, be shielded or fully shielded, and shall be well-maintained in order to prevent glare, light trespass (unwanted light on adjacent lots and public rights-of-way), and light pollution to the maximum extent feasible. No permanently installed lighting shall blink, flash, or be of unusually high

intensity or brightness, as determined by the Planning and Development Services Director. (VMC Section 16.506.04 (B))

Overall Project:

16. This entitlement shall automatically expire within two years of the effective date of this approval, on January 16, 2027, unless the use is exercised or extended (VMC Section 16.602.12 (A)). Issuance of a building permit shall constitute exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - a. The building permit expires.
 - b. Final inspection is not completed, or certificate of occupancy issued within the time specified as a condition of project approval.
 - c. The rights granted under the permit are not exercised within one year following the earliest to occur of the following: issuance of a certificate of occupancy; or if no certificate of occupancy is required, the last required final inspection for the new construction. (VMC Section 16.602.11 (B))
17. The Planning and Development Services Director may approve a one-year extension of any permit or approval granted for a residential or non-residential project under the Zoning Code upon receipt of a written application and fees received fifteen calendar days) before the expiration date with the required fee prior to expiration of the permit. (VMC Section 16.602.11 (C.1))
18. No change in the use for which a permit or other approval has been issued is permitted, in accordance with Government Code section 66411.7.
19. For new developments, utilities including, but not limited to, all electrical, telephone, cable television, fiber-optic cable, gas, water, sewer, irrigation/recycled water, and similar distribution lines providing direct service to a project shall be installed underground within the site. This requirement may be waived by the Planning and Development Services Director upon determining that underground installation is infeasible, or the electrical line is otherwise exempt from an under-grounding requirement. (VMC Section 16.501.10)
20. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

B. Building Division

Staff Contact: Sergio Caldera | sergio.caldera@cityofvallejo.net | (707) 648-4383

1. Plans and permits will be required for building, mechanical, plumbing, and electrical work per California Code of Regulations, Title 24 and applicable City Ordinance in effect at the time of the completed Building Permit application date and required fees shall be paid at the time of application.

2. Soils report will be required for foundation design plan reviews.
3. 2025 California Code of Regulations applies.
4. Fees will apply to the current fiscal year of permit applications

C. Water Department

Staff Contact: Melissa Cansdale | melissa.cansdale@cityofvallejo.net | (707) 553-7223

1. **CODE REQUIREMENTS.** All code requirements as stated in Title 11 of the Vallejo Municipal Code (VMC) and Vallejo Standard Specifications and Standard Drawings adopted in 2011 (VSSSD) that apply to this project shall be conformed to. The project is being made aware of codes that require extra attention by the following items.
2. **WATER SYSTEM PLANS (VSSSD Section 4.1).** All water system improvements shall be consistent with the latest Vallejo Water System Master Plan, prepared by Kennedy/Jenks Engineers. Prior to Improvement plan approval and building permit issuance, water system improvement plans shall be submitted to the Water Department for review and approval, and shall contain at least:
 - a. Location and size of fire sprinkler service connection(s).
 - b. Location and size of existing and proposed domestic service connection(s).
 - c. Location and size of irrigation service connection(s), if any.
 - d. Location of fire hydrants.
 - e. Location of structures with respect to existing public water system improvements, such as mains, meters, etc.
 - f. Location and size of any new water mains.
 - g. Location and size of backflow prevention devices (required on water service connections to irrigation systems, certain commercial water users, and to commercial fire sprinkler systems, per City Ordinance 922 N.C. (2d).
3. **FIRE FLOW REQUIREMENTS (VSSSD Section 4.1).** Fire flow requirements of the Fire department shall be complied with. Fire flow at no less than 25 psi residual pressure shall be available within 1,000 feet of any structure. One half of the fire flow shall be available within 300 feet of any structure.
 - h. For single family residential units, the fire flow is 1,500 gpm.
 - i. For other developments, see the Vallejo Water System Master Plan, 2015, prepared by Kennedy Jenks.
4. **HYDRAULIC CALCULATIONS (VSSSD Section 4.1).** Prior to Improvement Plan and building permit issuance, hydraulic calculations shall be submitted to the Water Director demonstrating that the fire flow requirements are complied with.
5. **FIRE PROTECTION SYSTEMS (VSSSD Section 4.1).** Fire hydrant placement and fire sprinkler system installation, if any, shall meet the requirements of the Fire Department. For combined water and fire services, the requirements of both the Fire Department and the Vallejo Water System Master Plan, with latest revisions, shall be satisfied.
6. **WATER EASEMENTS (VSSSD Section 4.1).** Easements shall be granted for all water system improvements installed outside the public right-of-way in the City's Standard Form for Grant of Water Line Easement with the following widths:
 - a. 15 ft. wide (minimum) for water mains.
 - b. 10 ft. wide (minimum) for fire hydrants, water meters, backflow preventers, double detector check valves, etc.
 - c. Other facilities will be reviewed by the Water Department.

7. WATER METERS (VMC 11.04.110 and 11.16.090). Each parcel shall be metered separately and shall have a separate fire sprinkler service connection.
8. WATER SERVICE BONDS AND FEES (VMC Sections 11.16, 11.18, 11.20 and 11.24). Water service shall be provided by the City of Vallejo following completion of the required water system improvements and payment of applicable fees. Performance and payment bonds shall be provided to the City of Vallejo prior to construction of water system improvements. Fees include those fees specified in the Vallejo Municipal Code including connection and elevated storage fees, etc., and fees for tapping, tie-ins, inspections, disinfection, construction water, and other services provided by the City with respect to the water system improvements. The Water Department may be contacted for a description of applicable fees. These fees have to be paid prior to issuance of the building permit.
9. GENERAL CONDITIONS OF APPROVAL
 - a) Apply and pay for Fire Flow Test with the Water Department in order to determine operation of sprinkler system and final service size.
 - b) Provide water meter and service sizing calculations per most recent California Plumbing Code, include a water fixture count table.
 - c) As of January 1, 2018, all units in multi-family, commercial, or combination thereof, buildings shall be individually metered (if existing plumbing allows or is re-configured) by the City, additional meters at the owner/applicant's expense; or, master metered by the City, and sub-metered by the property owner, with approved/certified meters. Per California Senate Bill 7 (SB7).
10. WATER SYSTEM INSTALLATION. Prior to occupancy or final building inspection, install water system improvements as required. Backflow device/s where required shall be installed in areas hidden from public view and/or shall be mitigated by landscaping.

D. Fire Prevention

Staff Contact: Moises Zarate | moises.zarate@cityofvallejo.net | (707) 648-4565

1. All buildings, facilities, and improvements shall be accessible to fire department apparatus by way of approved access roadways.
2. Prior to Final Inspection, in accordance with the 2019 CFC, approved address numbers shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall clearly contrast with their background. The characters shall be a minimum of 4" high with a 1/2" stroke. The size of the building and distance or location of the address numbers from the roadway may necessitate larger numbers.
3. All roof material shall be rated class "C" or better.
4. Provide smoke detectors in all sleeping rooms and common hallways. Detectors shall be hardwired, interconnected with battery backup. Electrical circuits supplying detectors shall be separate dedicated lines with no other devices on the circuits.
5. Provide carbon monoxide detectors outside each sleeping area in the immediate vicinity of all bedrooms.
6. Emergency escape and rescue openings are required in each bedroom in accordance with the 2019 CA Building Code.

7. An NFPA 13D automatic fire sprinkler system is required for all new residential structures, please submit 2 sets of plans and calculations to the Fire Prevention Office and obtain a permit prior to installation. Adequate pressure and GPM verification is required prior to residential construction.
8. Provide a one-hour fire separation between the R-3 and U Occupancy.
9. A final inspection from the Fire Prevention Division is required.

E. Vallejo Flood and Wastewater

Staff Contact: Mariah Henderson | mhenderson@vallejowastewater.org | (707) 652-7810

1. Utility site plan will need to show required two-way cleanout within 2 feet of the foundation where waste plumbing exits the building and District cleanout near the public right of way.
2. Add the following notes to plans:
 - a. All sewer work shall conform to the Vallejo Wastewater Standards,
 - b. Call Vallejo Wastewater a minimum of 24 hours in advance for inspections.
3. Applicant will be required to pay applicable fees and obtain VFWD Connection Permit upon final plan approval.

Attachment 2 – Supporting Information (Tables and Images)

Table 1 – Surrounding Uses	
Direction	Land Uses
North	Residential Lozier Alley
East	Residential Branciforte Street
South	Residential Carolina Street
West	Residential Butte Street

Table 2 – Residential Low Density Development Standards (VMC Chapter 16.202)			
Code Section	Development Standard	Proposal	Compliant
Table 16.202-A: Maximum Density (units per acre)	9	1	Yes
Table 16.202-A: Minimum Lot Size (sq. ft.)	5,000 sq. ft.	6,500 sq. ft.	Yes
Table 16.202-A: Minimum Lot Width	50 ft.	50 ft.	Yes
Table 16.202-A: Maximum Height (ft.)	35 ft.	27 ft. 2 in.	Yes
Table 16.202-A: Street Frontage	15 ft.	50 ft.	Yes
Table 16.202-A: Interior Side	5 or 10 ft.	5 ft.	Yes, for Narrow Lots, the setback may be 10% of the lot width
Table 16.202-A: Rear	5 ft.	20 ft.	Yes
Table 16.202-A: Garage Front/Rear	20 or 5 ft.	20 ft. from rear	Yes
Table 16.202-A: Maximum Lot Coverage (% of Lot)	50%	35.3%	Yes
Table 16.202-A: Covered Parking	1	1	Yes
Table 16.202-A: Required Landscaping	20% of Front Yard	91% (683 sq. ft.)	Yes
Table 16.204-A: Street Trees (ft. frontage)	1 per 50 ft. of frontage 50 ft. frontage = 1 street tree	1	Yes
Table 16.202-A – Fence Height Limit Rear and Side	6 ft.	6 ft.	Yes

Attachment 2 – Supporting Information (Tables and Images)

Table 3 – Design Standards for single-unit housing (detached and attached) Development Standards (VMC Chapter 16.203)			
Code Section	Development Standard	Proposal	Compliant
16.202.03.A Design of Building Additions	Rooflines, exterior materials, windows, railings, porches, and other design elements shall be designed in the same style as the existing building unless an alternative design is approved through Chapter 16.605 , Development Review.	This project is new construction and is designed to be compatible with the existing established residential neighborhood.	Yes
16.202.03.B Building Entrances	The principal entry shall be in a visible location facing the street and shall incorporate a projection (e.g., porch) or recess, with a minimum depth of five feet. A reduction in the depth of the projection or an alternative design that create a welcoming entry feature facing the street, such as a trellis or landscaped courtyard entry, and other design approach that is typical of the architectural style of the building based on documentation provided by the applicant may be approved subject to the provisions of Chapter 16.605 , Development Review. (See Figure 16.202-D for example.)	The principal entry is in a visible location facing Carolina Street through a covered porch that projects 6.5 feet from the structure creating a welcoming architectural style.	Yes
16.202.03.C Architectural Articulation	Buildings shall include design features to create visual variety and avoid a large-scale and bulky appearance. 1. No street-facing facade shall run in a continuous plane of more than twenty-five feet without a window or a minimum four-foot projection, offset, or recess of the building wall at least one foot in depth. Building entrances and front porches, and projections into required front or street side yards such as stoops, bays, overhangs, chimneys, and trellises count towards this requirement. 2. Building elevations abutting street side yards shall be designed to provide at least one horizontal plane break of at least 3 feet, and one vertical break of at least one foot. Alternative designs to create consistency with the architectural style of the building may be approved subject to the provisions of Chapter 16.605 , Development Review. 3. Materials. All materials shall allow for long-term durability and appearance. The exterior use of plywood or unfinished aluminum as siding materials is prohibited unless approved by the director following review and approval	As proposed the building façade features multiple projections including a 6.5-foot-deep covered porch and a second story deck which creates visual variety and avoids a bulky appearance. The use of Hardie siding and high-quality paint will provide long-term durability and appearance.	Yes

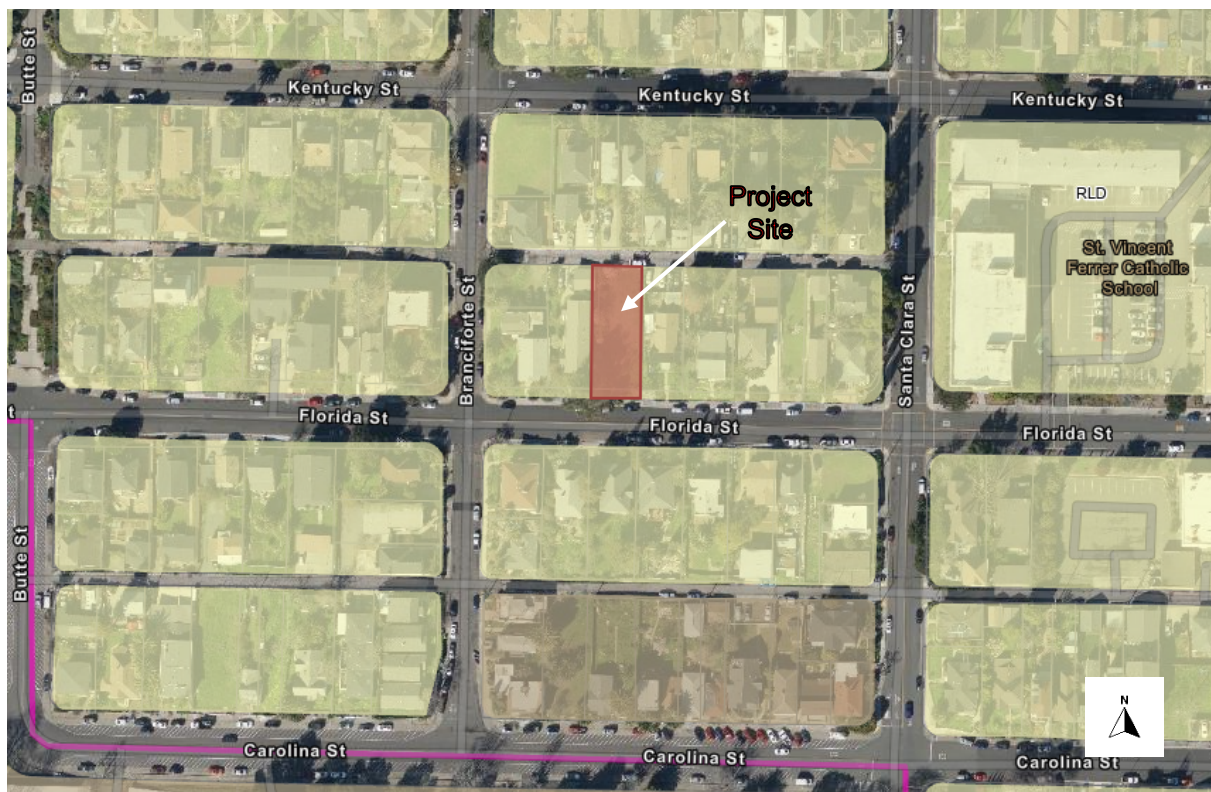
Attachment 2 – Supporting Information (Tables and Images)

	under Chapter 16.605 , Development Review.		
16.202.03.D Garage Frontage	1. Where an attached garage is located on the front half of the lot and garage doors face a street, garage width shall not exceed fifty percent of the width of the front facade of the building (forty percent on lots wider than one hundred feet). (See Figure 16.202-E) 2. On front facades with both a two-car garage and a separate single car garage, (a total of three garage doors) the facades of the two garages must be offset a minimum of two feet.	The garage is located in the rear half of the lot and faces the alley behind the residential structure.	Yes
16.202.03.E Paving	The maximum amount of paving (impervious surface) in street-facing yards is fifty percent of the required yard.	As proposed the front yard will be 91% landscaped and have a 4-foot impervious concrete walkway leading to the residential structure.	Yes
16.202.03.F Driveways	In addition to any other applicable requirements of Chapter 16.508, Off-Street Parking and Loading, curb cuts and driveways shall comply with the following: 1. Driveway approaches (curb cuts) are permitted only to provide access to garages, carports and parking spaces. 2. A maximum of one driveway up to 20 feet wide is permitted to serve a single unit. Driveways serving two or more units shall be the minimum width required by the Zoning Code. 3. All driveways shall be setback at least 5 feet from side property lines. 4. Driveways must have minimum three-foot wide planted area along a side or rear lot line	The proposed driveway approach is designed to access the detached garage from the alley. The driveway will be setback 7'-8" and 10'-4" from the side property lines with planted areas and paver stones along each side.	
16.202.03.G Alley Access	A detached garage or carport is permitted to have access to the alley if: 1. The garage or carport entrance is setback a minimum of 5 feet from the rear property line; 2. The garage door does not cross the property line when opened or closed; 3. The alley is paved; and 4. The director or traffic engineer finds that such access will not adversely affect vehicle or pedestrian use of the alley.	The detached garage will be setback 20 feet from the rear property line and the garage door will not cross the property line. Additionally, the alley is paved and the access will not adversely affect vehicle or pedestrian use of the alley.	Yes

Attachment 2 – Supporting Information (Tables and Images)

Table 4 – General Plan 2040 Policies and Actions	
Policies and Actions	Staff's Analysis
- Policy NBE-1.11 – Historic Districts. Preserve the integrity of the City's historic districts, including downtown, as physical changes occur within them.	- <i>The proposed single-family residence architectural style preserves the integrity of the St. Vincent's Historic District due to its use of materials and textures similar to the features, size, scale, and massing of the surrounding neighborhood.</i>
- Policy NBE-2.8 Infill Development. Promote infill development targets vacant and underutilized sites for community-desired and enhancing uses that is compatible with surrounding uses.	- <i>Underutilized vacant lot within a developed historical district.</i> - <i>The single-family residence will enhance and is compatible with the surrounding uses, which are primarily single-family residences.</i>

Figure 1 – Vicinity Map



Attachment 2 – Supporting Information (Tables and Images)

Figure 2 – St. Vincent Historic District

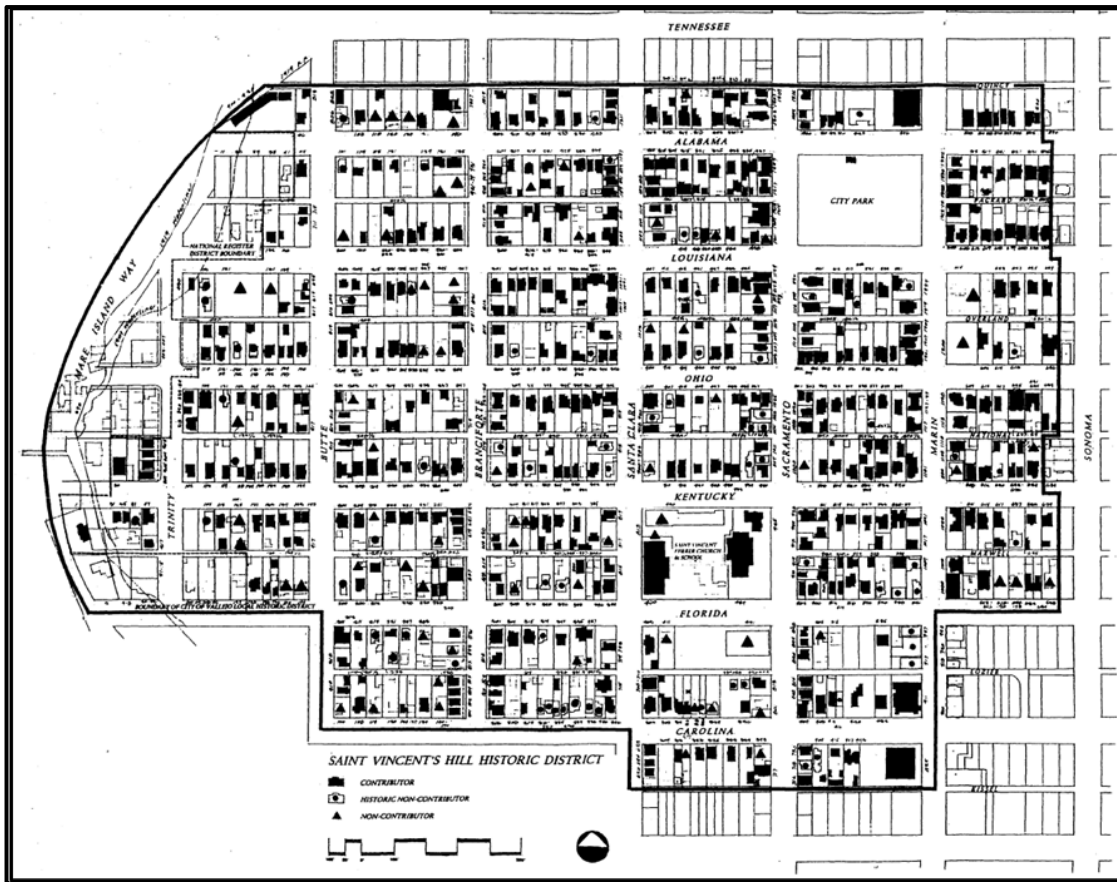


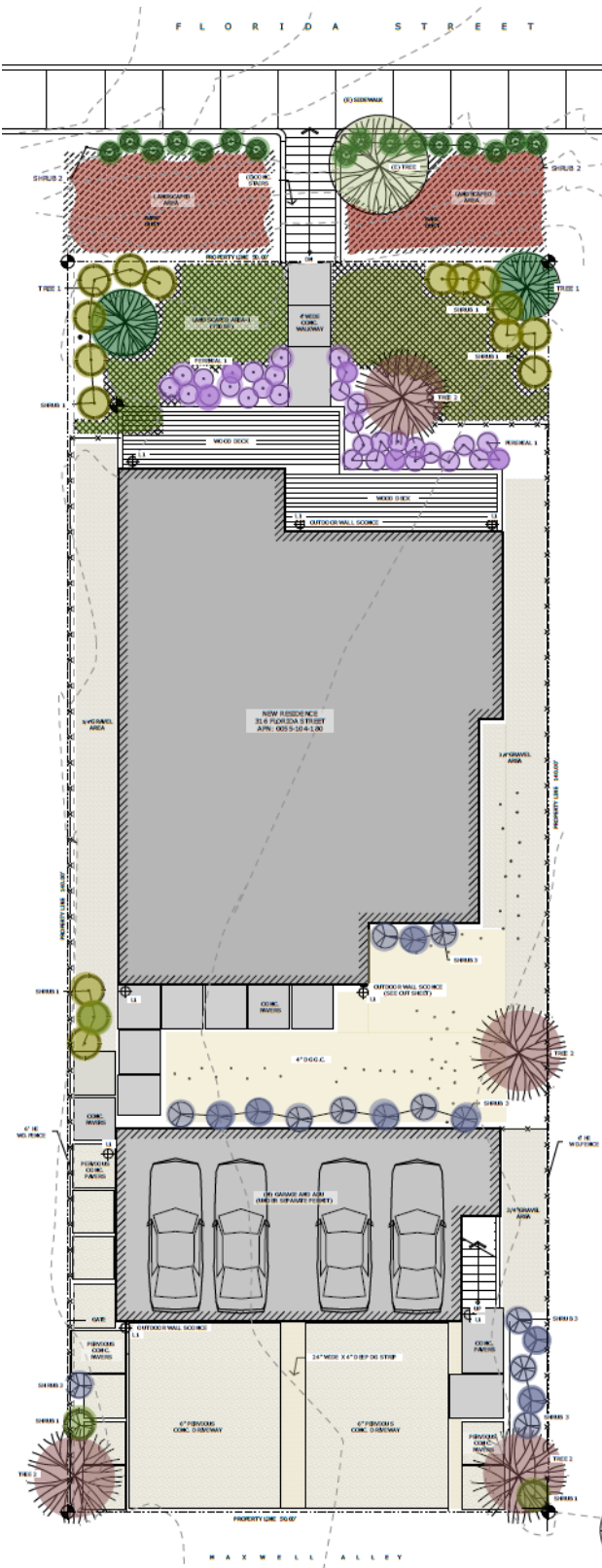
Figure 3 – Existing Conditions



Figure 4 – Proposed Front Elevation



Figure 5 – Proposed Landscaping Plan



LANDSCAPE PLANT LIST

SYMBOL	IMAGE	PLANT NAME	WATER USE	PLANTING SIZE
TREE 1		EVERGREEN PEAR PYRUS KARIKARE	MODERATE .40-.60	24" BOX
TREE 2		FRUITLESS PLUM PRUNUS CERASIFERA	LOW .20-.40	24" BOX
SHRUB 1		CALIFORNIA COREOPSIS RHAMNUS CALIFORNICA	LOW .10-.30	1 GALLON
SHRUB 2		AFRICAN BOXWOOD HYDRANGEA AFRICANA	LOW .10-.30	1 GALLON
SHRUB 3		ENGLISH LAVENDER LAVANDULA ANGUSTIFOLIA	LOW .10-.30	1 GALLON
PERENNIAL 1		BLUE EYED GRASS SISYRINCHUM ANGUSTIFOLIUM	LOW .10-.30	1 GALLON
GROUNDCOVER		TURFCLOVER	.10-.30	SEED
		BARK DUST	ANTI-DESSICANT	

316 FLORIDA STREET
VALLEJO CALIFORNIA 94590

GENERAL NOTES

THESE PLANS PREPARED BY BEAUMONT + ASSOCIATES ARE INTENDED FOR USE ONLY ON THE LOT OR PROPERTY FOR WHICH THEY WERE DESIGNED AND SHALL REMAIN THE PROPERTY OF BEAUMONT + ASSOCIATES. THESE DRAWINGS ARE NOT INTENDED TO BE COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY BEAUMONT + ASSOCIATES OR THE OWNER OF ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS. PERMISSION TO REPRODUCE OR REUSE THESE DRAWINGS MUST BE OBTAINED FROM THE ARCHITECT IN WRITING. USE OF THESE DRAWINGS IS OTHERWISE PROHIBITED.

ALL INFORMATION PERTAINING TO THE SITE SHALL REMAIN THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE TOPOGRAPHICAL SURVEYS, STREET AND UTILITY IMPROVEMENTS, GEOTECHNICAL REPORT(S) SITE GRADING, EXCAVATION AND ALL OTHER SITE RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION AVAILABLE TO BEAUMONT + ASSOCIATES.

THE STRUCTURAL DRAWINGS HAVE BEEN PREPARED ON THE INFORMATION AND CALCULATIONS FURNISHED BY THE STRUCTURAL ENGINEER. THE ENGINEER IS RESPONSIBLE FOR THE STRUCTURAL DOCUMENTS AND THEIR CORRECTNESS.

THESE DRAWINGS ARE INTENDED FOR USE IN A BIDDED CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS/HER AGENT(S) IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTOR SHALL USE THESE PLANS PREPARED BY BEAUMONT + ASSOCIATES.

WHEN MATERIAL IS SELECTED BY THE OWNER, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN ALLOWANCE AMOUNT. THE AMOUNT SHALL BE REFLECTED IN ALL COST ESTIMATES. MATERIAL SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH COST ESTIMATES.

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE DOCUMENTS. THE CONSTRUCTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND BEAUMONT + ASSOCIATES FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR SUBSEQUENT OWNER(S) FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH ARE BEYOND THE CONTROL OF BEAUMONT + ASSOCIATES.

EXAMINATION OF THE SITE: THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND THOROUGHLY SATISFY HIMSELF/HERSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL GRADES, MEASUREMENTS AND CONDITIONS AFFECTING HIS/HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF THE SAME.

ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTABLE PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY ALL WORK SHALL BE IN COMPLIANCE WITH ACCEPTABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMBC), UNIFORM FIRE CODE (UFC), THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION INSTITUTE (ACI), NATIONAL PLUMBING CODE (NPC), CALIFORNIA STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL CODES AND LEGISLATION.

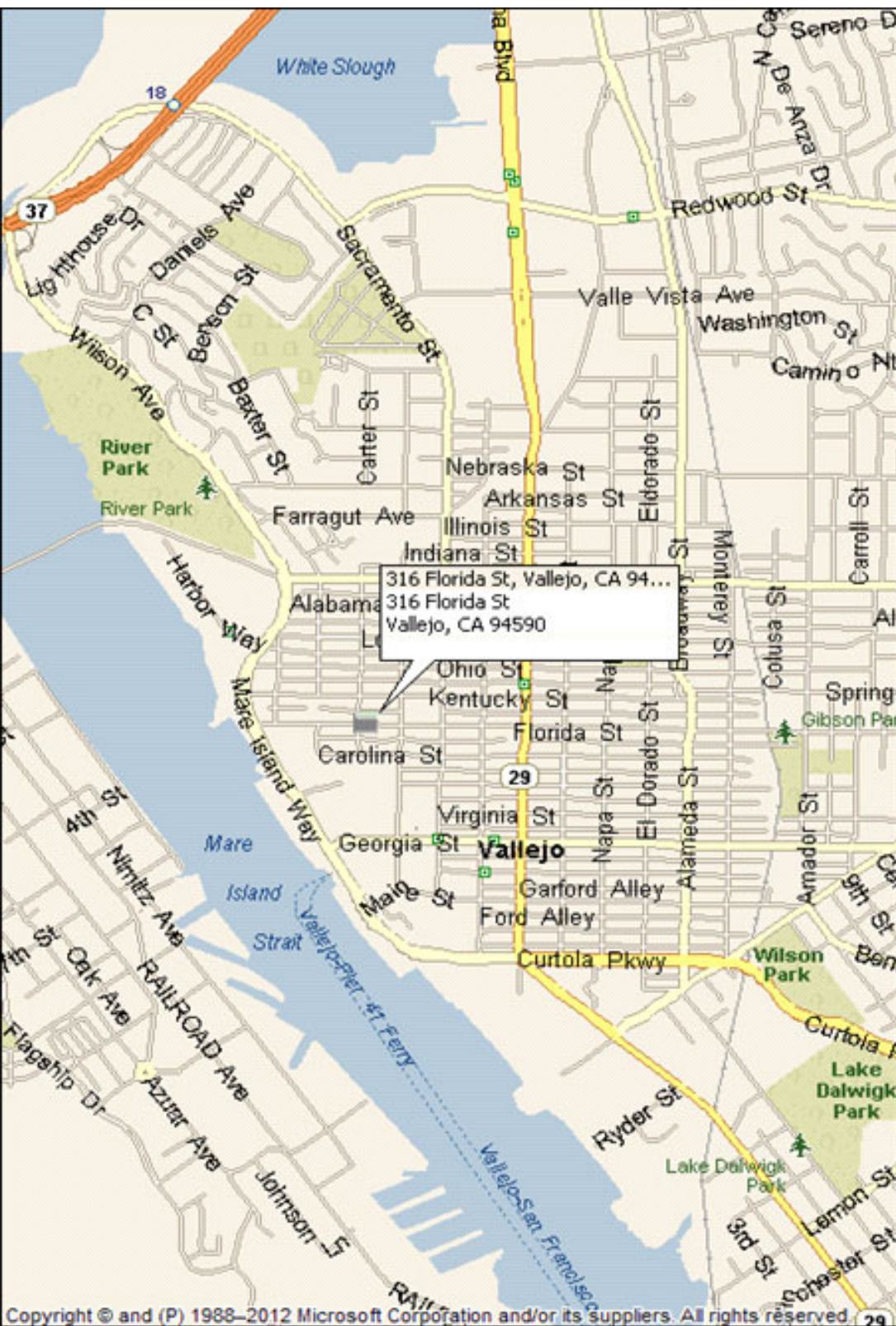
THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING BEAUMONT + ASSOCIATES AND OR THE ENGINEER OF ANY UNUSAL OR UNFORESEEN STRUCTURAL CONDITIONS, DISCREPANCIES OR CHANGES FROM THE PLANS BEFORE PROCEEDING WITH THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIAL AND FABRICATING ITEMS.

ADEQUATE SUPERVISION AND PERIODICAL INSPECTIONS DURING THE CONSTRUCTION PHASE IS RECCOMENDED. THE OWNER SHALL BE RESPONSIBLE TO ENSURE THAT INSPECTION AND / OR SUPERVISION IS PROVIDED BY QUALIFIED PERSONS.

THESE PLANS SHALL NOT BE CONSIDERED COMPLETE AND READY FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

VICINITY MAP



PROJECT DATA

OWNER:
PRO PLAYER INVESTMENTS
2236 RALSTON ROAD
SACRAMENTO CALIFORNIA 95821
CONTACT: BRANDON JAMES
(916) 770-7707

SITE INFORMATION:
316 FLORIDA STREET
VALLEJO
CALIFORNIA 94590
APN:0055-104-180
ZONING: R1
USE: SINGLE FAMILY DWELLING
CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP: R-3/U
FIRE SPRINKLERS: YES
NUMBER OF STORIES: 2

SQUARE FOOTAGE:
LOT AREA: 7,000 SF
1ST FLOOR: 1,288 SF
2ND FLOOR: 1,549 SF
DECKS: 764 SF
TOTAL AREA: 3,247 SF (COND)
BLDG. FOOTPRINT 2,474 SF
LOT AREA : 7,000 SF
LOT COVERAGE: 35.3%

SCOPE OF WORK
1. NEW SINGLE FAMILY DWELLING
NEW DETACHED GARAGE (715 SF)
W/ 2ND FLOOR ADU (770 SF)

APPLICABLE CODES:		
CALIFORNIA RESIDENTIAL CODE (CRC)		2022 EDITION
CALIFORNIA BUILDING CODE (CBC)		2022 EDITION
CALIFORNIA MECHANICAL CODE (CMC)		2022 EDITION
CALIFORNIA PLUMBING CODE (CPC)		2022 EDITION
CALIFORNIA ELECTRICAL CODE (CEC)		2022 EDITION
CALIFORNIA FIRE CODE (CFC)		2022 EDITION
CALIFORNIA GREEN BUILDING STANDARDS		2022 EDITION
CALIFORNIA ENERGY CODE (CEC)		2022 EDITION
ENERGY EFFICIENCY STANDARD (EES)		
ALL OTHER APPLICABLE CITY CODES AND REGULATIONS		

DRAWING INDEX

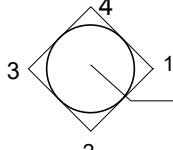
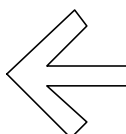
ARCHITECTURAL DRAWINGS

A1	SITE PLAN /PROJECT DATA
A1.1	PARCEL MAP, AERIAL
T1	TOPOGRAPHIC SURVEY
C1	DRAINAGE / EROSION PLAN
A2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
A5	GARAGE / ADU PLAN & ELEV
T24-1	TITLE 24 ENERGY COMPLIA
T24-2	TITLE 24 MANDATORY MEAS
CG-1	GREEN BUILDING REQUIRE
CG-2	CAL GREEN CHECKLIST

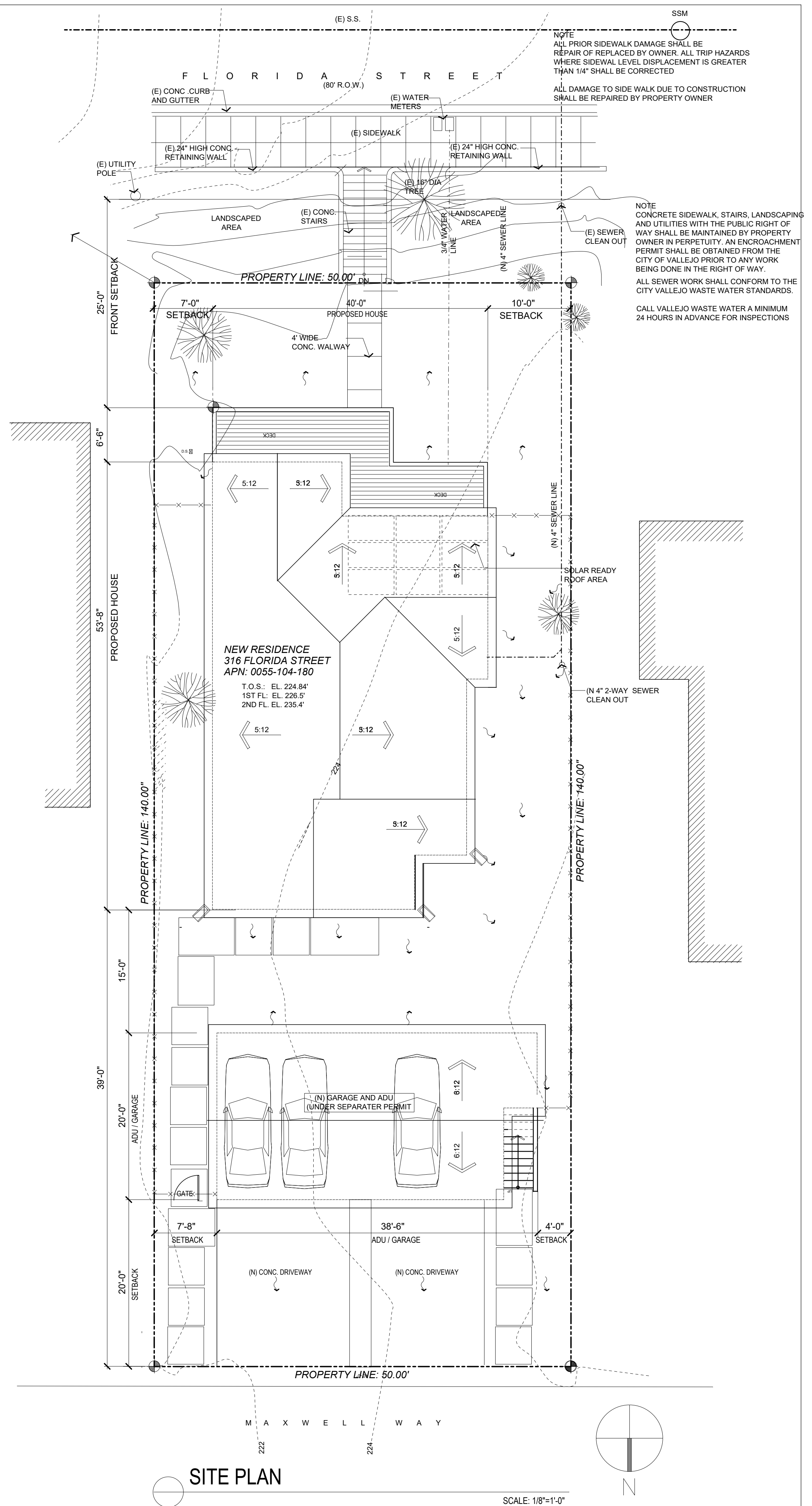
STRUCTURAL DRAWINGS

S1 STRUCTURAL NOTES
S2 FOUNDATION , FRAMING PLANS
S3 STRUCTURAL DETAILS
S4 STRUCTURAL DETAILS
WSW-1 SIMPSON STRONGWALL DETAILS
WSW-2 SIMPSON STRONGWALL DETAILS
BMP BEST MANAGEMENT PROACTICES

SYMBOLS

&	AND		DETAIL NUMBER SHEET NUMBER
∠	ANGLE		INTERIOR ELEVATIONS ELEVATION NUMBER SHEET NUMBER
@	AT		NORTH ORIENTATION
¢	CENTERLINE	ELECTRICAL SYMBOLS	
⊥	PERPENDICULAR		DUPLEX OUTLETS
#	POUND OR NUMBER		220V OUTLET
ℙ	PLATE PROPERTY LINE		SWITCH
	WORK POINT		LIGHT FIXTURE-CEILING
	NORMAL FLOOR LEVEL OR WORK POINT		LIGHT FIXTURE - WALL
○	COLUMN GRID		LIGHT FIXTURE - RECES
	DOOR SYMBOL		LIGHT W / EXH. FAN
	WINDOW SYMBOL		LIGHT - FLUOR. STRIP
	SHEARWALL SYMBOL		TELEPHONE OUTLET
	SELECTION NUMBER SHEET NUMBER		CABLE TV OUTLET
			SMOKE DETECTOR

ABBREVIATIONS

[illegible]

REVISIONS	
RESUBMITTAL 08/23/24	MB

Beaumont + Associates

4050 Harlan Street, Emeryville California 94608
Tel: 510/652-4433 Fax: 510/652-5111

COVER SHEET
PROJECT DATA

NEW RESIDENCE

316 FLORIDA STREET
VALLEJO CA 94590

DATE 10/15/23

DRAWN BY ME

SHEET NO.

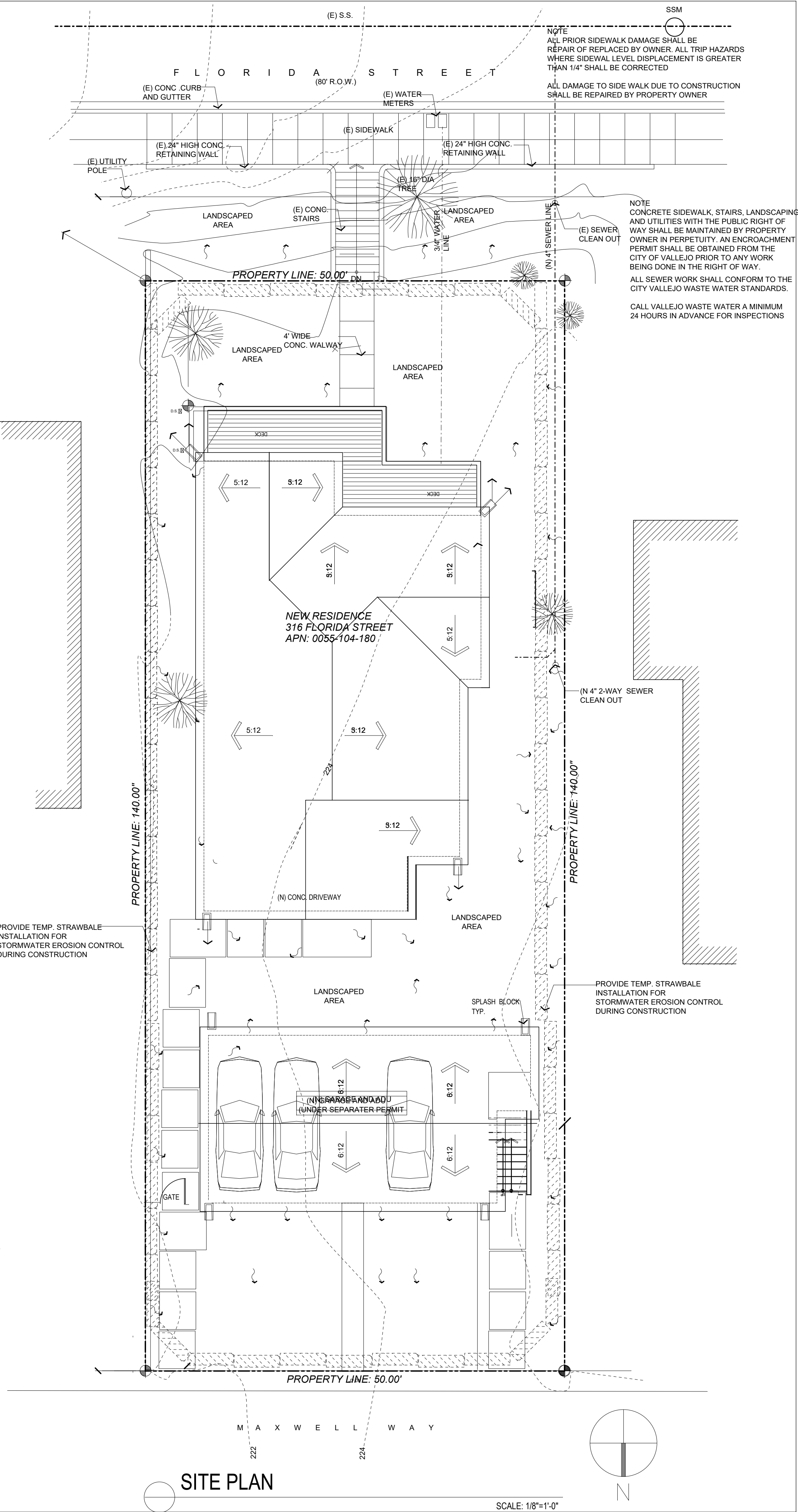
A1

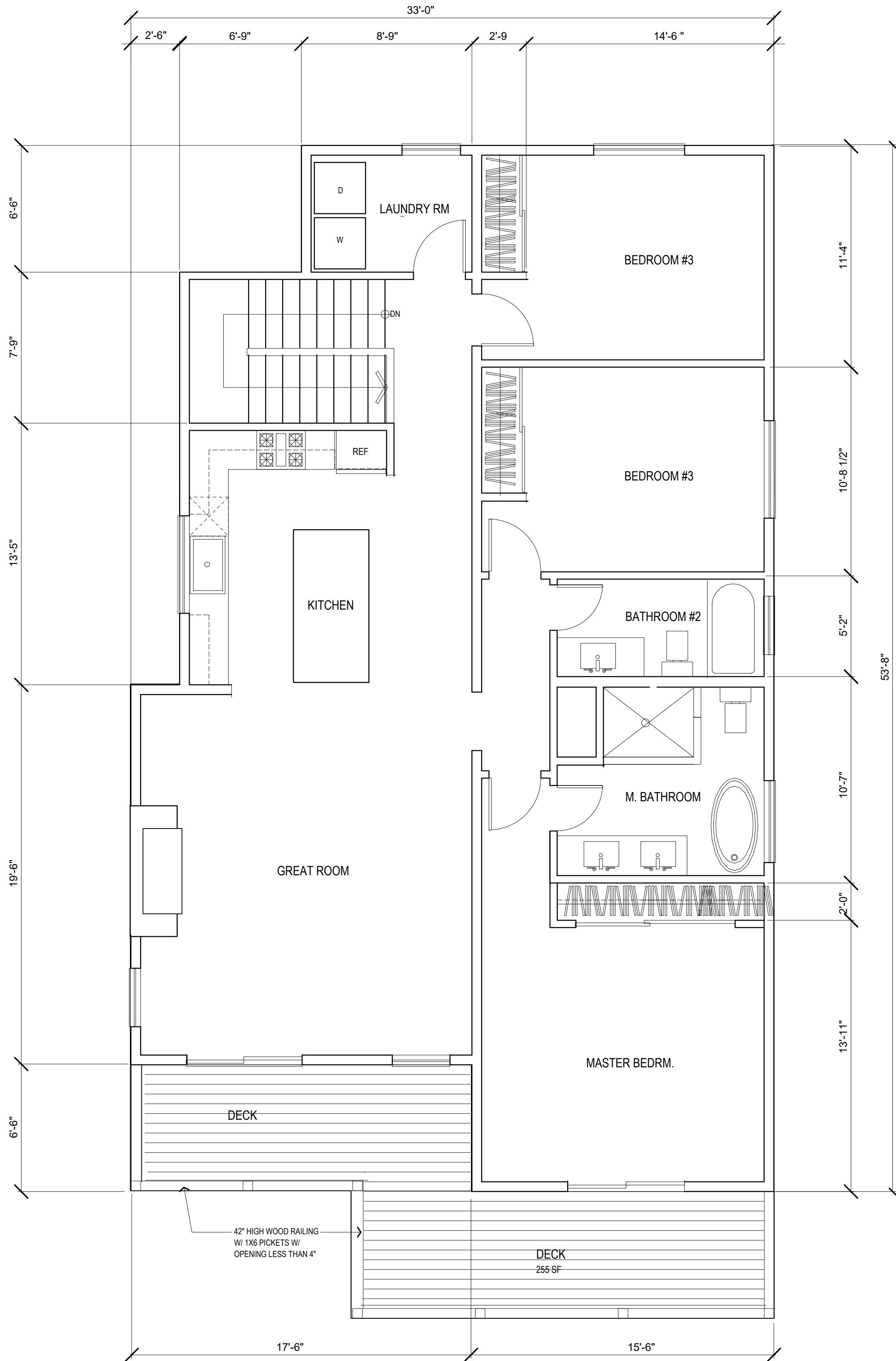
DRAINAGE NOTES

1. ALL NEW ROOF DRAINAGE WATER SHALL CONNECT TO GUTTER W/ DOWNSPOUTS AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION AND ADJACENT PROPERTIES. ROOF WATER SHALL DRAIN TO LANDSCAPE OPEN AREAS
2. FINISH GRADE SHALL BE GRADED AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A 6" MIN. WITHIN THE FIRST 10 FEET OR 5%.
3. CONTRACTOR SHALL GRADE LOT TO PREVENT DRAINAGE FROM CROSSING PROERTY LINES
4. ALL FINISHED GRADING MUST BE ADJUSTED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE TO PREVENT PONDING OF WATER TOWARDS THE BUILDING.
5. ALL ROOF DRAINS SHALL BE COLLECTED BY A SYSTEM OF GUTTERS AND DOWNSPOUTS AND DISCHARGED TO A SPLASH BLOCK TO CARRY STORM WATER AWAY FROM THE STRUCTURE..
6. FLOWER BEDS AND PLANTING ARE NOT RECOMMENDED ALONG THE BUILDING PERIMETER. ONLY DRIP SYSTEMS CAN BE INSTALLED WHERE THEY MAY NOT CAUSE SATURATION OF THE FOUNDATION SOILS. LANDSCAPE MOUNDS OR CONCRETE FLATWORK SHOULD NOT BLOCK OR OBSTRUCT THE SURFACE DRAINAGE MEASURES.

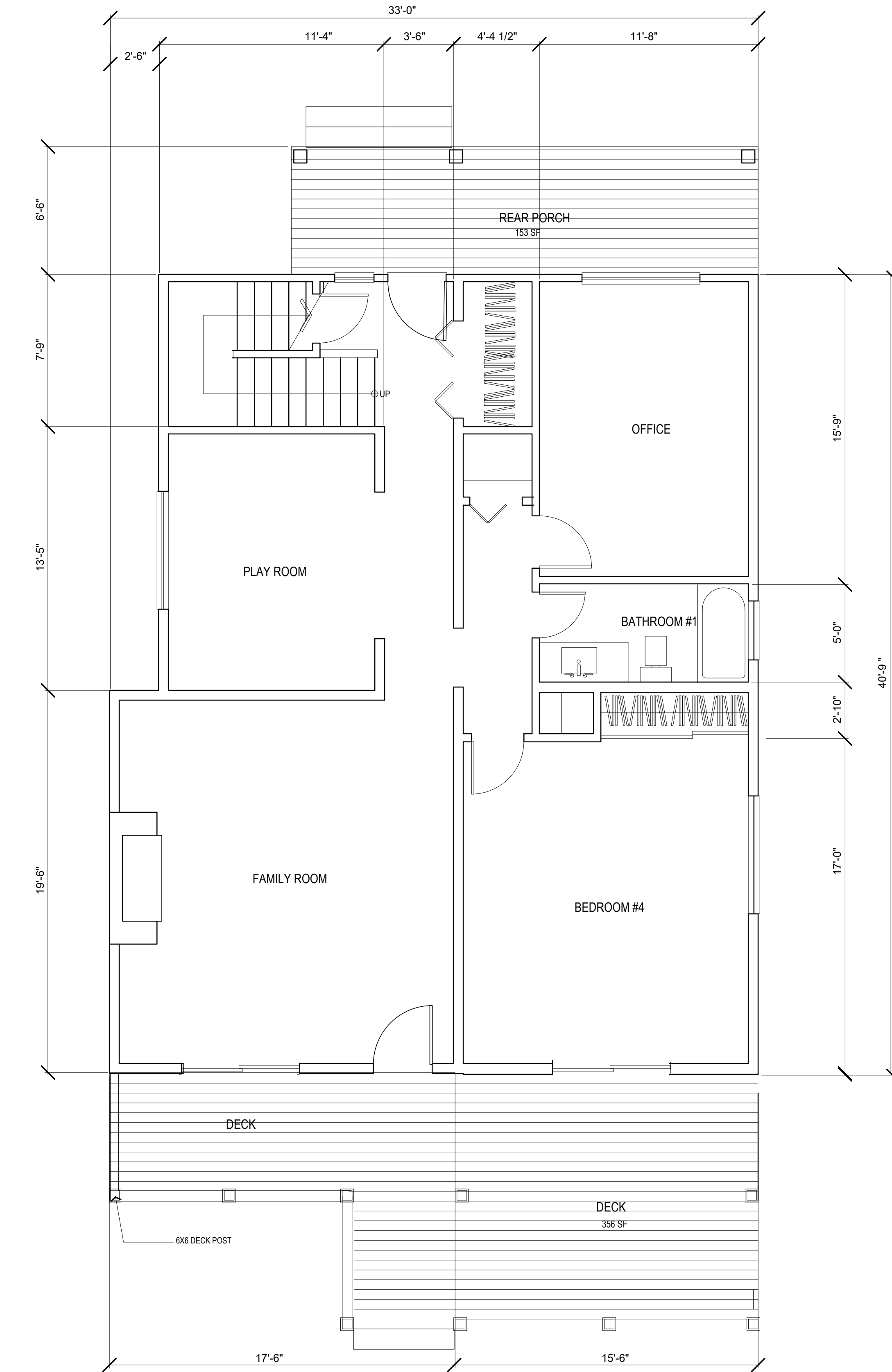
EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR SHALL FOLLOW THE GUIDELINE FOR THE CURRECT CITY OF VALLEJO ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING AND EROSION AND SEDIMENT CONTROL.
2. PRIOR TO THE COMMENCEMENT OF WORK, CONTRACTOR SHALL PLACE FILTER BAGS IN AND AROUND ANY STORM DRAIN INLETS WHICH RECEIVE RUNOFF FROM THE LIMITS OF THE CONSTRUCTION ZONE. CONTRACTOR SHALL MONITOR AND MAINTAIN THE FILTER BAGS AND GRAVEL BAGS UNTIL THE COMPLETION OF THE PROJECT.
3. ALL ERSOION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERTY.
4. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.

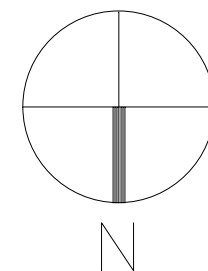




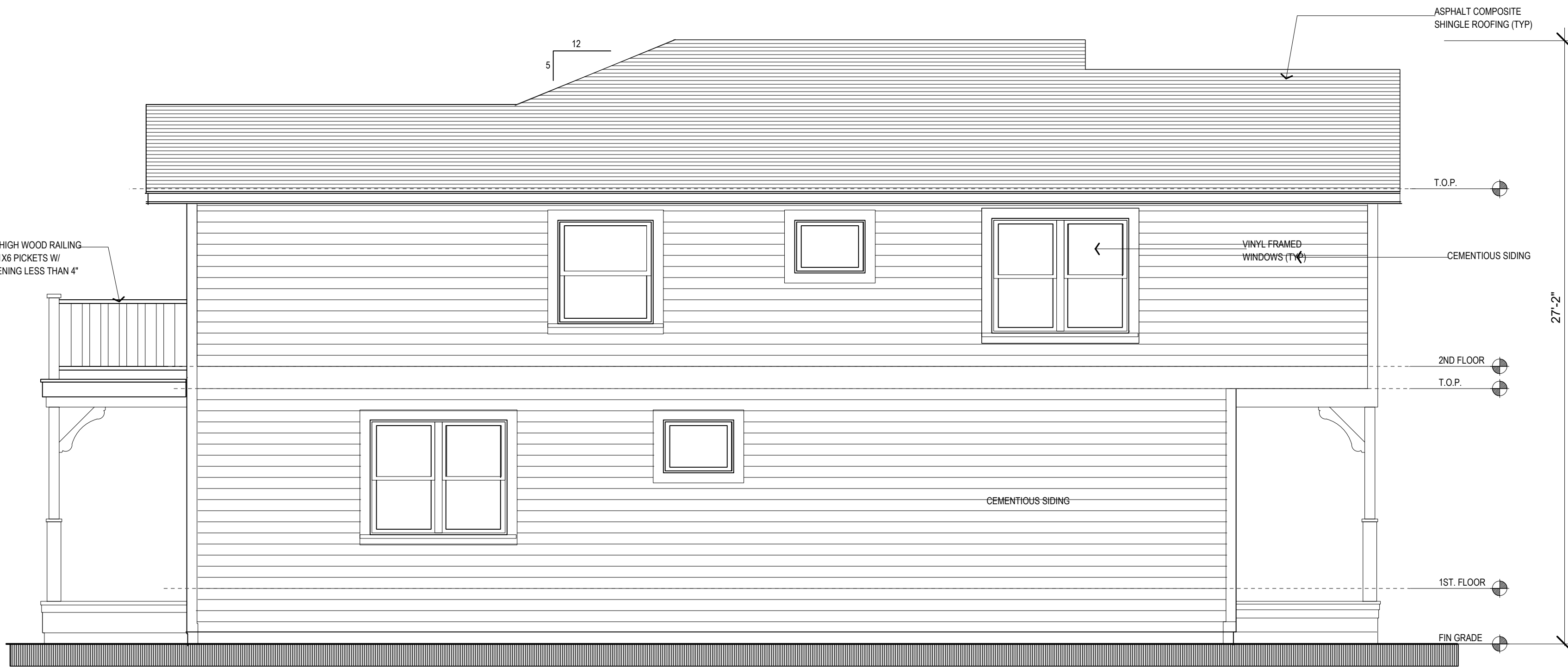
2ND FLOOR FLOOR PLAN 1,549 SF SCALE: 1/4"=1'-0"



1ST FLOOR PLAN 1,288 SF SCALE: 1/4"=1'-0"



REVISIONS		
RESUBMITTAL	08/23/24	MB
Beaumont + Associates		
4050 Harlan Street, Emeryville California 94608 Tel: 510/652-4433 Fax: 510/652-5111		
FLOOR PLANS		
NEW RESIDENCE		
316 FLORIDA STREET VALLEJO, CALIFORNIA 94590		
DATE	10/15/23	
DRAWN BY	MB	
SHEET NO.	A2	



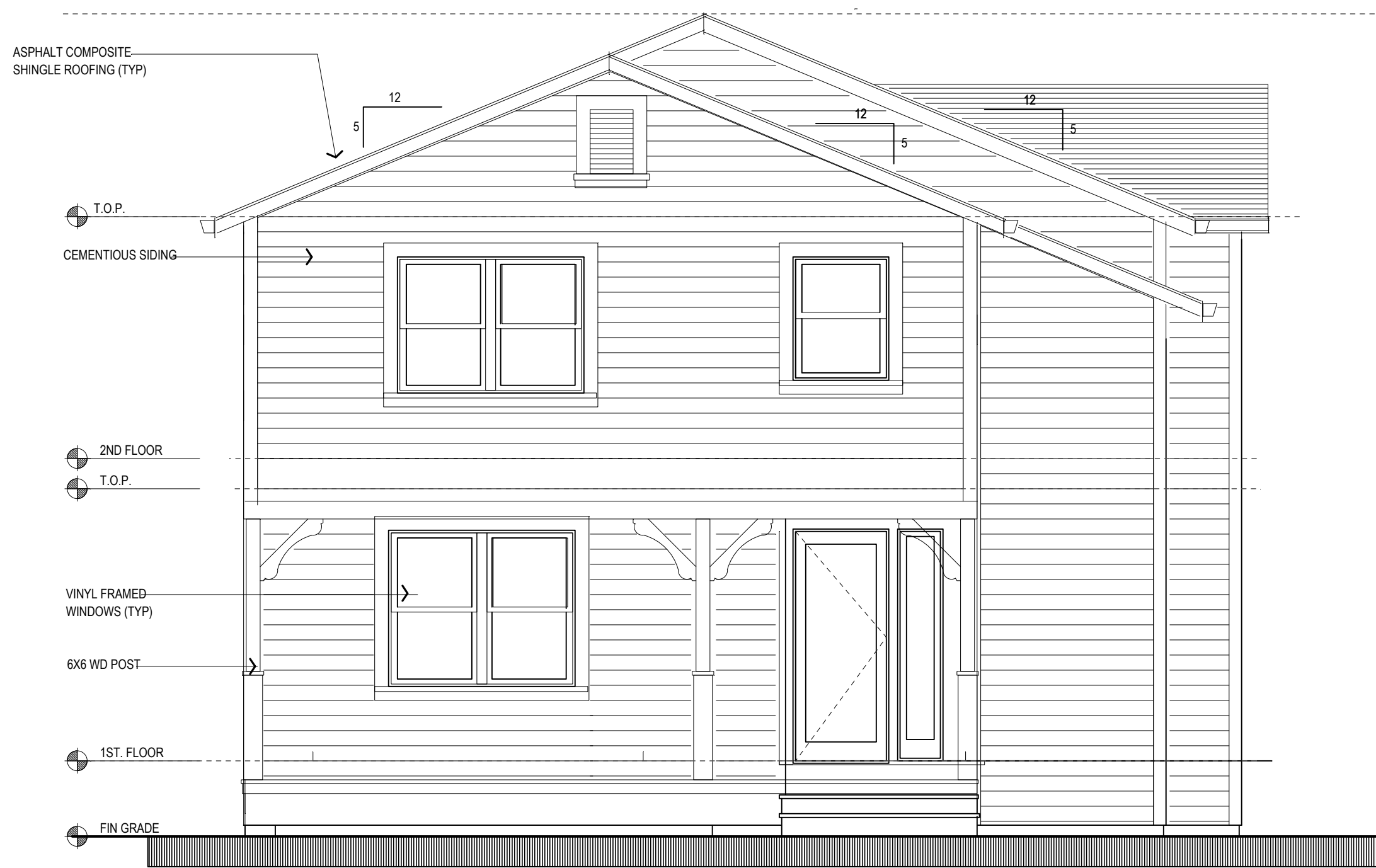
RIGHT (EAST) SIDE ELEVATION

SCALE: 1/4"=1'-0"



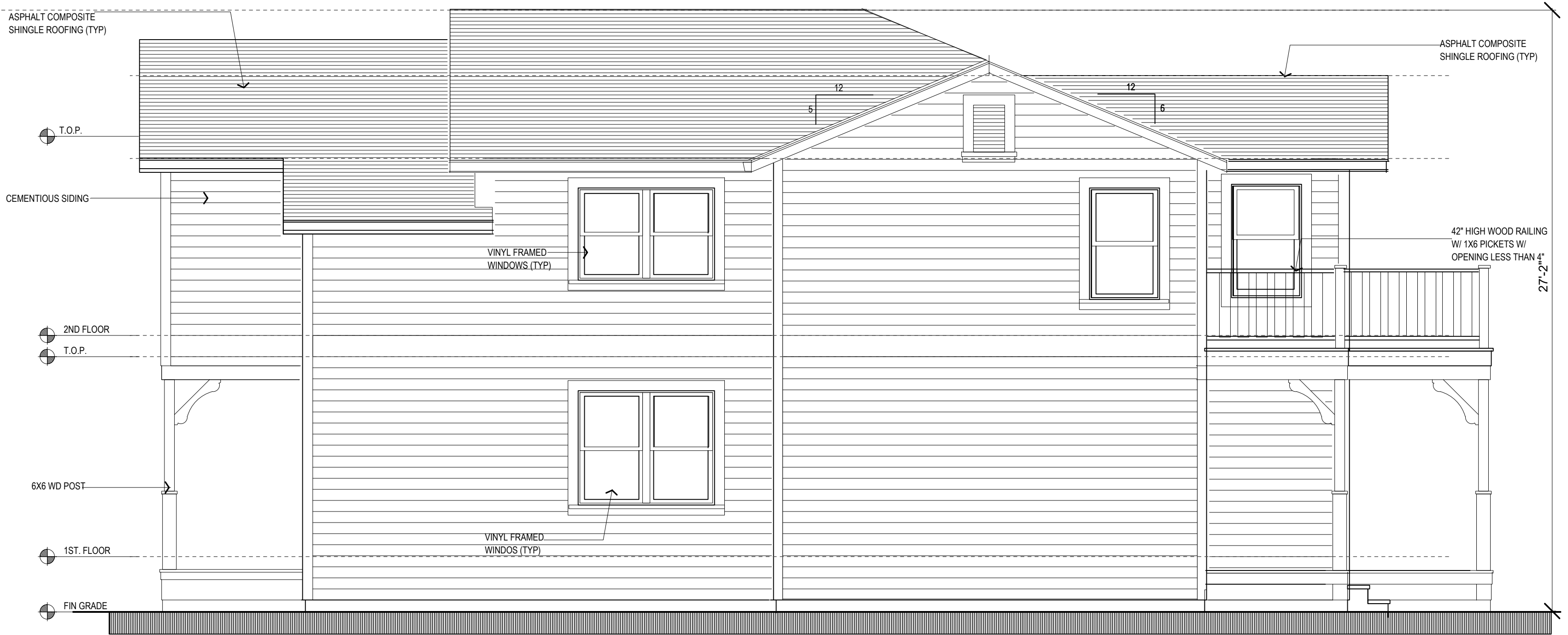
FRONT (SOUTH) ELEVATION

SCALE: 1/4"=1'-0"



REAR (NORTH) ELEVATION

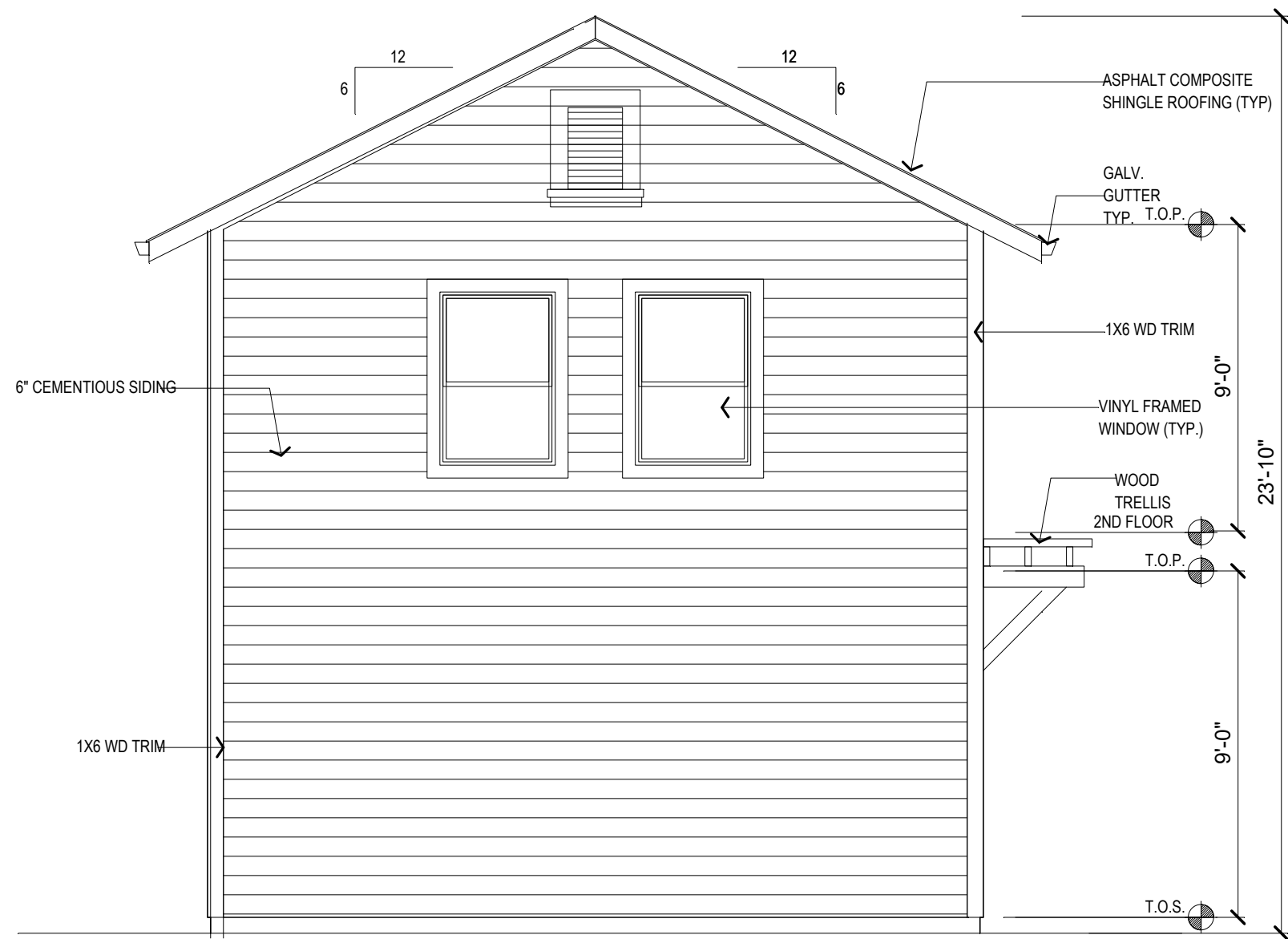
SCALE: 1/4"=1'-0"



LEFT (WEST) SIDE ELEVATION

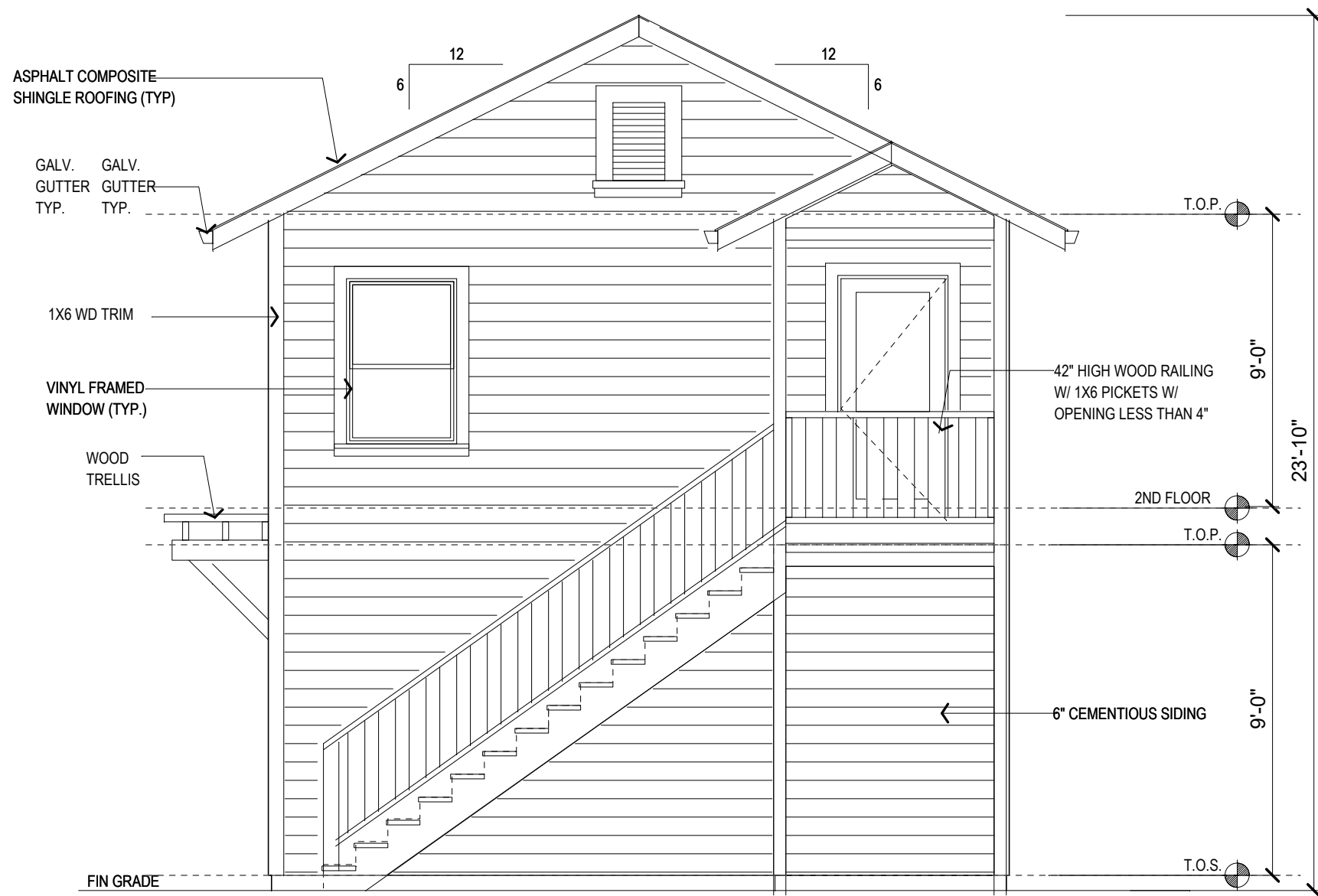
SCALE: 1/4"=1'-0"

REVISIONS		
RESUBMITTAL	08/23/24	MB
Beaumont + Associates		
4050 Harlan Street, Emeryville California 94608		
Tel: 510/652-4433 Fax: 510/652-5111		
EXTERIOR ELEVATIONS		
NEW RESIDENCE		
316 FLORIDA STREET		
VALLEJO, CALIFORNIA 94590		
DATE		
DRAWN BY MB		
SHEET NO.		
A3		



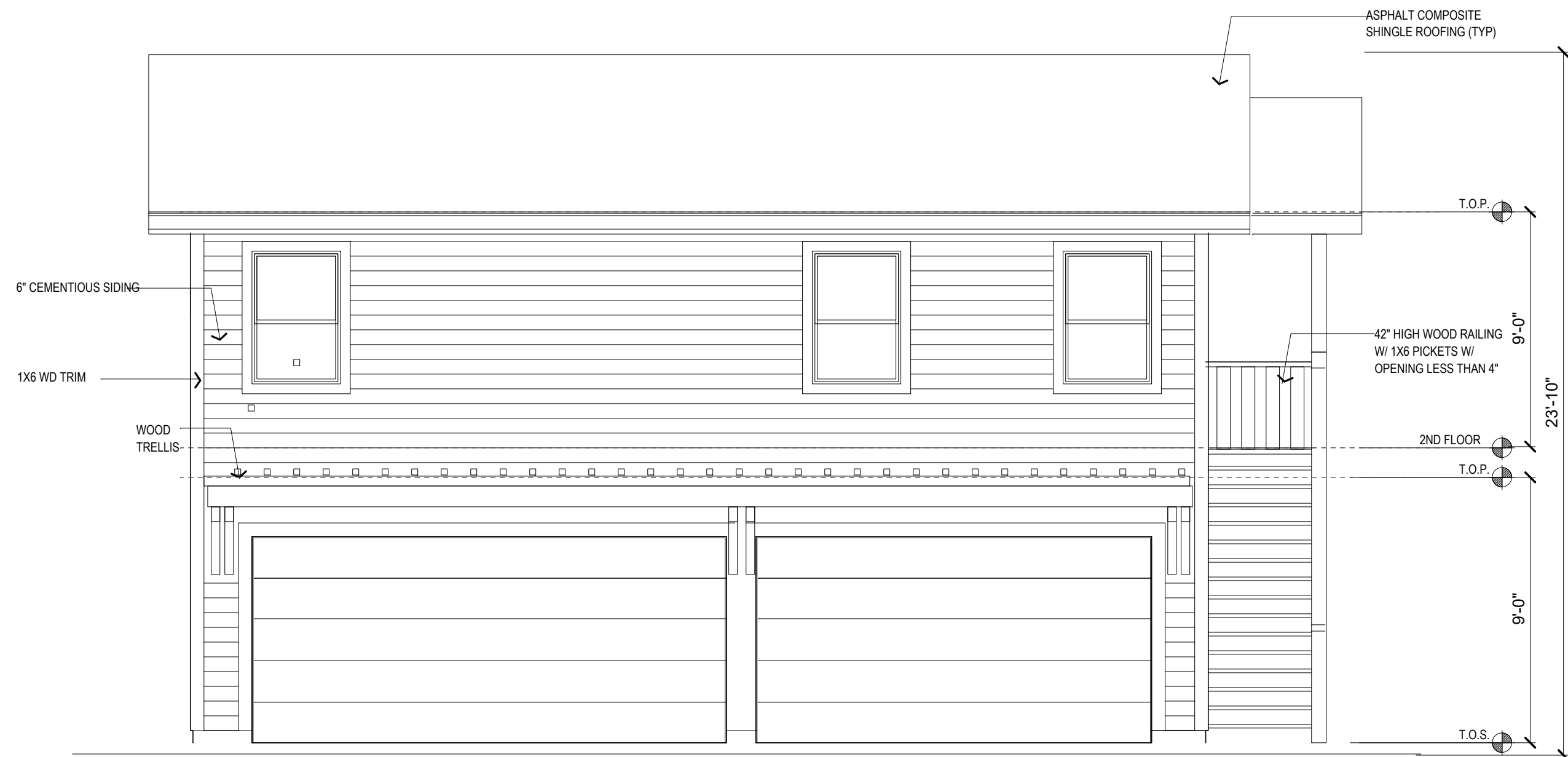
LEFT SIDE (EAST) ELEVATION

SCALE: 1/4"=1'-0"

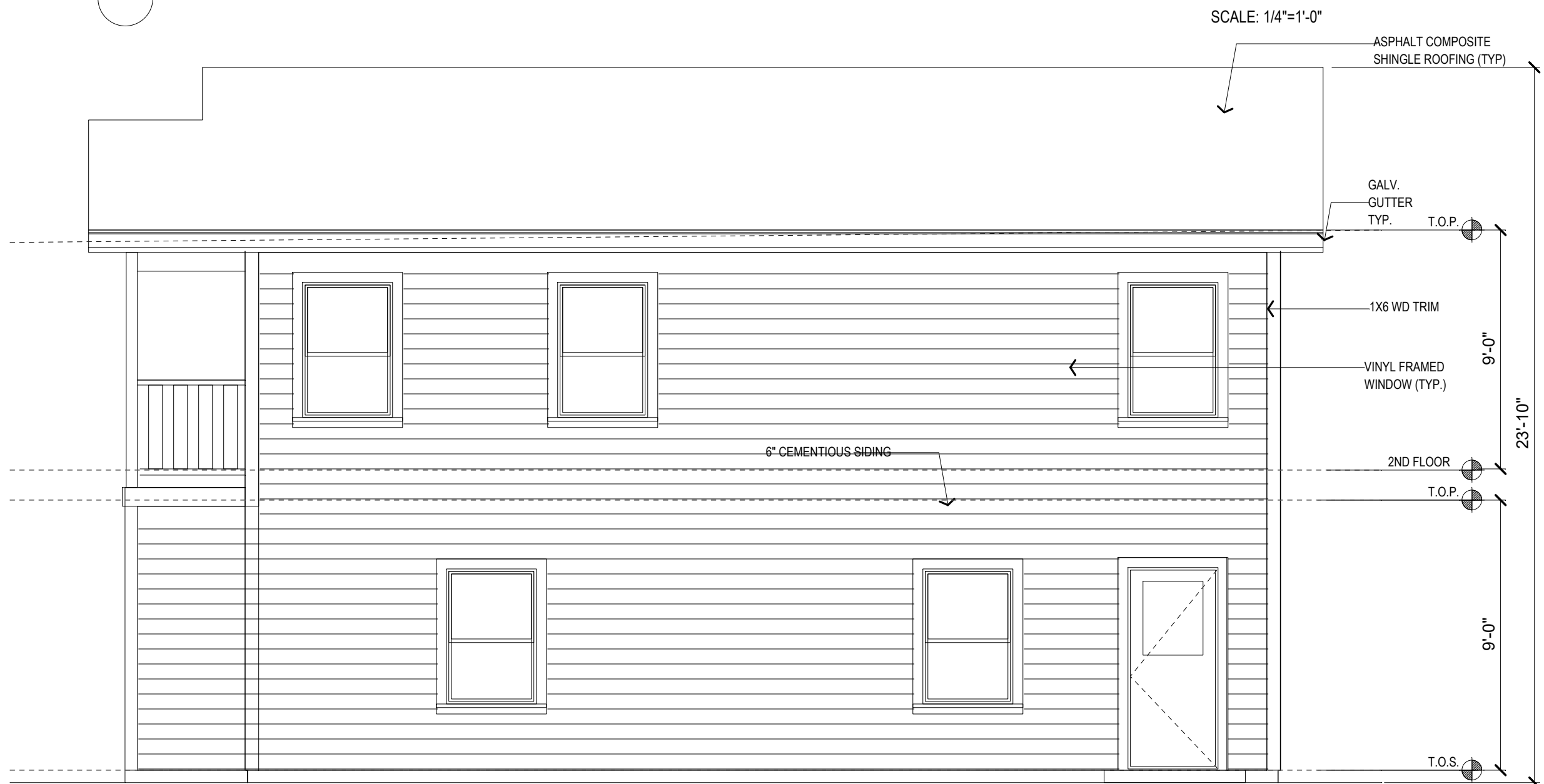


RIGHT SIDE (WEST) ELEVATION

SCALE: 1/4"=1'-0"

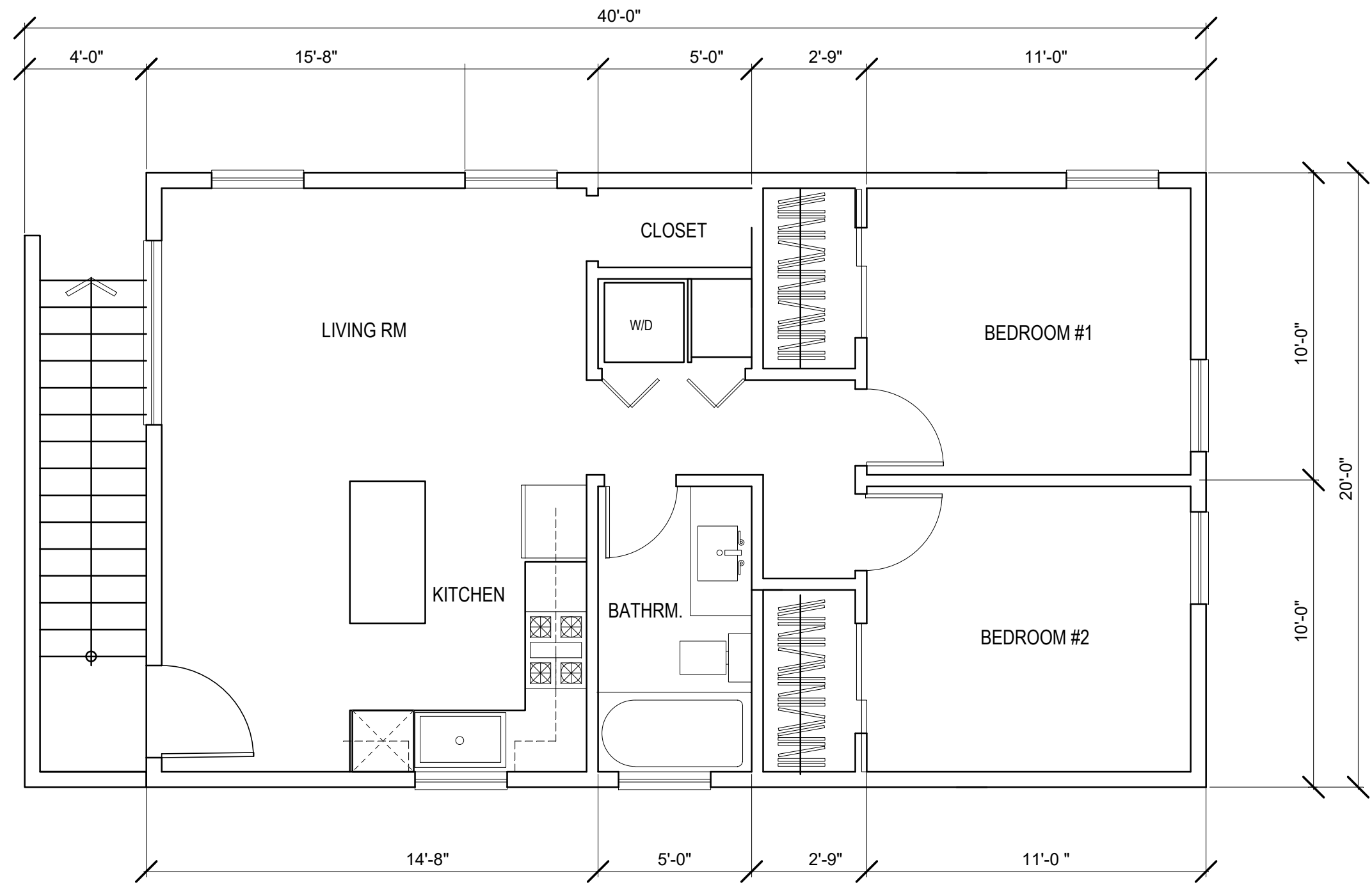


FRONT (NORTH) ELEVATION - GARAGE/GARAGE



REAR (SOUTH) ELEVATION

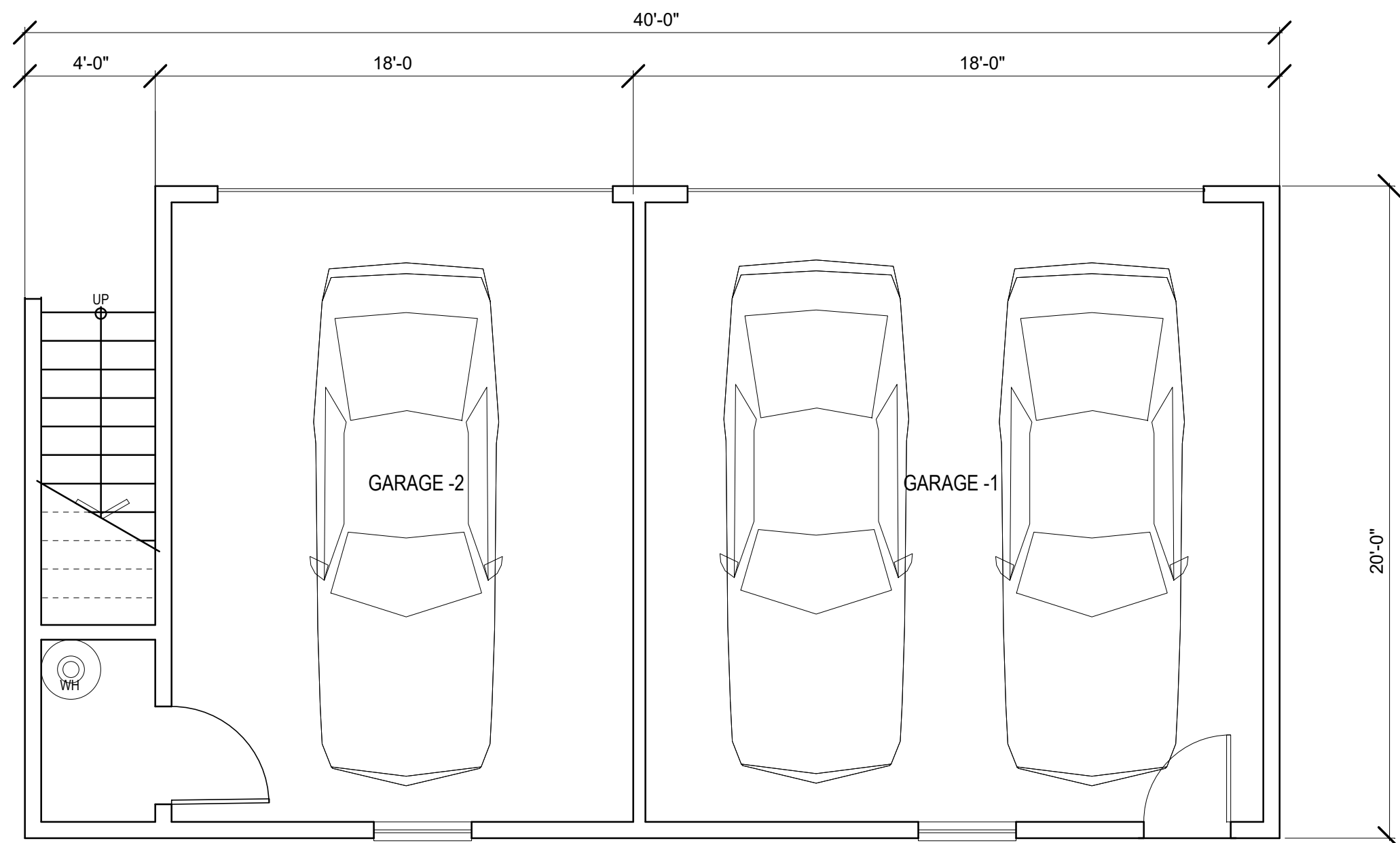
SCALE: 1/4"=1'-0"



2ND FLOOR PLAN - NEW ADU

770 SF

SCALE: 1/4"=1'-0"



1ST FLOOR PLAN - GARAGE

715 SF

SCALE: 1/4"=1'-0"

REVISIONS	
RESUBMITTAL 08/23/24	MB

Beaumont + Associates

4050 Harlan Street, Emeryville California 94608
Tel: 510/652-4433 Fax: 510/652-5111

GARAGE/ADU PLANS
ELEVATIONS

NEW ADU & GARAGE

316 FLORIDA STREET
VALLEJO CALIFORNIA 94590

DATE	10/15/23
DRAWN BY	MB
SHEET NO.	

A5

49551AZLED

A dark, minimalist cabinet with a vertical line detail. The cabinet is shown from a side-on perspective, highlighting its sleek, modern design. The dark color and simple lines suggest a sophisticated, contemporary aesthetic.

Certifications/Qualifications

www.kichler.com/warranty

Dimensions

Base Backplate	4.75 X 11.75"
Extension	3.75"
Weight	2.96 LBS
Height from center of Wall opening (Spec Sheet)	6.00"
Height	12.00"
Width	3.00"

Electrical

Input Voltage	Single(120)V
---------------	--------------

Light Source

Delivered Lumens	880
Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Equivalent Light Source	Incandescent
Expected Life Span (Hours)	35000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	16W
# of Bulbs/LED Modules	2

Mounting/Installation

Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Mounting Weight	4.60 LBS

Photometrics

Color Rendering Index	90
Color Temperature Range	3000
Delivered Efficacy (Lumens/Watt)	650
Kelvin Temperature	3000K

FIXTURE ATTRIBUTES

Housing

Diffuser Description	Clear Tempered Glass With Inside Etch
Primary Material	ALUMINUM

Primary Material

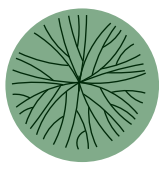
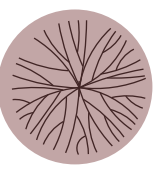
Product/Ordering Information

SKU	49551AZLED
Finish	Architectural Bronze
Style	Contemporary
UPC	783927458450

Finish Options

- Architectural Bronze
- Textured Black

LANDSCAPE PLANT LIST

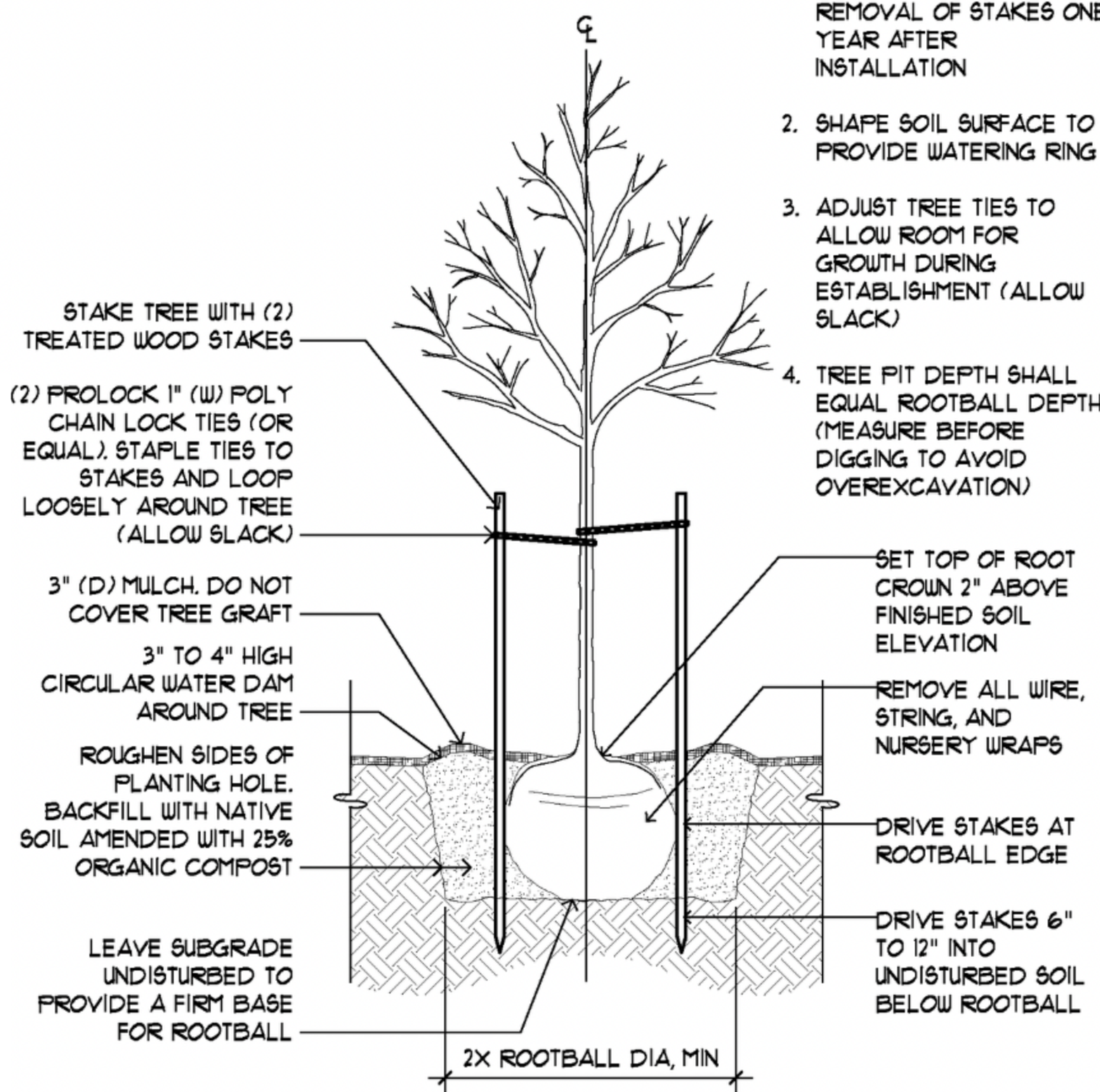
SYMBOL	IMAGE	PLANT NAME	WATER USE	PLANTING SIZE	SPACING
TREE 1 		EVERGREEN PEAR PYRUS KAWAKAMII	MODERATE .40-.60	24" BOX	
TREE 2 		FRUITLESS PLUM PRUNUS CERASIFERA	LOW .20-.40	24" BOX	
SHRUB 1 		CALIFORNIA COFFEEBERRY RHAMNUS CALIFORNICA	LOW .10-.30	1 GALLON	
SHRUB 2 		AFRICAN BOXWOOD MYRSINE AFRICANA	LOW .10-.30	1 GALLON	
SHRUB 3 		ENGLISH LAVENDER LAVANDULA AUSTRIFOLIA	LOW .10-.30	1 GALLON	
PERENNIAL 1 		BLUE EYED GRASS SISYRINCHIUM ANGUSTIFOLIUM	LOW .10-.30	1 GALLON	
GROUNDCOVER  		TURF/CLOVER BARK DUST	.10-.30 ANTI-DESSICANT	SEED	

LANDSCAPE AND IRRIGATION NOTES:

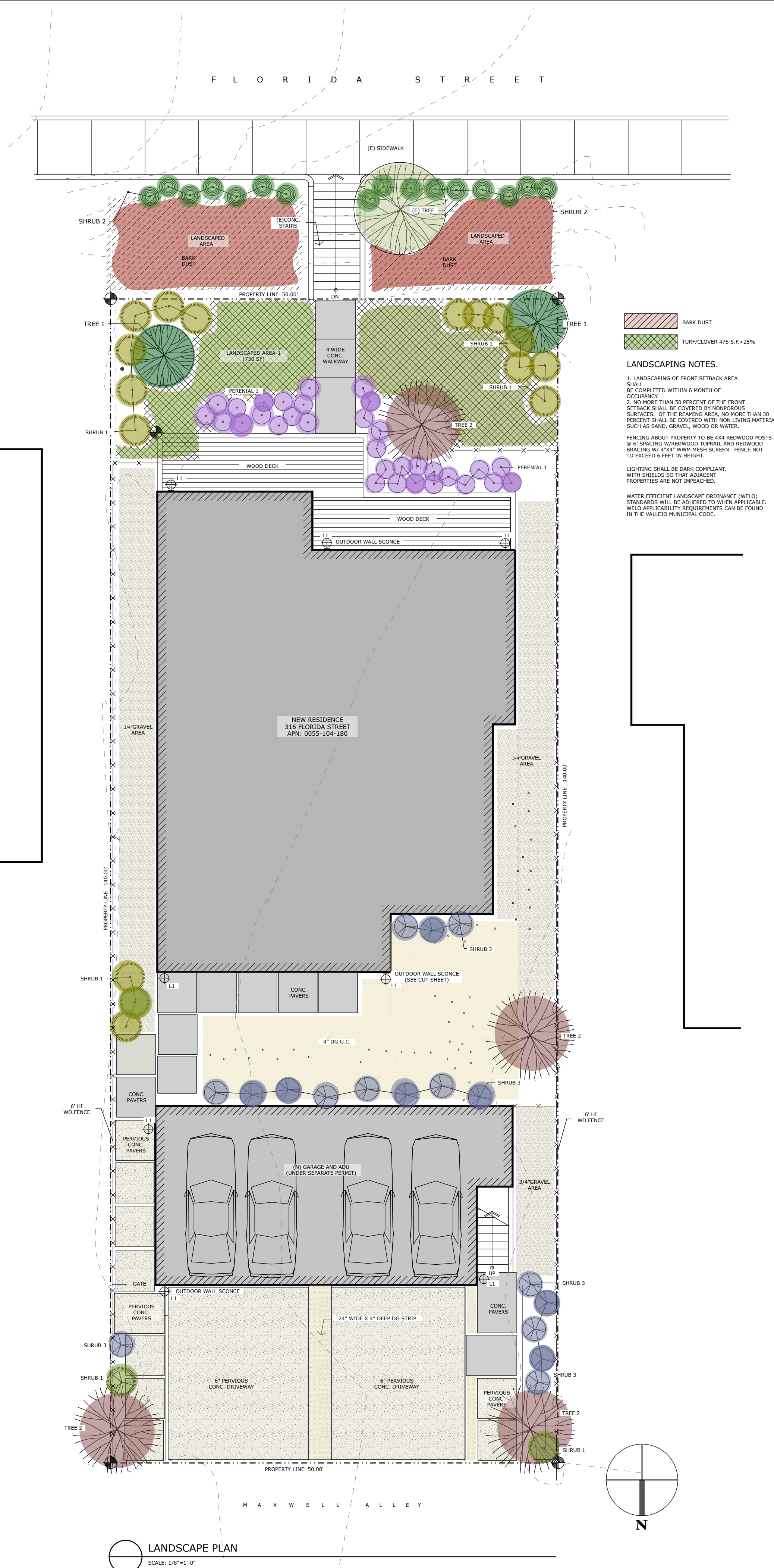
1. ALL LANDSCAPED AREAS SHALL BE DRIP IRRIGATED.
2. ALL PLANTS SHALL BE DROUGHT RESISTANT PER THE CITY OF VALLEJO SPECIFICATION.
- ALL NEW LANDSCAPING AND IRRIGATION SHALL CONFIRM TO WELO REQUIREMENTS.

NOTES:

1. INSTALLATION INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION
2. SHAPE SOIL SURFACE TO PROVIDE WATERING RING
3. ADJUST TREE TIES TO ALLOW ROOM FOR GROWTH DURING ESTABLISHMENT (ALLOW SLACK)
4. TREE PIT DEPTH SHALL EQUAL ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION)



DETL - TREE PLANTING, TYP
1/2" = 1'-0"



Beaumont + Associates

LANDSCAPE PLAN

NEW RESIDENCE

DATE 10/15/23

DRAWN BY

SHEET NO.

L1

4050 Harlan Street, Emeryville California 94608
TEL: 510/652-4433 FAX: 510/652-5111

316 FLORIDA STREET
VALLEJO CALIFORNIA 94590

EXTERIOR FINSHES

EXTERIOR SIDING



Material: Cementitious Siding
Manuf. James Hardie Board
Trim: 1x6 BWC- Smokey White



Behr Paints Color : BXC-62 Alabaster

ROOFING



Material: Asphalt Composite Shingles
Manuf. GAF Timberline, Natural Shadows
Color: Charcoal

ROOF FASCIA BOARD



Material: Cementitious Board
Manuf. James Hardie Board
Paint: Behr Paints Color : RAH-94 Charcoal Black



316 Florida Street - Right Side Elevation View



316 Florida Street- Front Elevation



316 Florida Street - Left Side View



316 Florida Street- Rear Elevation View

REVISIONS		
ENERGYWEST		4050 Harlan Street, Emeryville California 94608 Tel: 510/652-4433 FAX: 510/652-5111
COLORED ELEVATIONS		
NEW RESIDENCE		316 FLORIDA STREET, VALLEJO CALIFORNIA 94590
DATE	06/18/24	
DRAWN BY		
SHEET NO.	R1	

Attachment 4 – Material Sample Board

EXTERIOR FINSHES

EXTERIOR SIDING



Material: Cementitious Siding

Manuf. James Hardie Board

Trim: 1x6 BWC- Smokey White



Behr Paints Color : BXC-62 Alabaster

ROOFING



Material: Asphalt Composite Shingles

Manuf. GAF Timberline, Natural Shadows

Color: Charcoal

ROOF FASCIA BOARD



Material: Cementitious Board

Manuf. James Hardie Board

Paint: Behr Paints Color : RAH-94 Charcoal Black