



VALLEJO DESIGN REVIEW BOARD

**REGULAR MEETING
JULY 10, 2025**

BOARD MEMBERS

Matt Kennedy, Chair
Oskar Lugtu
Michael Eli
Jamiah Adams
Daniel Gordon

HYBRID MEETING
www.Cityofvallejo.net

7:00 PM
Council Chambers
555 Santa Clara Street
Vallejo, CA 94590

<p>NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom</p>	<p>City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.</p>
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<p>VIEW THE MEETING: There are four different ways you can view this public meeting:</p> <ul style="list-style-type: none"> • In Person • Watch Vallejo local channel 28 • Stream from the City website: www.cityofvallejo.net/Streaming • Join the Zoom webinar: https://ZoomRegular.Cityofvallejo.net 	<p>Scan QR code for live captions and translation in Spanish and Tagalog.</p> 
<p align="center">Hybrid Options are available for members of the public to participate. To participate remotely</p>	
<p><u>Option to Join by Computer</u> From your browser go to https://ZoomRegular.CityofVallejo.net to launch and join the zoom application. Meeting ID: 914 0075 0676# Meeting Password: 131313</p>	<p><u>Option to Join by Phone</u> Dial (669) 900-6833 Enter Meeting ID: 914 0075 0676# Meeting Password: 131313 Press *9 to digitally raise your hand from the phone. Press *6 to unmute/mute</p>
<p>Any supplemental writing related to an agenda item for an open session of a regular meeting that is distributed to all or a majority of all members of the City Council less than 72 hours before the meeting will be posted concurrently on the City's website at www.cityofvallejo.net/agendas Written material distributed during the meeting, will be available at the meeting if prepared by the City or after the meeting if prepared by someone else. Such materials may be obtained from the City Clerk</p>	



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AGENDA

- 1 CALL TO ORDER**
- 2 PLEDGE OF ALLEGIANCE**
- 3 ROLL CALL**
- 4 CONSENT CALENDAR AND APPROVAL OF AGENDA**
 - A APPROVAL OF THE AGENDA**

Recommendation:
Contact: Cesar Orozco, Planning Manager (707) 648-5436
Cesar.Orozco@cityofvallejo.net
 - B APPROVAL OF THE MINUTES**

Recommendation: By motion, Approve December 12, 2024 - Regular Meeting Minutes
- 5 REPORT OF THE CITY COUNCIL LIAISON**
- 6 COMMUNITY FORUM**
- 7 PUBLIC HEARING**
 - A ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)**
- 8 WRITTEN COMMUNICATIONS**
- 9 REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMITTEE/BOARD**
 - A SECRETARY'S REPORT**
 - B CITY ATTORNEY'S REPORT**
 - C REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION**
 - D REPORT OF THE ADHOC SUBCOMMITTEES**

10 ADJOURNMENT

ADDITIONAL CITY INFORMATION

Members of the public can:

- Like us on Facebook and Instagram ([@cityofvallejo](#))
- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/subscribe)
- Sign up for emergency alerts at: alertsolano.com

I, Dalia Vidor, Executive Secretary do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to

Matt Kennedy, Chair
Oskar Lugtu
Michael Eli
Jamiah Adams
Daniel Gordon,

at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 4:00 PM, July 7, 2025.

Dated: July 7, 2025

Dalia Vidor

Dalia Vidor, Executive Secretary

**CITY OF VALLEJO DESIGN REVIEW BOARD
REGULAR MEETING MINUTES
COUNCIL CHAMBERS
DECEMBER 12, 2024**

1. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair Kennedy, Board Members Gordon, Eli and Adams

Absent: Board Member Logtu

Staff present: Planning Manager Orozco – Current Development

4. CONSENT CALENDAR AND APPROVAL OF AGENDA

A. APPROVAL OF AGENDA

B. APPROVAL OF MINUTES

a. October 10, 2024 – Regular Meeting

C. OTHER CONSENT ITEMS – None

Action: Board Member Eli, second by Board Member Gordon, and carried unanimously (Absent – Logtu) to approve the agenda and approval of the October 10, 2024 - regular meeting minutes with the edit of Board Member Eli's attendance.

5. REPORT OF THE CITY COUNCIL LIASION - NONE

6. COMMUNITY FORUM - NONE

7. PUBLIC HEARING

A. PROJECT TITLE:

ROLLINGWOOD SUBDIVISION

PROJECT NUMBER:

Development Review (DVR23-0042), Design Review (DR23-0019), Landscape Review (LR23-0013), Minor Use Permit (MUP23-0019) and Tentative Map (TM23-0003)

RECOMMENDATION:

Staff recommend that the Design Review Board adopt a Resolution recommending approval of Design Review (DR23-0042) and Landscape

Review (LR23-0013) to the Planning Commission.

Planning Manager Orozco presented the item.

Applicant provided a presentation.

Commission asked questions and staff and the applicant responded.

Chair Kennedy opened the public hearing.

Speakers: None

Chair Kennedy closed the public hearing.

Commissioners deliberated, made comments and asked questions.

Action: Moved by Board Member Gordon, second by Board Member Eli, and carried unanimously (Absent – Logtu) recommended to the Planning Commission to approve Design Review (DR23-0042) and Landscape Review (LR23-0013), based on the findings provided in the attached Resolution.

8. WRITTEN COMMUNICATIONS - NONE

9. REGULAR REPORTS

A. SECRETARY'S REPORT

Planning Manager Orozco provided an update on goals for the Planning Division for 2025 and provided an update on the housing element.

B. CITY ATTORNEY'S REPORT - None

C. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE PLANNING COMMISSION - None

D. REPORT OF THE SUBCOMMITTEES – None

10. OTHER AGENDA ITEMS

A. INFORMATIONAL ITEM - None

B. DISCUSSION OF FUTURE AGENDA ITEMS - None

11. ADJOURNMENT

The meeting was adjourned at 7:35 p.m.

ATTEST:

MATT KENNEDY, CHAIR

ATTEST:

Cesar Orozco
SECRETARY

DRAFT



DATE: July 10, 2025
TO: Design Review Board
FROM: Cesar Orozco, Planning Manager
SUBJECT: **ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)**

PROJECT INFORMATION

Project Summary:

The proposed project includes subdivision of two vacant parcels, totaling 20.13-acres, into 57 new parcels for the construction of 51 detached single-family residences, open spaces, private roads/alleys, and bio-retention swells. The project includes construction of one new primary street and four alleyways, with associated improvements such sidewalks, street lighting, and utilities. A total of four different floor plan types, ranging from 2,491 to 3,118 square feet, are proposed with a 'Modern Farmhouse' architectural style. Each residence would have two covered off-street parking spaces within a garage, and two uncovered parking spaces within the driveway. New landscaping, including street trees, shrubs and ground cover, is also proposed for installation within all new residence front yards.

At this meeting, the Design Review Board is asked to make a formal recommendation to the Planning Commission on the Design Review and Landscape Review components of the project, specifically including review of overall design, architecture and landscaping proposed.

Project Number(s):

Design Review (DR23-0006)
Landscape Review (LR23-0002)
Development Review (DVR23-0018)
Tentative Map (TM23-0001)
Planned Development (PD24-0001)

Location:

Vacant Site off Shady Lane and Wildflower Avenue / APN:0079-171-170 & 0079-120-100

Applicant:

Sancerra Vista Cove, LLC.

Owner:

Litton Chen, Tammy Dong, Terrence F. Wei, Thomas Chen, Tiffancy Chen Herrero, Timothy Wei, Tina T. Dong, Troy Chuang, Tyler C. Chung

General Plan Land Use Designation:

Primarily Single-Family and Mix of Housing Types/Medium Density

Subject: ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

Zoning District: Residential Low Density and Residential Medium Density

Proposed Zoning District: Planned Development

RECOMMENDATION

ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

BACKGROUND AND DISCUSSION

NOTICE AND COMMENTS

ENVIRONMENTAL REVIEW

CONCLUSION

EXPIRATION

APPEAL PROCEDURE

ATTACHMENTS

1.	Background Discussion
2.	Recommended Resolution
3.	Project Plans
4.	Arborist Report
5.	Public Notice

CONTACT

Cesar Orozco, Planning Manager (707) 648-5436
Cesar.Orozco@cityofvallejo.net

Subject: ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

BACKGROUND AND DISCUSSION

Background

On November 29, 2022, the applicant, Sancerra Vista Cove, LLC, ("applicant") submitted a Preliminary Review request pursuant to California Senate Bill (SB) 330, "the Housing Crisis Act of 2019," which was found to be in compliance with the SB330 preliminary review checklist on December 28, 2022.

On February 13, 2023, the applicant formally applied for a Tentative Map, Development Review, Design Review, Landscape Review and Minor Use permit, to develop 51 detached single-family homes. The project plans were routed to various city departments and outside agencies for review, and the application was determined to be complete on December 18, 2023.

On May 16, 2024, the applicant revised the project description to withdraw the Minor Use Permit application, and add a request for a Planned Development and Zoning Map amendment to amend the Zoning Map from Residential Low Density and Residential Medium Density Zoning District to Planned Development with a proposed "Vista Cove Planned Development Plan."

Location and Land Use Context

The project site is located at the intersection of Shady Lane and Wildflower Avenue. It is surrounded by existing residential roadways and open space. The subject site is bounded to the north by Interstate 780 (I-780), across from which are the California Highway Patrol Office, Benicia Road and Saint Vincent's High School. Immediately east and south of the site is a large area of city-owned open space (designated 'Parks, Recreation & Open Space' in the General Plan, and located within the 'Resource Conservation' zoning district), beyond that to the east is the existing city limit line, followed by the Benicia State Park which extends down to the Carquinez Strait. To the west and southwest (beyond the open space areas) are existing single-family residences. (see Figure 1).

Figure 1 – Location and Land Use Context



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I-780 is approximately 0.1 miles to the north and Interstate-80 (I-80) is approximately 1.7 miles to the west. Each provides regional access to the project site, while the intersection of Shady Lane and Wildflower Avenue provides direct access to the project site. The immediate vicinity of the project site is characterized by existing single-family residential uses and open space. The site's General Plan 2040 Land Use Designation is Primarily Single Family (R-SF) and Mix of Housing Types (R-MH) (see Figure 2), which is implemented by the Residential Low Density and (RLD) Residential Medium Density (RMD) Zoning District (see Figure 3).

Figure 2 – General Plan Land Use Designation



Subject: ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

Figure 3 – Existing Zoning District



Project Description

The proposed project includes the subdivision of two vacant parcels totaling 20.13-acres into 57 new parcels for the construction of 51 detached single-family residences, open space, private roads/alleys, and bio-retention swells. The project includes the installation of one new primary street and four alleyways, with associated improvements such sidewalks, street lighting, and utilities.

The 51 single-family lots are proposed to be developed with four different floor plans to be dispersed throughout the subdivision, each offering a modern farmhouse architectural variation. The four different floor plans range from 2,329 square feet to 2,898 square feet with an overall maximum building height of 30 feet and four inches. The base model floor plan has a total of three bedrooms and two and half bathrooms. The second model has an additional bedroom and bathroom, and the third and fourth models have an additional bedroom and bathroom plus a loft. Each model floor plan would have an attached two-car garage and there would be two uncovered parking spaces within the driveway on each lot (see Attachment 3, for floor plan details). New landscaping, including street trees, shrubs and ground cover, is also proposed for installation within all new residence front yards.

Code Compliance

I. Required Entitlements and Findings

a. Required Entitlements

In accordance with VMC Sections 2.59.020 and 16.604.02, the Design Review Board is being requested to make recommendations to the planning commission on the Design Review and Landscape Review

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components of the project, including review of aesthetic and urban design issues related to architecture, landscaping, and the site plan.

The Planning Commission will consider the recommendations of the Design Review Board in its action on the full project entitlements, including Design Review, Landscape Review, Development Review, Tentative Map, and Planned Development, with final actions subject to City Council approval.

b. Required Findings for Design Review:

According to Vallejo Municipal Code (VMC) Section 16.604.03 (B), either the Director or the Design Review Board shall make recommendations to the planning commission for final design review approval after making the following findings, that the application:

1. Is consistent with the purposes of this chapter, the design policies of the general plan and any applicable specific plan, any adopted applicable design guidelines;
2. Is consistent with any planning or zoning approvals by the director or the planning commission;
3. Complies with any other relevant city policies or regulations; and
4. Meets the following criteria:
 - a. The aesthetic design, including its exterior design and landscaping, is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.
 - b. Project details, colors, materials, and landscaping are fully integrated with one another and used in a manner that is visually consistent with the proposed architectural design.
 - c. The project has been designed with consideration of neighboring development.
 - d. The project contributes to the creation of an attractive and visually interesting built environment that includes well-articulated structures that present varied building facades, rooflines, and building heights and encourages increased pedestrian activity and transit use.
 - e. Street frontages are attractive and interesting for pedestrians, address the street and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.
 - f. The proposed design is compatible with the historical or visual character of any area recognized by the city as having such character.
 - g. The aesthetic design preserves significant public views and vistas from public streets and open spaces and enhances them by providing areas for pedestrian activity.
 - h. The proposed landscaping plan is suitable for the type of project and will improve the appearance of the community by enhancing the building, minimizing hardscape and softening walls; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Vallejo's climate.
 - i. The project has been designed to be energy efficient including, but not limited to, landscape design and green or eco-friendly design and materials.
 - j. The project design protects and integrates natural features including creeks, open space, significant vegetation, and geologic features.

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II. Staff Analysis

Staff believe all the applicable Design Review findings listed above can be made for the proposed project. A summary of staff’s analysis is included below, with specific analyses associated with each required finding included in the attached Resolution (Attachment 2 of this report).

a. General Plan Consistency Review

The project is consistent with applicable General Plan 2040 design policies, as illustrated in Table 1 below.

Table 1 – General Plan 2040 Design Policies	
Policies and Actions	Staff’s Analysis
<p>POLICY NBE-1.6 Open Space. Conserve and enhance natural open space areas in and adjacent to Vallejo and its waterfront.</p>	<p>The proposed project would preserve approximately 9.74-acres of the project site as natural open space.</p>
<p>POLICY NBE-1.8 Urban Forest. Encourage planting of street trees and landscaping to beautify the city, encourage walking and biking, and create a stronger sense of identity.</p>	<p><i>The project involves the planting of many trees, shrubs, and ground covers contributing to the beautification of Vallejo and the cultivation of an urban forest. The construction of sidewalk improvements within the project would encourage walking and contribute to the pedestrian realm within the subject site.</i></p>
<p>POLICY NBE-2.3 Inviting, Compatible Design. Promote attractive development that is compatible with surrounding uses.</p>	<p><i>The 51 detached single-family residences incorporate a Modern Farmhouse style home, and the building height and mass are not out of scale with existing structures located in proximity.</i></p>
<p>Policy NBE-1.15 Energy Efficiency: Support measures to reduce energy consumption and increase energy efficiency in residential, commercial, industrial, and public buildings.</p>	<p><i>The project would be required to comply with standards set in the California Building Code (CBC) Title 24, which would minimize the wasteful, inefficient, or unnecessary consumption of energy resources during operation. California’s Green Building Standards Code (CBC Title 24, Part 11) requires implementation of energy efficient light fixtures and building materials into the design of new construction projects. The project includes sustainable and energy-efficient features, including solar panels and an all-electric design, each provided at or exceeding City requirements</i></p>

b. Zoning Consistency Review

The applicant has requested a rezoning of the subject site from Residential Low Density (RLD) and Residential Medium Density (RMD) to Planned Development (PD) zoning district in accordance with VMC Chapter 16.610. The rezoning request includes a Draft Planned Development Plan which will impose new development standards for the site. This request requires City Council approval, with Planning Commission as the recommending body for the action.

The proposed project complies with all applicable development standards and supplemental regulations of the RLD and RMD zoning districts except for minimum lot size, front yard setbacks, garage setbacks, lot

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coverage, rear setbacks, design standards for single-unit housing, and parking location from the street facing property line. To address these deviations, the applicant is requesting the following Planned Development zoning standards adjustments as part of the Draft Planned Development Plan:

1. Minimum Lot Size: The minimum lot size in the RLR and RMD zoning district is 5,000 square feet. The PD proposes a minimum lot size of 2,800 square feet to accommodate the proposed development.
2. Front Yard Setbacks: The minimum front yard set back in the RLD and RMD zoning district is 15 feet. The PD is proposing a minimum front yard setback from the street to be seven feet and zero feet for residences accessed off alleys.
3. Garage Setbacks: The minimum garage setback in the RLD zoning district is 20 feet and 40 feet in the RMD zoning district. The PD is proposing a garage setback of seven feet and zero feet for residences accessed off alleys.
4. Lot Coverage: The maximum lot coverage in the RLD zoning district is 50 percent and 60 percent in the RMD zoning District. The project is proposing a maximum coverage of 85 percent for residential lots.
5. Rear Setbacks: The minimum rear yard setback in the RLD zoning district is five feet and 10 feet in the RMD zoning district. The project is proposing a rear yard setback of 10 feet to be consistent with the RMD zoning district.
6. Design Standards for Single-Unit Housing: VMC Section 16.202.03 provides design standards for single-unit housing (detached and attached), including: (i) requiring building entrances to incorporate a minimum projection or recess of five feet; (ii) prohibiting garage frontages from exceeding fifty percent of the width of the front façade of the building; and (iii) imposing a maximum amount of paving in street-facing yards of 50 percent. The project is proposing to allow the garage frontages to constitute 75 percent of the front façade but would satisfy five-foot minimum recess standard for building entrances and not exceed the 50 percent pavement standard for street-facing yards.
7. Parking location from the street facing property line: The minimum distance for the location of parking in the RMD zoning district is 40 feet from the front property line. The project is proposing to allow parking located in adjoining front driveways to be located less than 40 feet from front property lines.

c. Architecture

As previously mentioned, the proposed 51 single-family residences would be developed with four different floor plans to be dispersed throughout the subdivision, each offering a modern farmhouse architectural variation. The architectural character of the project draws on the project site's proximity to California's wine country and the community's natural topography.

The proposed architectural style is Modern Farmhouse, which integrates traditional rural forms with modern design elements to create a cohesive and contemporary residential expression. The design incorporates articulated wall planes to provide variation in massing and to enhance the visual interest of each elevation. These modulations help to reduce the scale of the structure and contribute to a more pedestrian-friendly streetscape.

Main entrances to each residence are covered and defined by projecting roof forms, typically gabled or shed styles, supported by posts or structural elements that provide breaks to the street facing façade.

Subject: ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

Roof forms consist of pitched configurations with a combination of gables, hips, and varying roof pitches, adding articulation to the roofline.

A variety of durable exterior materials are proposed to further articulate the massing and enhance the architectural character. These materials may include smooth or textured stucco, stone or brick veneer, and cementitious siding systems such as horizontal lap siding, board-and-batten, or panelized siding. Materials are composed to delineate architectural features, transition between massing elements, and provide breaks to the façades.

d. **Landscaping**

The project site has existing trees located primarily near the perimeter of the site. An arborist report was prepared for the existing site and a total of 83 trees were assessed, identifying seven different tree species, e.g. Coast Live Oak, Plum Cherry, Apple, Monterey Pine, Valley Oak, Toyon, and Strawberry Tree, with Coast Live Oak as the most common species (see attachment 4). The trees ranged from poor to good condition. The report concluded with a recommendation for the removal of 69 of the 83 existing on-site trees, which have been proposed in the development plans.

VMC Section 16.504.07(C) - Replacement of Significant Trees Required states, *Trees shall be replaced at a ratio of at least three new trees for every tree removed except for the fire-prone species identified above. The minimum size of a replacement tree shall be fifteen gallons. Exceptions to this requirement may be approved by the director when site conditions warrant. Replacement trees shall be planted in the following order of priority:*

1. *On the project site;*
2. *On any adjacent property subject to approval of the owner; or*
3. *In the public right-of-way adjacent to the property subject to approval of the director of public works.*

Of the 69 trees proposed to be removed, 47 of the trees are considered to be significant (as defined in VMC 16.701) and as such, shall be replaced at a three to one ratio. A total of 141 new trees is being proposed as part of the project and will be planted throughout the project site. New landscaping would be provided in the front yards of each new residential lot, within all proposed open spaces and around the bio retention swells. The landscaping comprises trees, shrubs and ground covers would be planted to enhance the project site. The new landscaping within the project would create a visually pleasing setting for the homes to be constructed on the site.

NOTICE AND COMMENTS

On June 26, 2025, pursuant to VMC Section 16.602.08(A), notice of this hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property and electronically mailed to the members of the Design Review Board, the applicant, local agencies expected to provide water, wastewater treatment, and/or other essential facilities or services to the project, the school district, the applicant, property owner and all interested parties.

As of the writing of this staff report, staff have not received any comments or questions from the public about the application.

CONCLUSION

Subject: ADOPT A RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ("VISTA COVE"), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNS: 0079-171-170 & 0079-120-100)

Based on the analysis contained in this staff report, staff recommends that the Design Review Board adopt a resolution recommending Planning Commission approval of Design Review (DR23-0019) and Landscape Review (LR 23-0013) as proposed, based on the findings provided in the attached Resolution.

LEVINE ACT: GOVERNMENT CODE 84308

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$500 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$500 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$500 made to the City Officers, such as the mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$500 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

CITY OF VALLEJO DESIGN REVIEW BOARD

RESOLUTION NO. DRB 25-XX

RESOLUTION RECOMMENDING THE PLANNING COMMISSION APPROVE DESIGN REVIEW (DR23-0006) AND LANDSCAPE REVIEW (LR23-0002) FOR A 51-UNIT SINGLE FAMILY RESIDENTIAL SUBDIVISION (“VISTA COVE”), LOCATED ON A VACANT SITE NEAR THE INTERSECTION OF SHADY LANE AND WILDFLOWER AVENUE (APNs: 0079-171-170 & 0079-120-100)

WHEREAS, on August 29, 2017, the City Council adopted General Plan 2040; and

WHEREAS, the property has a General Plan 2040 land use designation of Primarily Single-Family (PSF) and Mix of Housing types/Medium Density (R-MH); and

WHEREAS, on July 22, 2021, the City Council adopted a new Zoning Code and Zoning Map; and

WHEREAS, the property is located in the Residential Low Density and Residential Medium Density Zoning Districts; and

WHEREAS, on November 29, 2022, Sancerra Vista Cove, LLC., the applicant, submitted for a Preliminary Review Application pursuant to California Senate Bill (SB) 330, “the Housing Crisis Act of 2019; and

WHEREAS, on December 28, 2022, the Preliminary Application SB330 was found to satisfy the checklist as listed in California Government Code Section 65941.1; and

WHEREAS, on February 13, 2023, the applicant formally submitted an application for Tentative Map, Development Review, Design Review, Landscape Review and Minor Use permit, to develop 51 detached single-family homes on a vacant 20.13-acre site located near the intersection of Shady Lane and Wildflower Avenue (APN:0079-171-170 and 0079-120-100); and

WHEREAS, the project went through multiple rounds of completeness review and on December 18, 2023, the project was deemed complete; and

WHEREAS, on May 16, 2024, the applicant revised the project description to withdraw the Minor Use Permit application, and add a request for a Planned Development and Zoning Map amendment to change the project site’s zoning districts from Residential Low Density and Residential Medium Density Zoning to Planned Development with a proposed “Vista Cove Planned Development Plan”; and

WHEREAS, on July 24, 2024, the application for the revised project was deemed complete; and

WHEREAS, the Vallejo Municipal Code (VMC) Section 2.59.020(A), states that the Design Review Board shall “advise the Planning Commission when requested or when required by an applicable local ordinance;” and

WHEREAS, VMC Sections 16.604.01(K) and 16.604.03.B, require either the Director or the Design Review Board to make a recommendation to the Planning Commission for any Design Review (including Landscape Review) entitlement involving 50 or more residential units; and

WHEREAS, on June 26, 2025, a notice of this hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property, the Vallejo City Unified School District and any other local agency expected to provide water, wastewater treatment, streets, roads, schools, or other essential facilities or services to the project, and electronically mailed to the members of the Design Review Board, to the applicant and to all interested parties; and

WHEREAS, on July 10, 2025, the Design Review Board considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

NOW, THEREFORE, based on evidence received in the staff report and at the public hearing, the Design Review Board makes the following factual findings:

I. FINDINGS RELEVANT TO THE SCOPE OF DESIGN REVIEW (VMC 16.604.02)

- A. In accordance with VMC Section 16.604.02 the Design Review Board has reviewed and independently considered the applicable development standards (including the zoning adjustments proposed in conjunction with the Draft Planned Development Plan, as described in the staff report), the overall design, architecture, landscaping and project aesthetics proposed, and the Design Review Board finds that all of the design elements are satisfactory as presented with no project modifications recommended to the Planning Commission at this time.

II. FINDINGS RELEVANT TO THE APPROVAL OF THE DESIGN REVIEW PERMIT (VMC Section 16.604.03.B)

In accordance with VMC Section 16.604.03.B, the Design Review Board finds that the application:

- A. Is consistent with the purposes of this chapter, the design policies of the general plan and any applicable specific plan, any adopted applicable design guidelines.**

Purposes of the Chapter

- 1. Establish regulations for an objective process that applies urban design principles to ensure that new construction supports the best of the city's architectural traditions.**

As proposed, the project meets objective process that applies urban design principles to ensure that new construction supports the best of the city's architectural traditions, as discussed in detail below.

- 2. Encourage new structures that show creativity and imagination, add distinction, interest, and variety to the community, and are environmentally sustainable.**

The proposed home designs include 'Modern Farmhouse' architecture that will be constructed with a variety of high-quality building materials and painted with simple, neutral colors. Vertical and horizontal façade breaks, and appropriate building massing have been incorporated into the design of the subdivision and will create distinction in the context of the larger established neighborhood.

- 3. Promote architectural and design excellence in new construction and discourage poor quality development.**

The project details, colors, materials, and landscaping are integrated with one another in a way that ensures a visually consistent proposal. Each building elevation will consist of building features, materials, and colors typically associated with the Modern Farmhouse architectural style. The homes will incorporate different finished materials such as stucco, stone or brick veneer, cementitious lap siding or panels, cementitious board and batten siding, and naturally decay resistant wood. The architectural detailing (shutters, eave brackets, corbels, exposed rafters/rafter tails, and/or beams) have been proposed to provide visual interest and richness to the elevations. Overall, the project architecture and landscaping propose high-quality, long-lasting material that will result in a quality development.

- 4. Ensure that future development should:**
 - a. Reflect the values of the community.**
 - b. Enhance the surrounding environment.**
 - c. Visually harmonize with its surroundings and not unnecessarily obstruct scenic views; and**
 - d. Avoid nostalgic misrepresentations that may confuse the relationships among structures over time.**

The project reflects the promotion of development that targets underutilized sites, which is a policy identified in the General Plan. Due to its location, the project will sit lower on the site as to not obstruct scenic views from existing residences to the east, and due to its nature and design, nor will it confuse the relationships among structures in the vicinity over time. The overall project has been designed to wrap around the back side of the existing residential development in order to fit in with the existing development pattern.

- 5. Ensure that decisions on housing development projects are based on objective design standards as required by the State Housing Accountability Act (Government Code Section 65589.5).**

The project complies with applicable, objective general plan and zoning standards. Therefore, in accordance with the provisions of the Housing Accountability Act (HAA), California Government Code Section 65589.5(j), the city may not deny the project or approve the project at a reduced density without basing its decision on the written findings under Section 65589.5(j), which read as follows:

- 1. The development would have a specific adverse impact on public health or safety unless disapproved, or approved at a lower density; and*
- 2. There is no feasible method to satisfactorily mitigate or avoid the specific adverse impact, other than the disapproval, or approval at a lower density*

- 6. Provide for new landscaping to create a visually pleasing setting for structures on the site.**

Landscaping will be provided in the front yards, open spaces and around the bioretention basins. A total of 141 new trees, as well as shrubs and ground cover, will be planted within the project to enhance the project site. The new landscaping will create a visually pleasing setting for the homes to be constructed on the site.

- 7. Promote the protection and retention of landmark, native, and specimen trees and if feasible mature canopy trees and other significant landscaping of aesthetic and environmental value.**

The project will remove a total of 69 on-site trees. An arborist report was prepared and a total of 83 trees were assessed, identifying seven different tree species, e.g. Coast

Live Oak, Plum Cherry, Apple, Monterey Pine, Valley Oak, Toyon, and Strawberry Tree, with Coast Live Oak as the most common species. The trees ranged from poor to good condition. A total of 47 significant trees will be removed and replaced with a total of 141 new trees, as part of the project.

- 8. Ensure that the design, quality, and location of signs are consistent with the character and scale of the structures to which they are attached and are visually harmonious with surrounding development.**

As part of the project, an entry monument sign, with an overall height of six feet and four inches, will be placed at the entrance of the new subdivision. The monument sign will be constructed of CMU blocks and will be precasted with board and batten veneer. The new sign will create a sense of place and is appropriately scaled with surrounding structures and is visually harmonious with the overall development. Additionally, new street and directional signage will be included.

- 9. Promote the conservation, enhancement, preservation, and protection of historic resources.**

Not applicable; there are no historic resources near this project's location.

Design policies of the General Plan

The project is consistent with applicable General Plan 2040 design policies such as:

NBE-2.3 (Inviting, Compatible Design. Promote attractive development that is compatible with surrounding uses)

The 51 detached single-family residences incorporate a Modern Farmhouse style home, and the building height and mass are not out of scale with existing structures located in proximity.

NBE-1.8 (Urban Forest. Encourage planting of street trees and landscaping to beautify the city, encourage walking and biking, and create a stronger sense of identity)

The project involves the planting of many trees, shrubs, and ground covers contributing to the beautification of Vallejo and the cultivation of an urban forest. The construction of sidewalk improvements within the project would encourage walking and contribute to the pedestrian realm within the subject site.

POLICY NBE-1.6 (Open Space. Conserve and enhance natural open space areas in and adjacent to Vallejo and its waterfront)

The proposed project would preserve approximately 9.74-acres of the project site as natural open space.

Policy NBE-1.15

Energy Efficiency: Support measures to reduce energy consumption and increase energy efficiency in residential, commercial, industrial, and public buildings.

The project would be required to comply with standards set in the California Building Code (CBC) Title 24, which would minimize the wasteful, inefficient, or unnecessary consumption of energy resources during operation. California's Green Building Standards Code (CBC Title 24, Part 11) requires implementation of energy efficient light fixtures and building materials into the design of new construction projects. The project includes sustainable

and energy-efficient features, including solar panels and an all-electric design, each provided at or exceeding City requirements.

Adopted applicable design guidelines.

The rezoning of the subject site from Residential Low Density and Residential Medium Density to Planned Development, will include adoption of the Vista Cove Planned Development Plan which includes design guidelines for residential development and design standards, landscaping, and fencing standards. As proposed, the project is consistent with the proposed Vista Cove Planned Development Plan.

B. Is consistent with any planning or zoning approvals by the director or the planning commission.

Not applicable; Neither the Director, nor the Planning Commission, have approved any previous entitlements at the site.

C. Complies with any other relevant city policies or regulations.

The project as proposed complies with VMC Chapter 16.202 – Residential Districts, as the project has been designed to meet the requirements, as detailed in Table 3 and 4 of Attachment 2 of the staff report. The Planning Commission will act on the Development Review for the project.

D. Meets the following criteria:

- a. The aesthetic design, including its exterior design and landscaping, is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.**

The proposed Modern Farmhouse architectural style includes a variety of different building materials such as stucco, stone or brick veneer, cementitious lap siding or panels, cementitious board and batten siding, and naturally decay resistant wood. With the application of neutral paint colors and installation of drought tolerant front yard landscaping as proposed, all design elements will complement each other and provide an attractive and comfortable environment for occupants and visitors to the subdivision.

- b. Project details, colors, materials, and landscaping are fully integrated with one another and used in a manner that is visually consistent with the proposed architectural design.**

As described above, the proposed materials, colors and landscaping will be fully integrated with one another and will be used in a manner that is visually consistent with the proposed architectural design of a Modern Farmhouse style.

- c. The project has been designed with consideration of neighboring development.**

The project has been designed with consideration of the existing neighborhood development to the east. The existing development is classified as detached, single- and two-story homes with hip and gable roofs, with a mixture of stucco, wood and batten siding. The proposed project will incorporate two-story homes that include a variety of different building materials such as stucco, stone or brick veneer, cementitious lap siding or panels, cementitious board and batten siding, and naturally decay resistant wood. With the application of neutral paint colors,

and installation of drought tolerant front yard landscaping as proposed, all design elements will not only complement each other but will also complement the existing surrounding development to the west.

- d. The project contributes to the creation of an attractive and visually interesting built environment that includes well-articulated structures that present varied building facades, rooflines, and building heights and encourages increased pedestrian activity and transit use.**

The proposed detached single-family residences have been designed to be visually interesting, and they will be constructed with a variety of high-quality building materials and painted with simple, complementary colors. Vertical and horizontal façade breaks, and building massing have all been incorporated into the design of the homes. The building features wall articulation, and materials that are aesthetically pleasing and compatible with other newer developments in the community.

- e. Street frontages are attractive and interesting for pedestrians, address the street and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.**

The proposed project will activate an underutilized, vacant site by creating new roads and alleys for the subdivision. The street frontages have been designed to include a variety of different building materials, colors and landscaping to create an attractive streetscape and create an attractive street presence for pedestrians and passing motorists.

- f. The proposed design is compatible with the historical or visual character of any area recognized by the city as having such character.**

Not applicable; the subject site is not within any historic district of the city.

- g. The aesthetic design preserves significant public views and vistas from public streets and open spaces and enhances them by providing areas for pedestrian activity.**

The project has been designed to take advantage of the views of vistas of the Carquinez Strait that will be visible from public streets and open spaces. To the extent feasible, the project will preserve the views and vistas of the existing neighborhood to the west of the site. The project will incorporate common open space to create a sense of place and provide an area for pedestrian activity.

- h. The proposed landscaping plan is suitable for the type of project and will improve the appearance of the community by enhancing the building, minimizing hardscape and softening walls; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Vallejo's climate.**

The proposed landscaping, including trees, shrubs and ground covering has been designed to improve the appearance of an underutilized site and minimize hardscape. The landscaping incorporates plant materials that are drought-tolerant, would minimize water usage, and are compatible with City of Vallejo's climate.

- i. The project has been designed to be energy efficient including, but not limited to, landscape design and green or eco-friendly design and materials.**

As required by the California Building Code, the project has been designed to be energy efficient and will include features such as LED lighting and solar panels. The proposed landscaping has been designed to incorporate plant materials that are drought tolerant consistent with the California Water Efficient Landscaping Standards.

- j. The project design protects and integrates natural features including creeks, open space, significant vegetation, and geologic features.**

The project will only develop approximately 10-acres of the vacant 20.13-acre site. The development has been designed to protect natural features and significant vegetation. The remaining 10.13-acre site will be left undeveloped and preserved as undisturbed open space.

NOW, THEREFORE, LET IT BE RESOLVED that the Design Review Board hereby recommends that the Planning Commission approve Design Review (DR23-0006) and Landscape Review (LR23-0013), as presented, based on the above findings.

PASSED AND ADOPTED at a regular meeting of the Design Review Board of the City of Vallejo, State of California, on the 10th day of July 2025 by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

MATTHEW KENNEDY, CHAIRPERSON
City of Vallejo Design Review Board

Attest:

CESAR OROZCO, SECRETARY
City of Vallejo Design Review Board

SANCERRA VISTA COVE PLANNED DEVELOPMENT, TENTATIVE MAP COVER SHEET

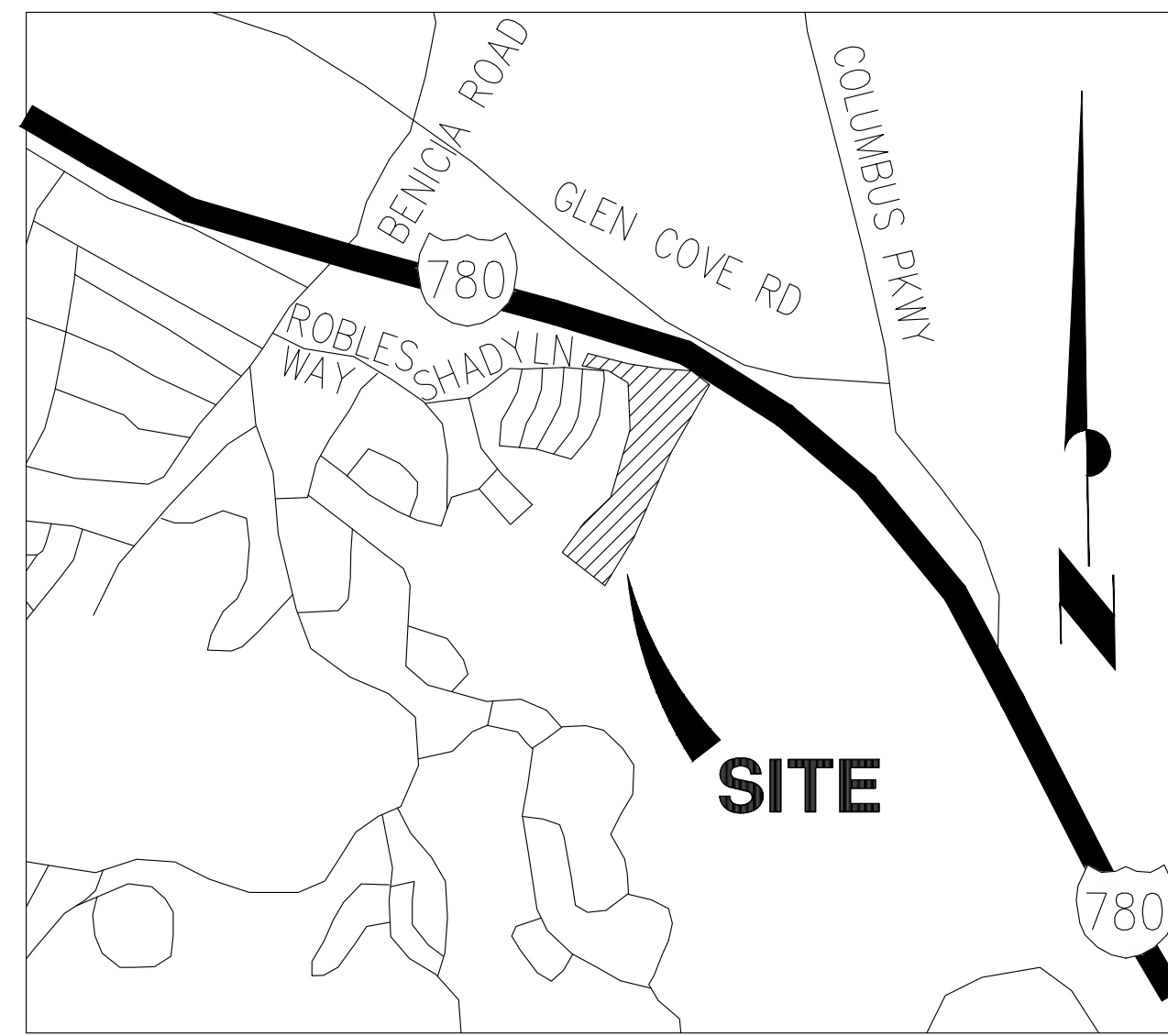
APNS: 0079-171-170, 0079-220-070, A PORTION OF 0079-120-100
VALLEJO, CALIFORNIA

SHEET INDEX	
NUMBER	TITLE
0.00	PROJECT COVER SHEET
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C2.0	EXISTING BOUNDARY AND TOPOGRAPHY
C2.1	SITE PHOTOGRAPHS
C3.0	LAND USE PLAN
C4.0	TENTATIVE MAP COVER SHEET
C4.1	PRELIMINARY SITE PLAN
C4.2	PRELIMINARY SITE PLAN
C4.3	PRELIMINARY SITE PLAN
C4.4	PRELIMINARY SITE PLAN
C4.5	PRELIMINARY SITE PLAN
C5.0	PRELIMINARY SITE, DRAINAGE AND GRADING PLAN
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C6.4	PRELIMINARY UTILITY PLAN
C7.0	STORMWATER CONTROL PLAN
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C10.0	HILLSIDE DEVELOPMENT
C11.0	FIRE TRUCK TURNAROUND
C12.0	PLOTTED SITE PLAN
L-1	OVERALL LANDSCAPE PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE PLAN
L-4	LANDSCAPE PLAN
L-5	LANDSCAPE PLAN
L-6	COMMON OPEN SPACE ENLARGEMENT
L-7	PLANT AND SITE IMAGERY
L-8	OVERALL FENCE PLAN
L-9	EXISTING TREE PLAN

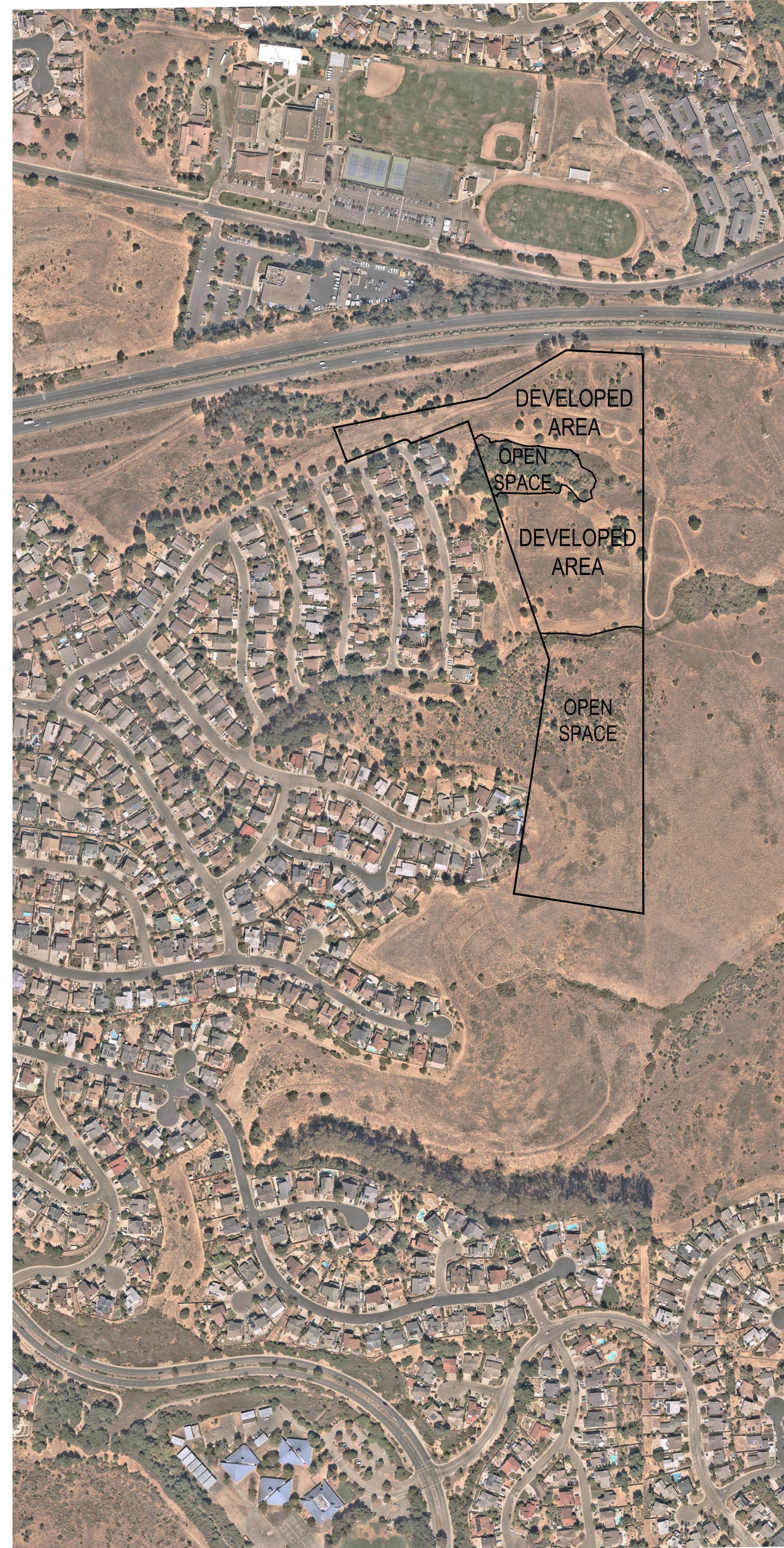
ARCHITECTURAL SHEET INDEX	
NUMBER	TITLE
A-1	COVER SHEET
A-2	PLAN 1A FLOOR PLAN
A-3	PLAN 1A SECTIONS
A-4	PLAN 1A ELEVATIONS
A-5	PLAN 1A ROOF PLAN
A-6	PLAN 1B FLOOR PLAN
A-7	PLAN 1B SECTIONS
A-8	PLAN 1B ELEVATIONS
A-9	PLAN 1B ROOF PLAN
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A-14	PLAN 1 STREETSCENE
A-15	PLAN 2A FLOOR PLAN
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A-20	PLAN 2B SECTIONS
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A-28	PLAN 3A FLOOR PLAN
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A-31	PLAN 3A ROOF PLAN
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A-33	PLAN 3B SECTIONS
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SANCERRA VISTA COVE

APNS: 0079-171-170, 0079-220-070, A PORTION OF 0079-120-100 VALLEJO, CALIFORNIA



VICINITY MAP
NOT TO SCALE



EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE	---
---	EASEMENT LINE	---
---	PARCEL LINE	---
---	MAJOR CONTOUR	100
---	MINOR CONTOUR	---
---	BACK OF CURB, FACE OF CURB, LIP OF GUTTER	---
---	ROLLED CURB	---
---	STREET CENTERLINE	---
---	SPOT ELEVATION	72.32
---	SLOPE DIRECTION	---
---	STREET LIGHT	---
X	FENCE	---
W EX 12" W	FLOW LINE	W WS
S EX 8" SS	WATER MAIN	S SS
(S)	SANITARY SEWER MAIN, MANHOLE	SS FM
EX SD	SANITARY SEWER FORCE MAIN	SD
(G)	STORM DRAIN LINE, CATCH BASIN, FIELD INLET	---
(JT)	FIRE HYDRANT	---
---	GAS	---
---	JOINT TRENCH	---
---	BIORETENTION BASIN	---
---	UNIT NUMBER	33

ABBREVIATIONS	
AC	ACRES
APN	ACCESSOR'S PARCEL NUMBER
APPURT.	APPURTENANT
BIO	BIORETENTION AREA
BNDY	BOUNDARY
EAS.	EASEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FI	FIELD INLET
FL	FLOW LINE
INST.	INSTRUMENT
L	LENGTH
LME	LANDSCAPE MAINTENANCE EASEMENT
MAX	MAXIMUM
MIN	MINIMUM
NO.	NUMBER
PAR	PARCEL
PE	PLANTING EASEMENT
PL	PROPERTY LINE
POR.	PORTION
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS
RET WALL	RETAINING WALL
SF	SQUARE FEET
SO	SIDE OPENING
TB	TOP OF BASIN
TR	TITLE REPORT
TYP	TYPICAL

SITE INFORMATION

SITE ADDRESS:
SHADY LANE AND WILDFLOWER ROAD
VALLEJO, CA

BENCHMARK:
VERTICAL DATUM NAVD88 GEOD 12B DERIVED FROM OPUS SOLUTION

ASSESSORS' PARCEL NUMBERS:
0079-171-170, 007-220-070, A PORTION OF 0079-120-100

PROJECT SITE AREA:
TOTAL DEVELOPED AREA: 10.395± ACRES
PARCEL A: 8.356± ACRES
PARCEL B: 1.381± ACRES

PROJECT FLOOD ZONE:
ZONE X

PROJECT DESCRIPTION:
51 SINGLE FAMILY RESIDENTIAL HOMES

REQUIRED FIRE FLOW:
1500 GALLONS PER MINUTE

PROJECT TEAM

OWNER/APPLICANT:
SANCERRA VISTA COVE, LLC
2618 SAN MIGUEL DRIVE, SUITE 1223
NEWPORT BEACH, CA 92660
(949) 469-4497
CONTACT: ADAM SMITH

CIVIL ENGINEER:
dk ENGINEERING
1931 SAN MIGUEL DR, SUITE 100
WALNUT CREEK, CA 94596
(925) 932-6868
CONTACT: ANDREW D. PALFFY, RCE 43704

ARCHITECT:
ROBERT HIDEY ARCHITECTS
3337 MICHELSON DRIVE, SUITE 170
IRVINE, CA 92612
(949) 655-1550
CONTACT: DAN WEIBEL

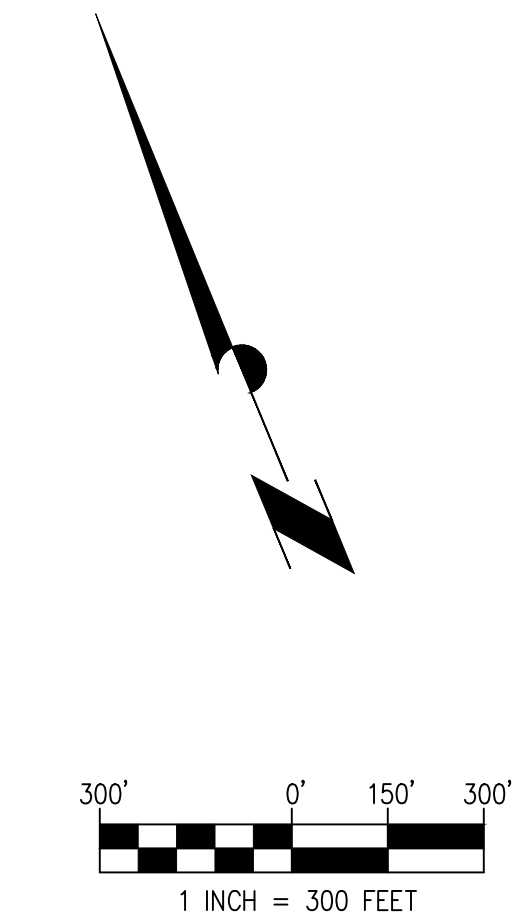
LANDSCAPE ARCHITECT:
VANDERTOOLEN AND ASSOCIATES
700 YGNACIO VALLEY ROAD, SUITE 100
WALNUT CREEK, CA 94596
(707) 224-2299
CONTACT: JACQUELINE SMYTH

GEOTECHNICAL ENGINEER:
ENGO
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-9000
CONTACT: JACOB WHITE

ENVIRONMENTAL:
WRA ENVIRONMENTAL CONSULTANTS
2169-G EAST FRANCISCO BLVD
SAN RAFAEL, CA 94901
(949) 524-7542
CONTACT: PATRICIA VALCARCEL

PROJECT INFORMATION	
PLANNED ZONING	PLANNED DEVELOPMENT
PROPOSED PROJECT NAME	VISTA COVE
SIZE OF PROPERTY	TOTAL SITE AREA (DEVELOPED): 10.395± ACRES PARCEL A: 8.356± ACRES PARCEL B: 1.381± ACRES
ADJACENT LAND USES	RESIDENTIAL TO THE WEST, OPEN SPACE TO THE EAST, HIGHWAY TO THE NORTH, OPEN SPACE TO THE SOUTH
DEVELOPMENT STANDARDS	CITY OF VALLEJO, VALLEJO FLOOD AND WASTEWATER DISTRICT
SQUARE FOOTAGE OF EXISTING BUILDINGS	N/A
SQUARE FOOTAGE OF ALL PROPOSED BUILDINGS	135,688 TOTAL SF FOR 51 RESIDENTIAL HOMES
PARKING PROVIDED	2 GARAGE STALLS PER UNIT (102 STALLS); 2 DRIVEWAY STALLS PER UNIT (102 STALLS); ON-STREET STALLS = 24 STALLS ; MAILBOX PARKING = 1 STALL
INUNDATION	FEMA FLOOD ZONE X
UTILITY SOURCES	SEWER DISPOSAL: VALLEJO FLOOD AND WASTEWATER DISTRICT WATER SUPPLY: CITY OF VALLEJO
INTENDED USE OF PARCELS	RESIDENTIAL HOMES, OPEN SPACE

SHEET INDEX	
NUMBER	TITLE
0.0	PROJECT COVER SHEET
C1.0	TITLE SHEET
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C2.1	SITE PHOTOGRAPHS
C3.0	LAND USE PLAN
C4.0	TENTATIVE MAP COVER SHEET
C4.1	PRELIMINARY SITE PLAN
C4.2	PRELIMINARY SITE PLAN
C4.3	PRELIMINARY SITE PLAN
C4.4	PRELIMINARY SITE PLAN
C4.5	PRELIMINARY SITE PLAN
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C10.0	HILLSIDE DEVELOPMENT
C11.0	FIRE TRUCK TURNAROUND
C12.0	PLOTTED SITE PLAN



SANCERRA VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
TITLE SHEET
REVISED JUNE 10, 2025



C1.0



TITLE REPORT
 FIRST AMERICAN TITLE COMPANY
 APN: 0079-120-100; 0079-171-170
 DATED: JANUARY 11, 2023

BENCHMARK
 VERTICAL DATUM NAVD88 GEOID 12B DERIVED FROM OPUS SOLUTION

BASIS OF BEARINGS
 BEARING SHOWN HEREON ARE ON CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 2 (GRID), HORIZONTAL DATUM USING THE NAD83 (2011) (EPOCH 2010.0000), US SURVEY FEET.

TOPOGRAPHIC SURVEY
 TOPOGRAPHIC FEATURES SHOWN HEREON GENERATED BY A DRONE FLIGHT BY ALL POINTS SURVEYING & MAPPING, INC. ON JUNE 22, 2022. SUPPLEMENTAL FIELD SURVEY CONDUCTED BY dk FIELD CREW.

CONTOUR INTERVAL
 EXISTING: 2 FOOT AND 10 FOOT

NOTE
 COORDINATE SYSTEM IS NAD83 CALIFORNIA STATE PLANE ZONE II, US SURVEY FOOT

SITE ADDRESS
 SHADY LANE AND WILDFLOWER AVE, VALLEJO, CA

APNS
 A PORTION OF 0079-120-100, 0079-171-170, 0079-220-070

REFERENCES
 (1) 7 PM 58
 (2) 36 M 93
 (3) 1987-35791 & 2018-21819

LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	—
EASEMENT LINE	- - -
MAJOR CONTOUR	—90—
MINOR CONTOUR	—100—
BACK OF CURB, FACE OF CURB, LIP OF GUTTER	=====
DIRT TRAIL	—X—
FOUND MONUMENT	⊙
FOUND IRON PIPE	•
TREE DRIPLINE	~~~~~
FENCE	—X—
FLOW LINE	—>—
WATER MAIN	—W—
SANITARY SEWER MAIN, MANHOLES, CLEAN OUT	—S—
STORM DRAIN LINE	—S—
ADJOINING PROPERTY LINE	—X—
SITE PHOTOS WITH DIRECTION (SEE SHEET 3)	▶

ABBREVIATIONS

APN	ACCESSOR'S PARCEL NUMBER
APPURT.	APPURTENANT
EAS.	EASEMENT
INST.	INSTRUMENT
L	LENGTH
LME	LANDSCAPE MAINTENANCE EASEMENT
NO.	NUMBER
PAR	PARCEL
PORT.	PORTION
R	RADIUS
TR	TITLE REPORT

**SANCERRA
 VISTA COVE**
 PLANNED DEVELOPMENT, TENTATIVE MAP
 EXISTING BOUNDARY AND TOPOGRAPHY
 MAY 9, 2024



C2.0



PHOTO 1
(FACING WEST)



PHOTO 2
(FACING EAST)



PHOTO 3
(FACING SOUTH)



PHOTO 4
(FACING WEST)



PHOTO 5
(FACING SOUTHEAST)



PHOTO 6
(FACING EAST)



PHOTO 7
(FACING SOUTH)



PHOTO 8
(FACING WEST)

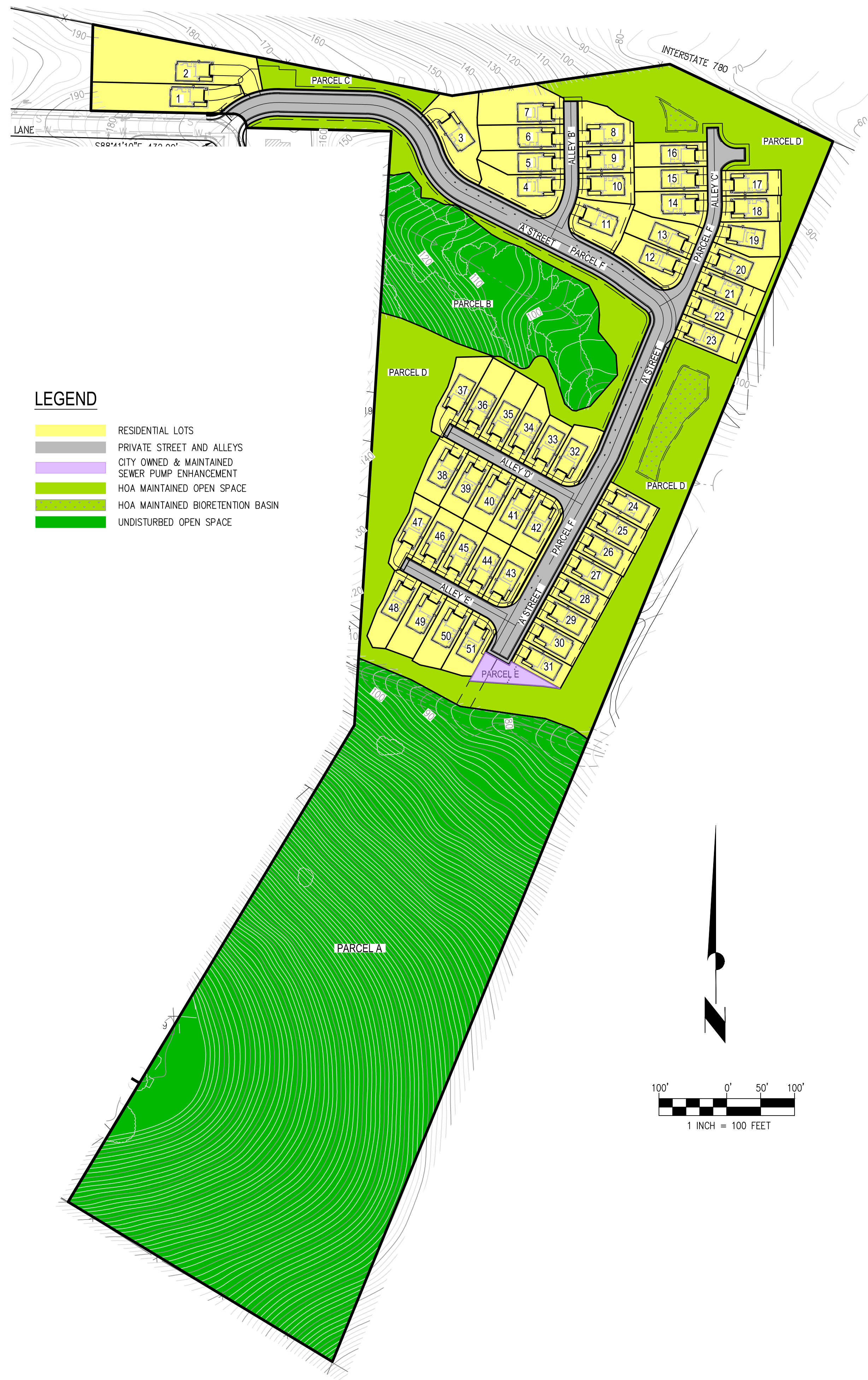


PHOTO 9
(FACING EAST)

SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
SITE PHOTOGRAPHS
MAY 9, 2024

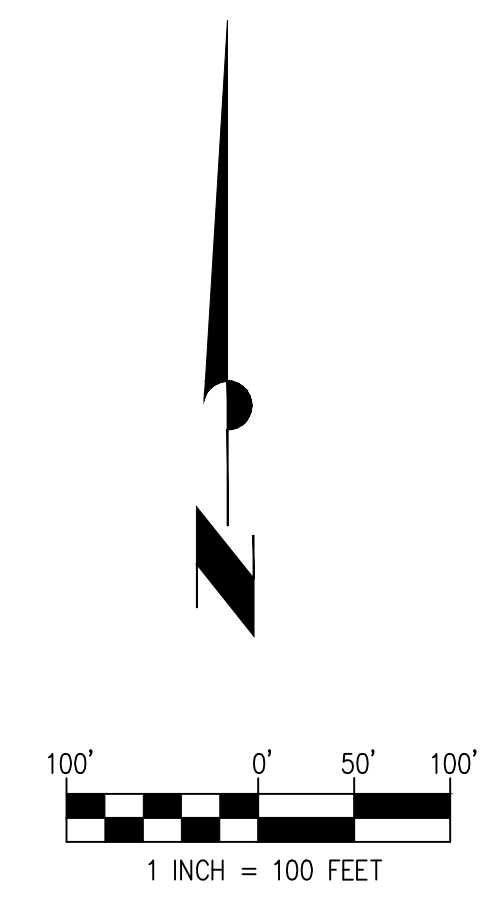


C2.1



LEGEND

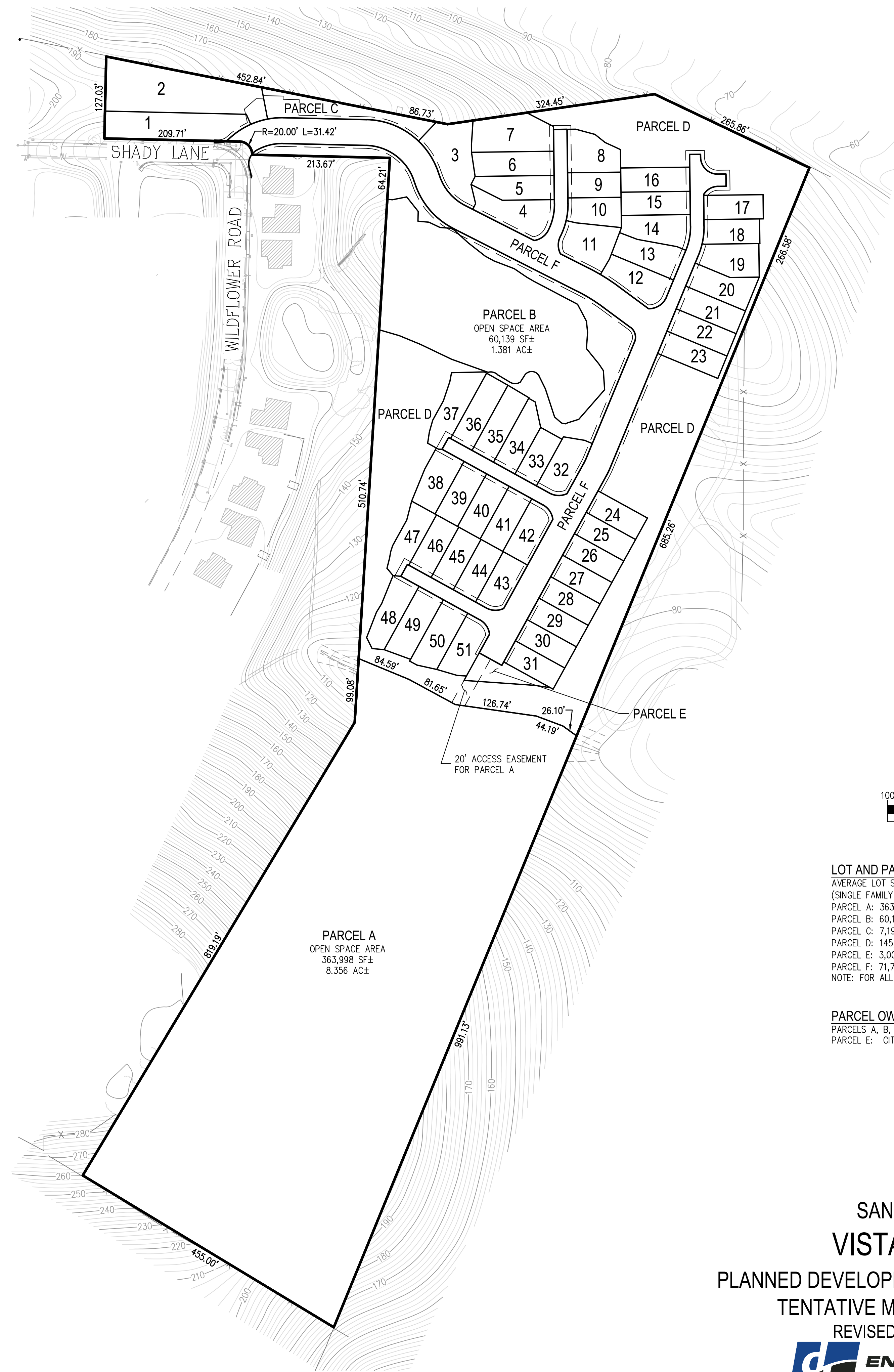
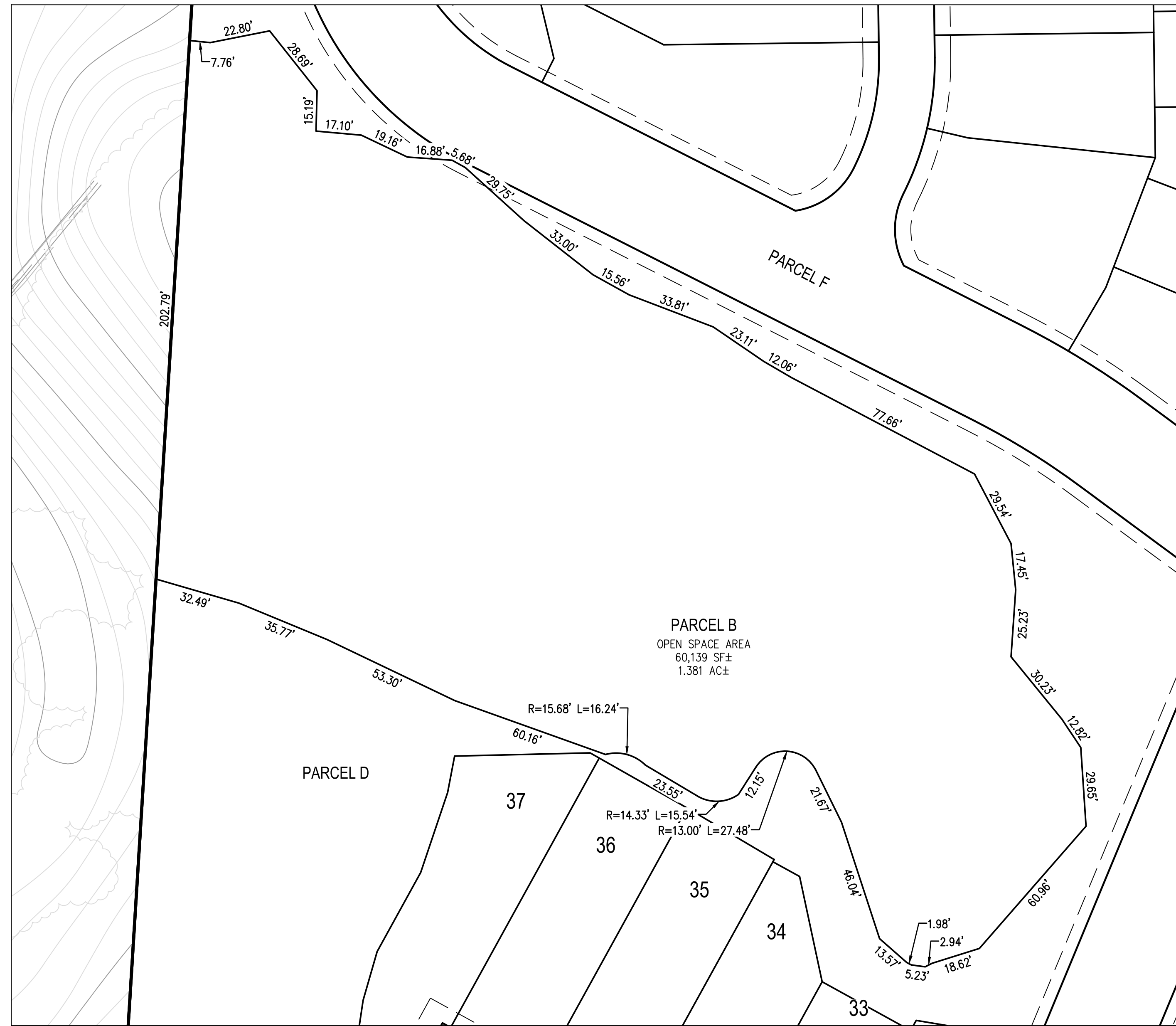
- RESIDENTIAL LOTS
- PRIVATE STREET AND ALLEYS
- CITY OWNED & MAINTAINED SEWER PUMP ENHANCEMENT
- HOA MAINTAINED OPEN SPACE
- HOA MAINTAINED BIORETENTION BASIN
- UNDISTURBED OPEN SPACE



**SANCERRA
 VISTA COVE**
 PLANNED DEVELOPMENT, TENTATIVE MAP
 LAND USE PLAN
 MAY 9, 2024



C3.0



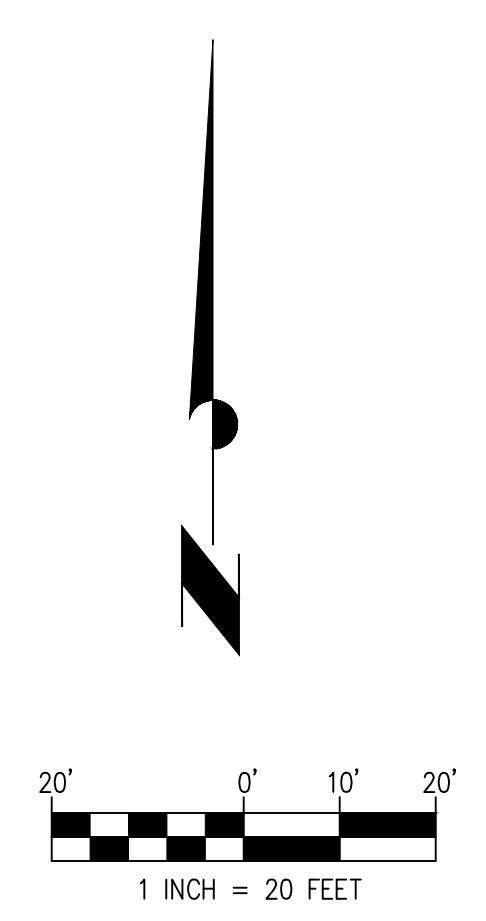
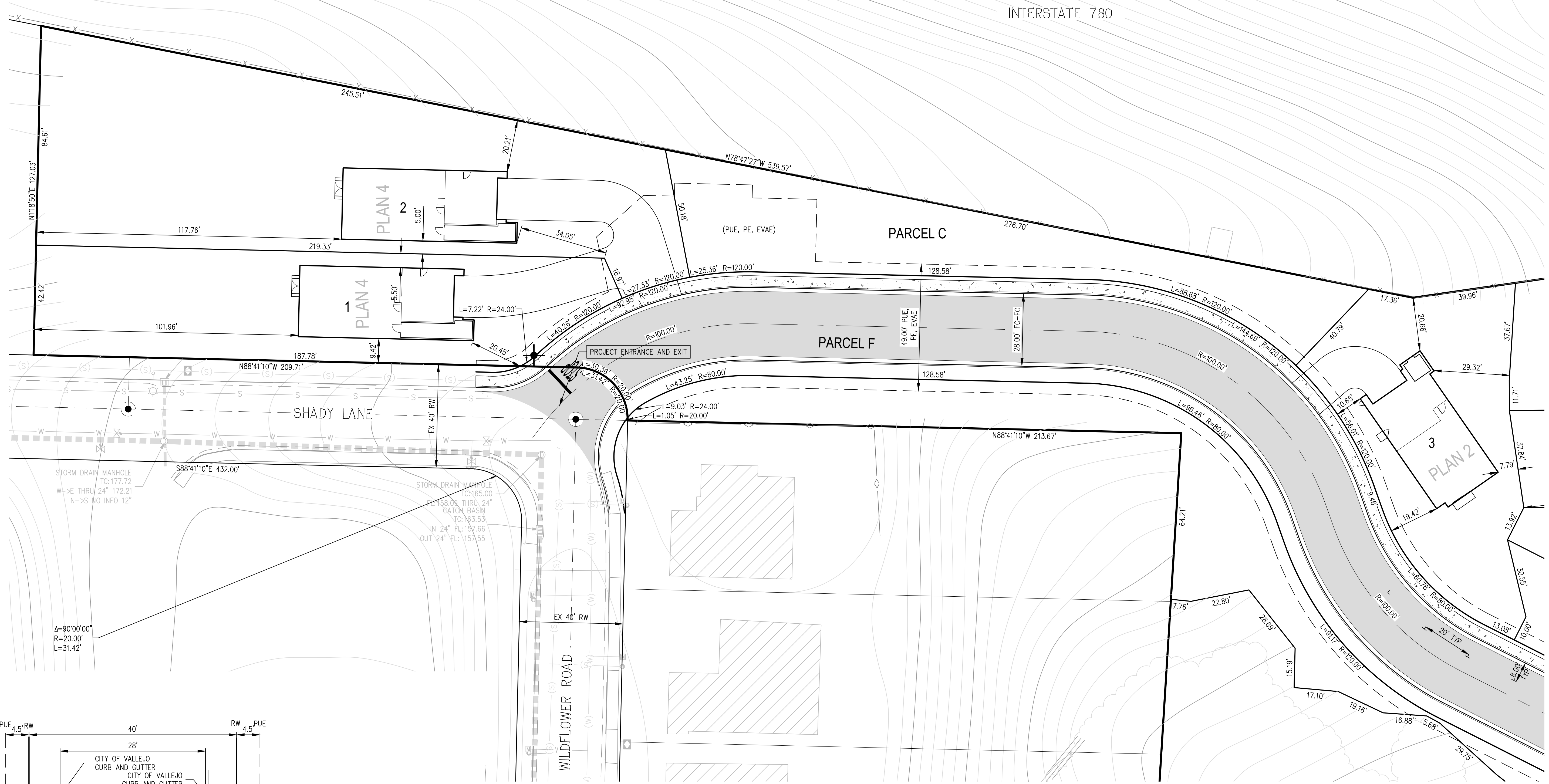
**SANCERRA
VISTA COVE**
PLANNED DEVELOPMENT, TENTATIVE MAP
TENTATIVE MAP COVER SHEET
REVISED JUNE 10, 2025



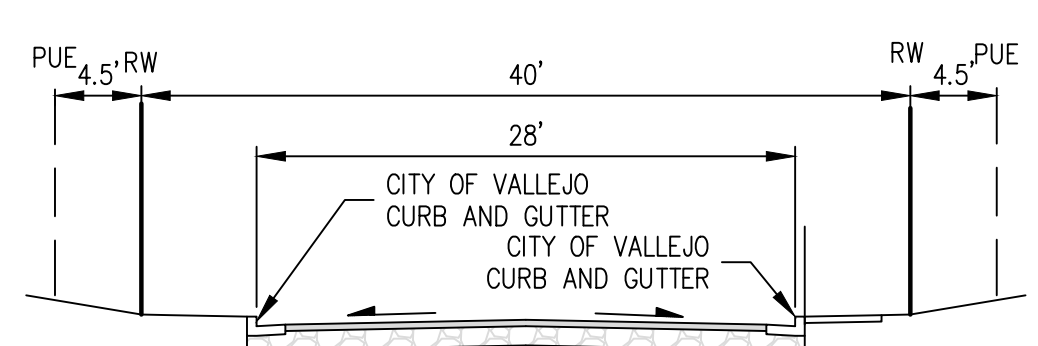
1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
WWW.DKENGINE.COM (925) 852-6968

C4.0

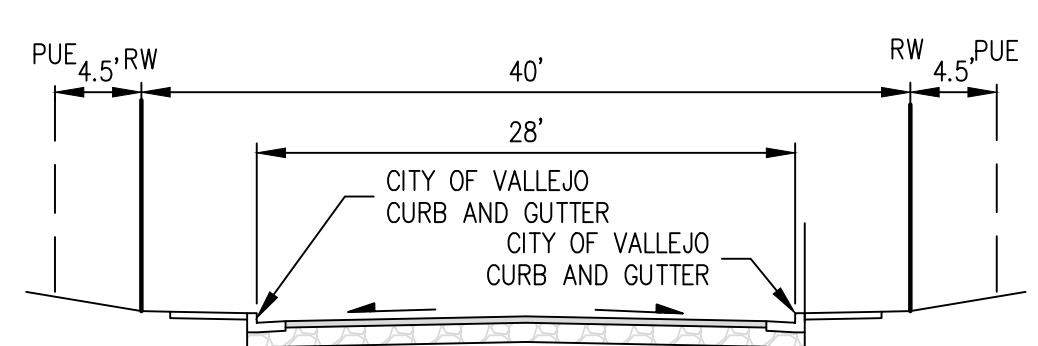
INTERSTATE 780



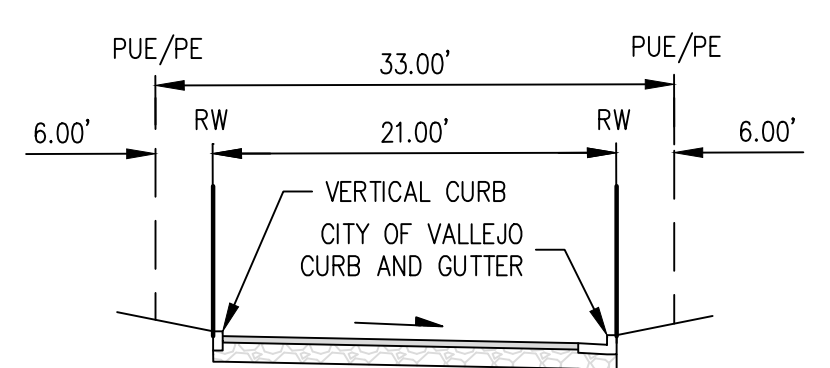
SEE SHEET C4.2



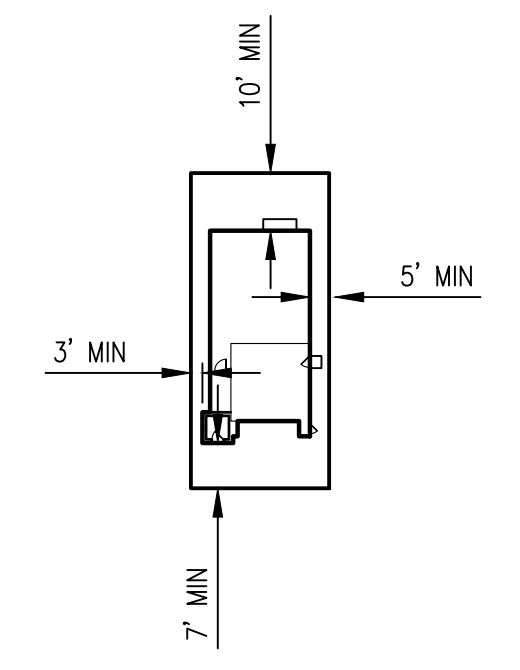
TYPICAL PRIVATE STREET W-E
SECTION A1
(STANDARD - STANDARD CURB)
NOT TO SCALE



TYPICAL PRIVATE STREET N-S
SECTION A2
(STANDARD - STANDARD CURB)
NOT TO SCALE



TYPICAL PRIVATE ALLEY
SECTION B
(VERTICAL - STANDARD CURB)
NOT TO SCALE



TYPICAL LOT SETBACKS
NOT TO SCALE

FLOOR AREA RATIO				
PLAN TYPE	FLOOR AREA	NUMBER OF BEDROOMS	NUMBER PROPOSED	TOTAL FLOOR AREA
PLAN 1	2,329 SF	3	9	20,961 SF
PLAN 2	2,499 SF	4	13	32,487 SF
PLAN 3	2,792 SF	4	17	47,464 SF
PLAN 4	2,898 SF	4	12	34,776 SF
TOTAL				135,688 SF

LOWEST BUILDING FINISHED FLOOR: LOT 24, ELEVATION 99.7

LOT AND PARCEL AREAS:
 AVERAGE LOT SIZE FOR LOTS 1-51 (SINGLE FAMILY RESIDENTIAL HOMES): 4,420 SF±/0.10 AC±
 PARCEL A: 363,988 SF±/ 8.36 AC±
 PARCEL B: 60,139 SF±/ 1.38 AC±
 PARCEL C: 7,197 SF±/ 0.17 AC±
 PARCEL D: 145,421 SF±/ 3.34 AC±
 PARCEL E: 3,009 SF±/ 0.07 AC±
 PARCEL F: 71,735±/ 1.65 AC±
 NOTE: FOR ALL LOT AREAS SEE SHEET C4.2

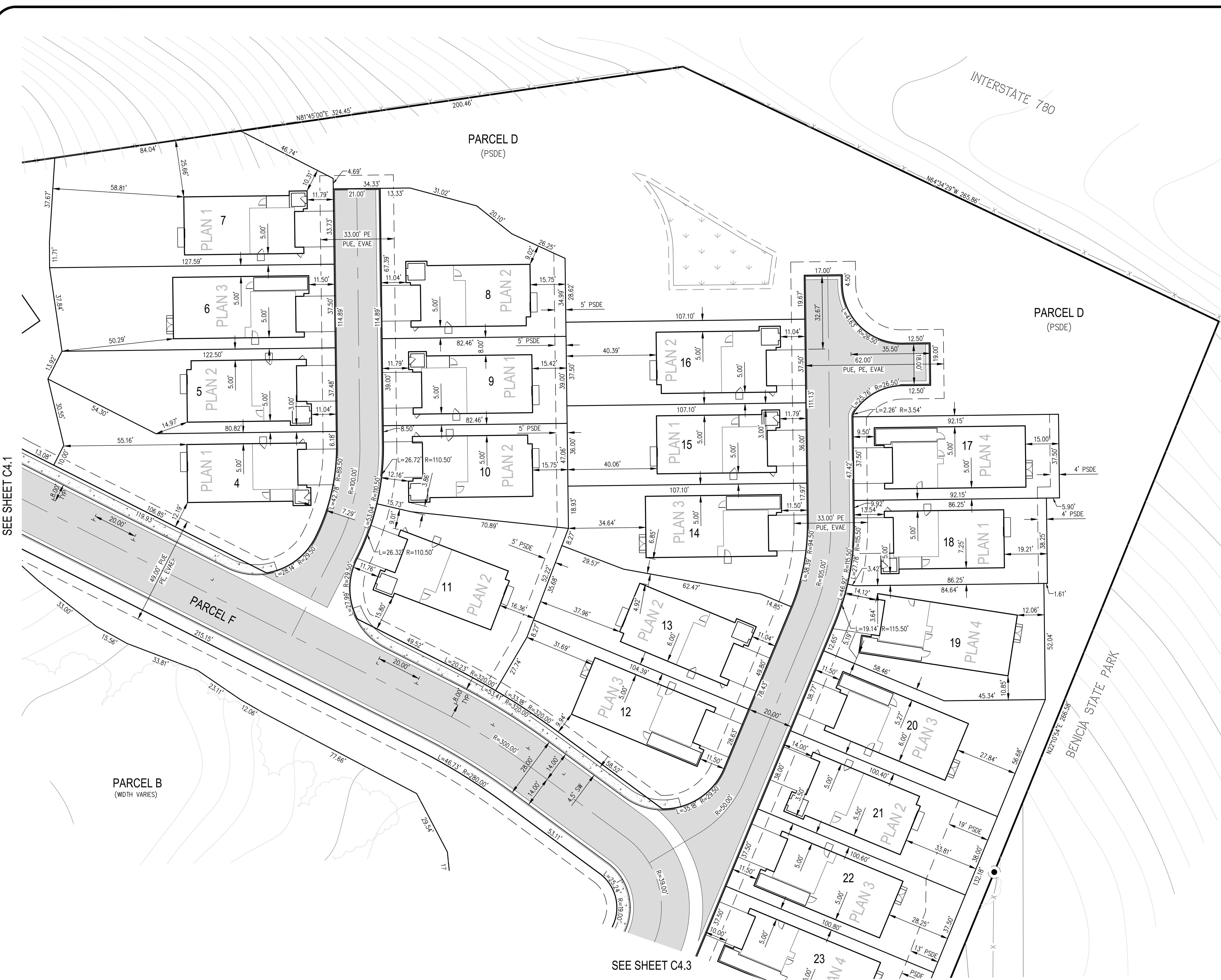
PARCEL OWNERSHIP:
 PARCELS A, B, C, D, AND F: HOMEOWNERS ASSOCIATION
 PARCEL E: CITY OF VALLEJO

ABBREVIATIONS
 EVAE EMERGENCY VEHICLE ACCESS EASEMENT
 PE PLANTING EASEMENT
 PUE PUBLIC UTILITY EASEMENT
 RW RIGHT OF WAY
 TYP TYPICAL

SANCERRA VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY SITE PLAN
 REVISED JUNE 10, 2025



C4.1

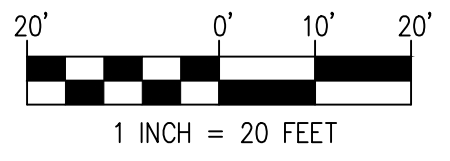


SEE SHEET C4.1

SEE SHEET C4.3

Parcel Table		
LOT #	NET/GROSS AREA (SF)	NET/GROSS AREA (AC)
PARCEL A	363,998	8.36
PARCEL B	60,139	1.38
PARCEL C	7,197	0.17
PARCEL D	145,421	3.34
PARCEL E	3,009	0.07
PARCEL F	71,735	1.65
1	8,983	0.21
2	15,875	0.36
3	7,282	0.17
4	5,737	0.13
5	4,188	0.10
6	4,689	0.11
7	6,690	0.15
8	4,567	0.10
9	3,216	0.07
10	3,498	0.08
11	5,241	0.12
12	4,861	0.11
13	4,423	0.10
14	4,523	0.10
15	3,856	0.09
16	4,016	0.09
17	3,455	0.08
18	3,331	0.08
19	4,364	0.10
20	4,262	0.10
21	3,819	0.09
22	3,776	0.09
23	3,783	0.09

Parcel Table		
LOT #	NET/GROSS AREA (SF)	NET/GROSS AREA (AC)
24	3,323	0.08
25	3,323	0.08
26	3,323	0.08
27	3,323	0.08
28	3,323	0.08
29	3,323	0.08
30	3,280	0.08
31	3,280	0.08
32	4,348	0.10
33	3,137	0.07
34	3,892	0.09
35	4,356	0.10
36	4,387	0.10
37	4,924	0.11
38	4,253	0.10
39	3,725	0.09
40	3,725	0.09
41	3,725	0.09
42	4,009	0.09
43	3,751	0.09
44	3,513	0.08
45	3,513	0.08
46	3,513	0.08
47	3,983	0.09
48	4,367	0.10
49	4,690	0.11
50	4,544	0.10
51	4,171	0.10



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY SITE PLAN
 REVISED JUNE 10, 2025



C4.2

SEE SHEET C4.2

PARCEL D
(PSDE)

PARCEL B
(WIDTH VARIES)

PARCEL D
(PSDE)

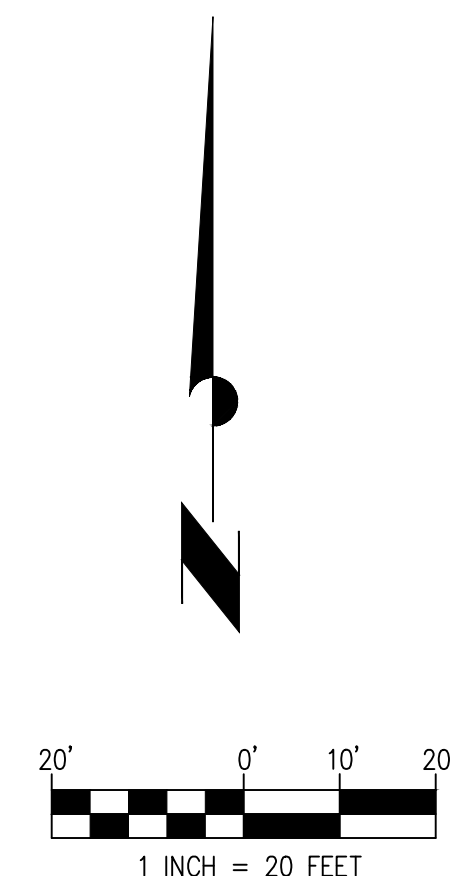
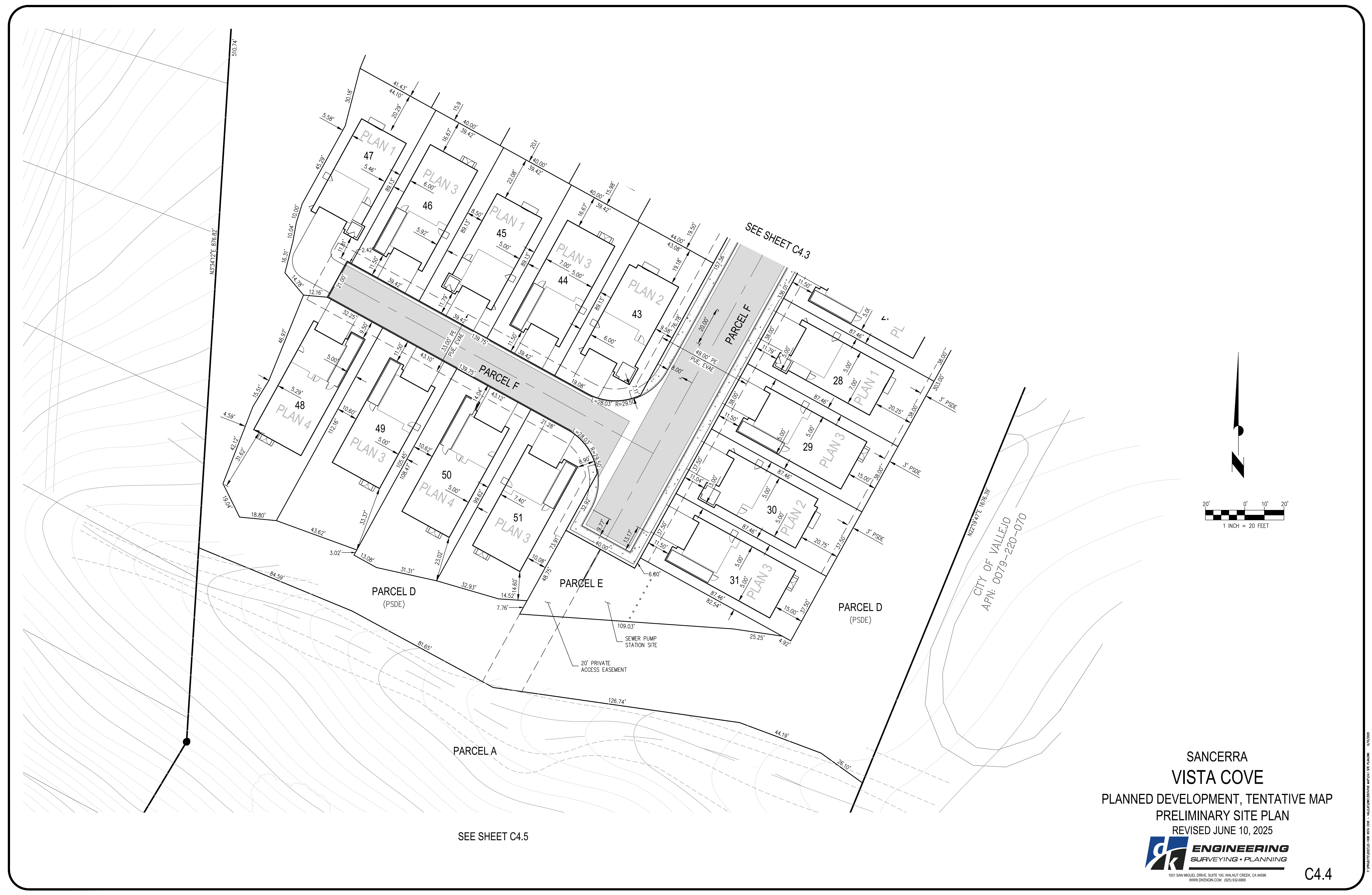


SEE SHEET C4.4

SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
PRELIMINARY SITE PLAN
REVISED JUNE 10, 2025



C4.3



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY SITE PLAN
 REVISED JUNE 10, 2025

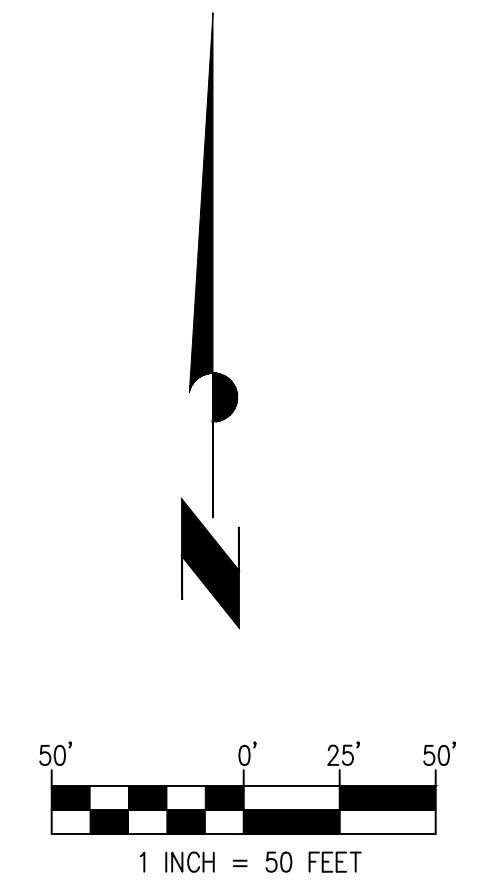
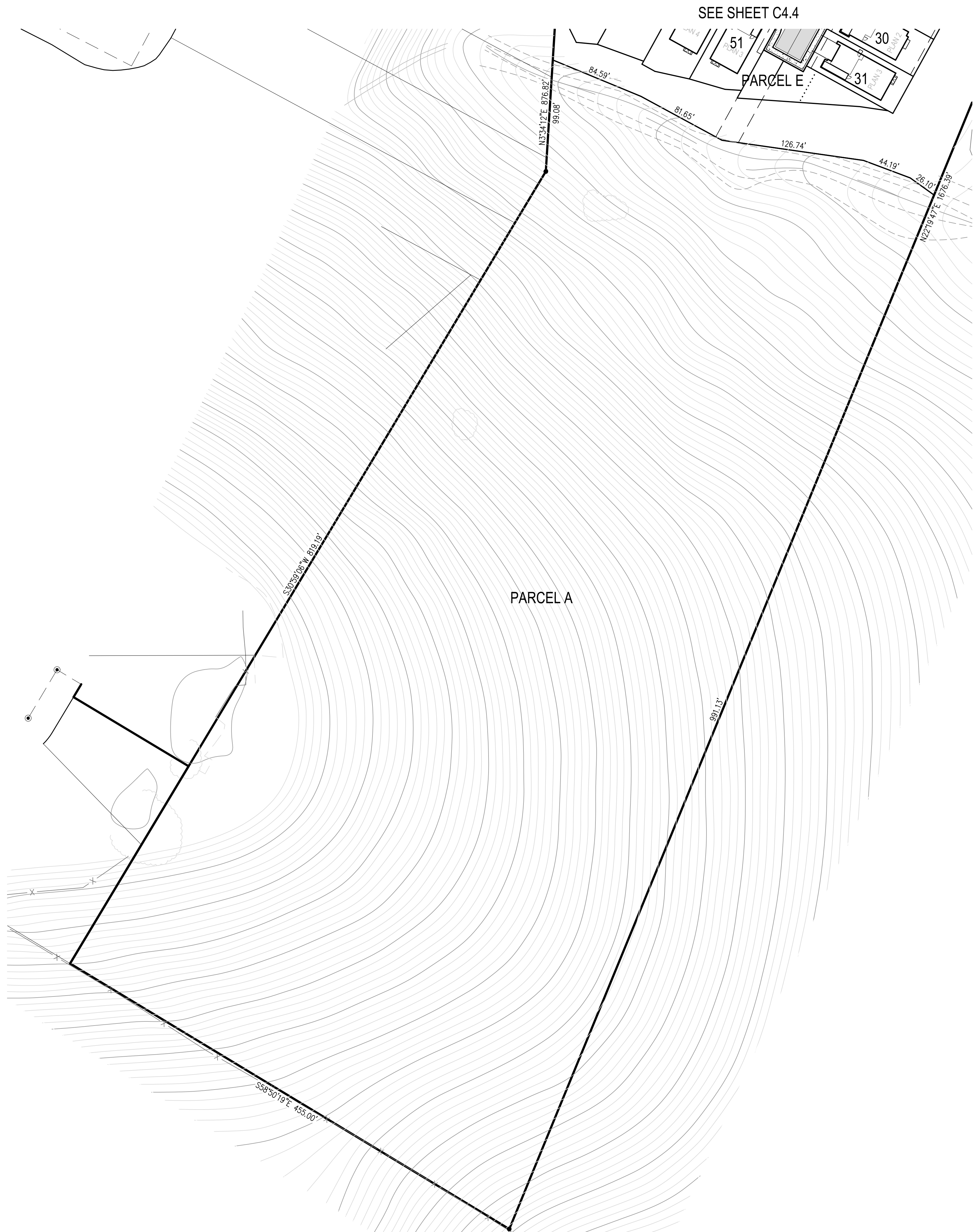


C4.4

SEE SHEET C4.5

SEE SHEET C4.3

CITY OF VALLEJO
 APN: 0079-220-070



SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
PRELIMINARY SITE PLAN
REVISED JUNE 10, 2025



C4.5



PLAN TYPE SUMMARY	
PLAN TYPE	QUANTITY
1	9
2	13
3	17
4	12

PRELIMINARY EARTHWORK SUMMARY TABLE	
CUT (CY)	58,700
FILL (CY)	59,300
NET (CY)	600 (IMPORT)

LEGEND

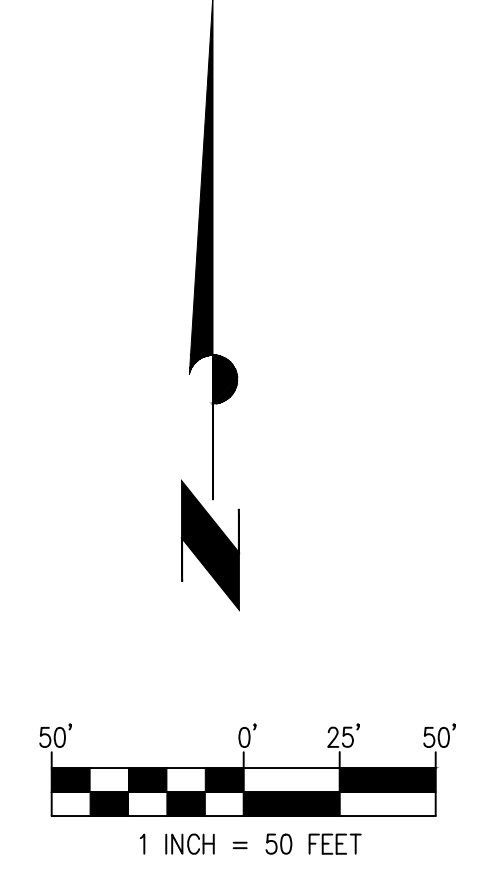
EXISTING	DESCRIPTION	PROPOSED
	PROJECT BOUNDARY	
	RIGHT OF WAY	
	PROPERTY LINE	
	EASEMENT LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	BACK OF CURB, FACE OF CURB, LIP OF GUTTER	
	CONCRETE SIDEWALK	
	PAVEMENT	
	DRAINAGE LOCATION	
	FOUND MONUMENT	
	FOUND IRON PIPE	
	TREE DRIPLINE	
	FENCE	
	FLOW LINE	
	LIMITS OF GRADING	
	STORM DRAIN LINE, CATCH BASIN, FIELD INLET, MAINTENANCE HOLE	
	BENCH	
	PAD LIMIT	
	RETAINING WALL	
	STORMWATER BASIN	
	INTERMITTENT STREAM*	
	SEASONAL WETLAND*	
	FRESHWATER MARSH*	
	RIPARIAN AREA*	
	TOYON CHAPARRAL	
	BUILDING PLAN TYPE	
	UNIT NUMBER	
	OVERLAND RELEASE DIRECTION	

* NOTE: MAY BE SUBJECT TO SECTION 1600 OF THE FISH & WILDLIFE CODE.

ABBREVIATIONS

APN	ACCESSOR'S PARCEL NUMBER
CL	CENTERLINE ELEVATION
FI	FIELD INLET
KB	KICKERBOARD
MIN	MINIMUM
P	PAD ELEVATION
RET	RETAINING WALL
SF	SQUARE FEET
SO	SIDE OPENING
TB	TOP OF BASIN
TC	TOP OF CURB ELEVATION
TSM	TOP OF SOIL MIX

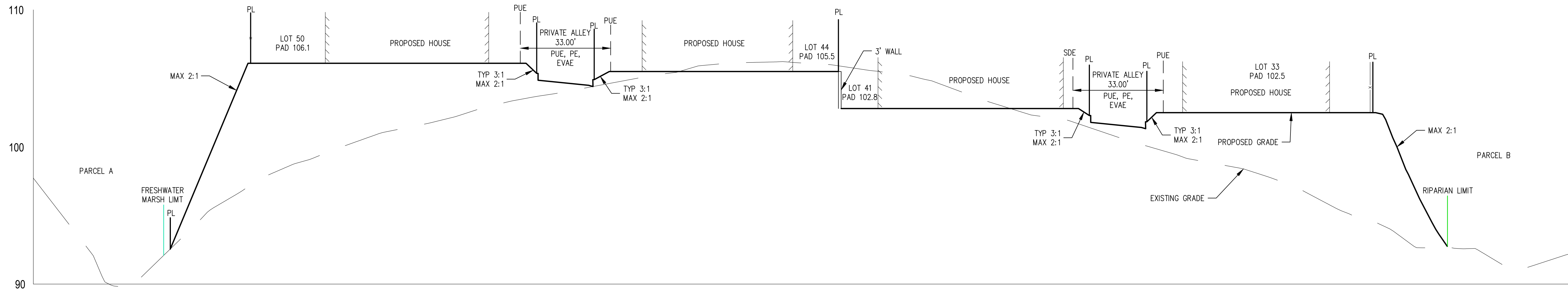
DISTURBED AREA	
TOTAL SITE AREA	876,963 SF 100%
DISTURBED AREA	448,893 SF 51.19%
UNDISTURBED AREA	428,070 SF 48.81%



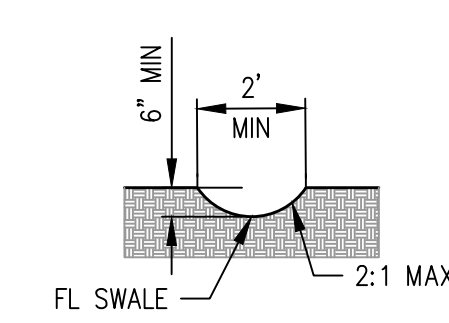
SANCERRA VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY SITE, DRAINAGE AND GRADING PLAN
 REVISED JUNE 10, 2025



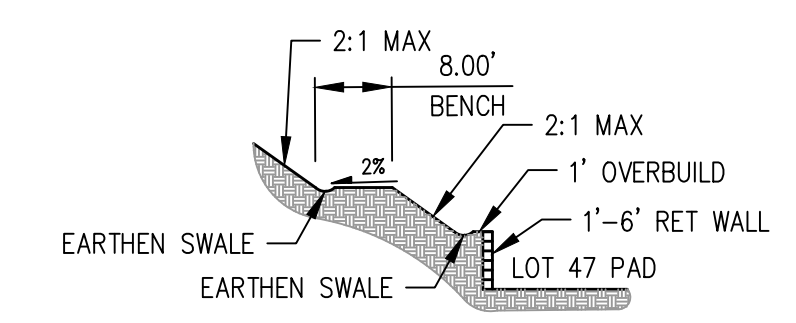
C5.0



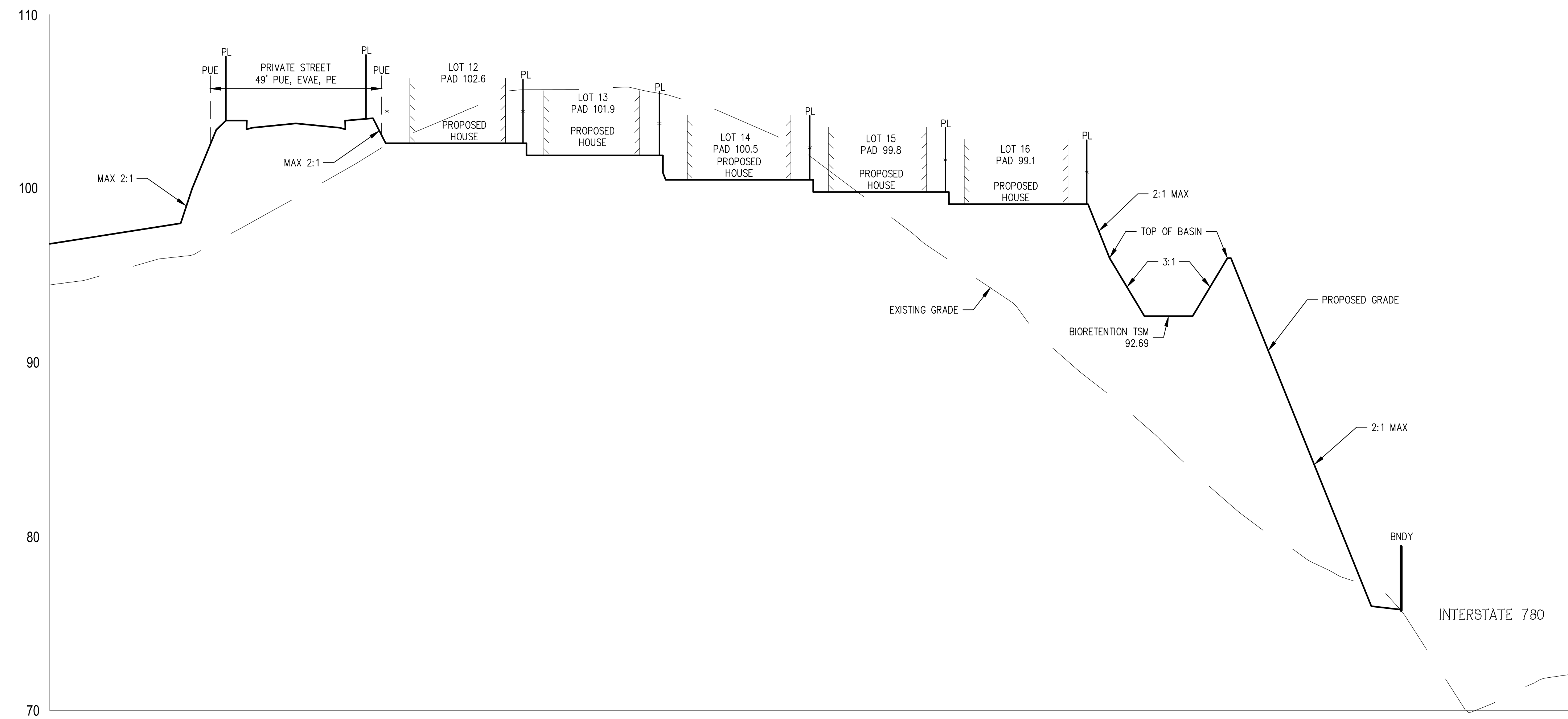
SECTION A-A
 SCALE: VERTICAL: 1"=4'
 HORIZONTAL: 1"=20'



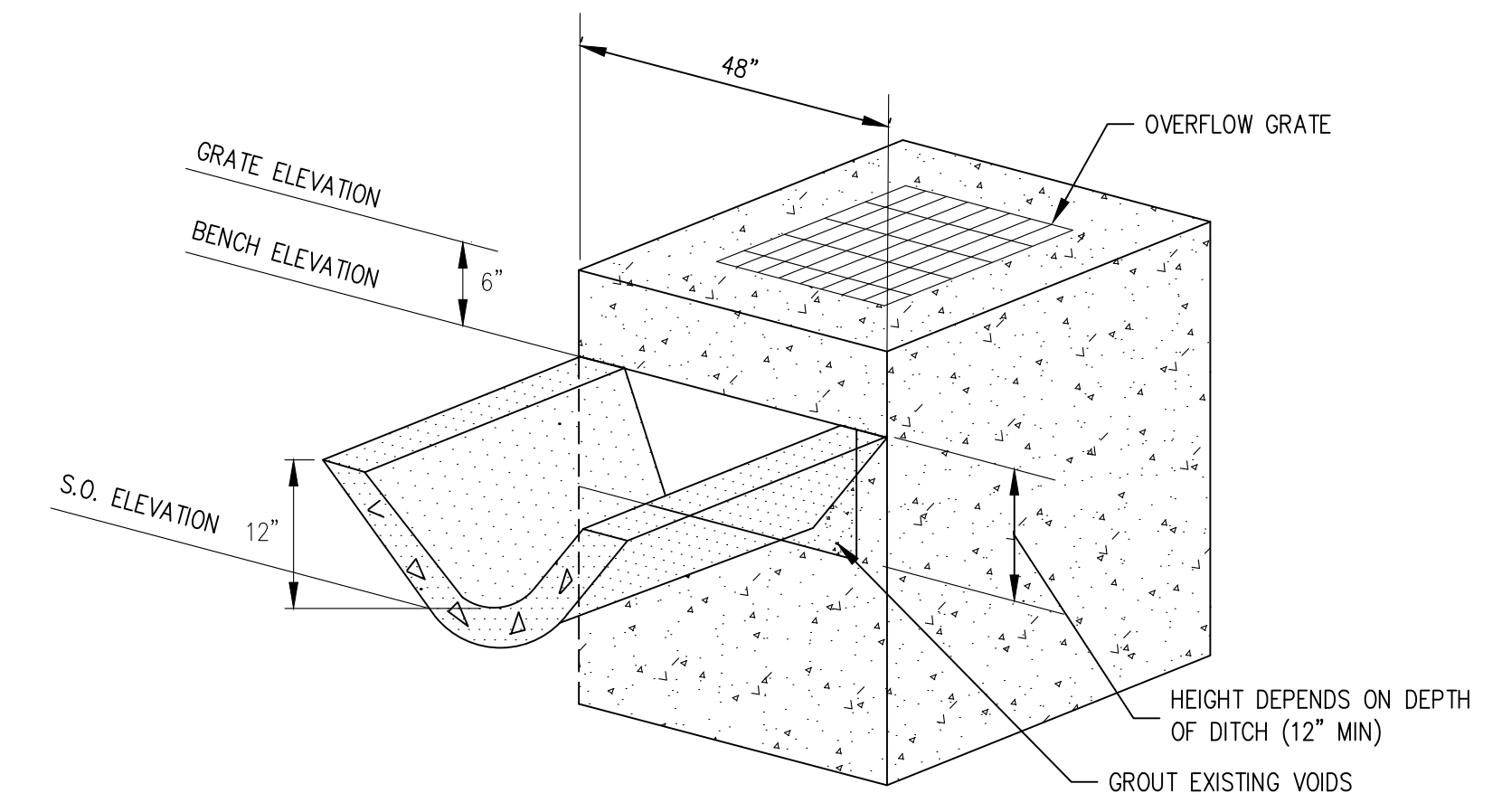
EARTHEN SWALE DETAIL
 NOT TO SCALE



LOT 47 GRADING DETAIL
 NOT TO SCALE



SECTION B-B
 SCALE: VERTICAL: 1"=4'
 HORIZONTAL: 1"=20'

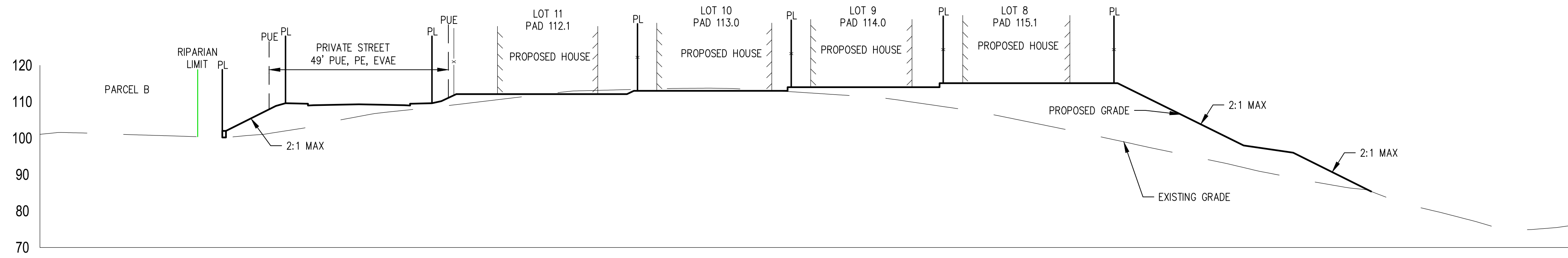


MODIFIED FIELD INLET DETAIL SD-3 WITH SIDE OPENING
 NOT TO SCALE

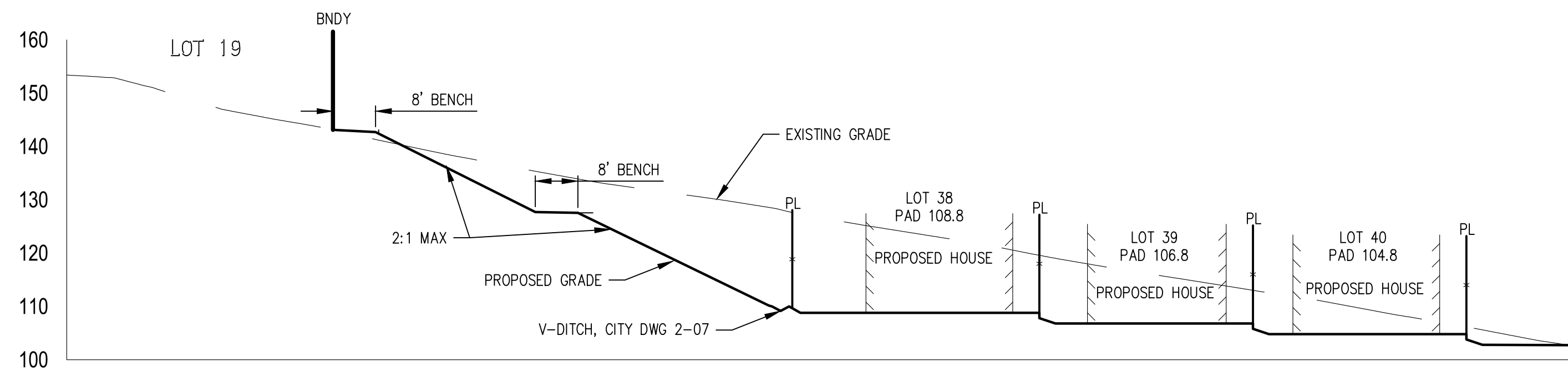
SANCERRA VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 ENGINEERED SECTIONS AND SITE DETAILS
 REVISED JUNE 10, 2025



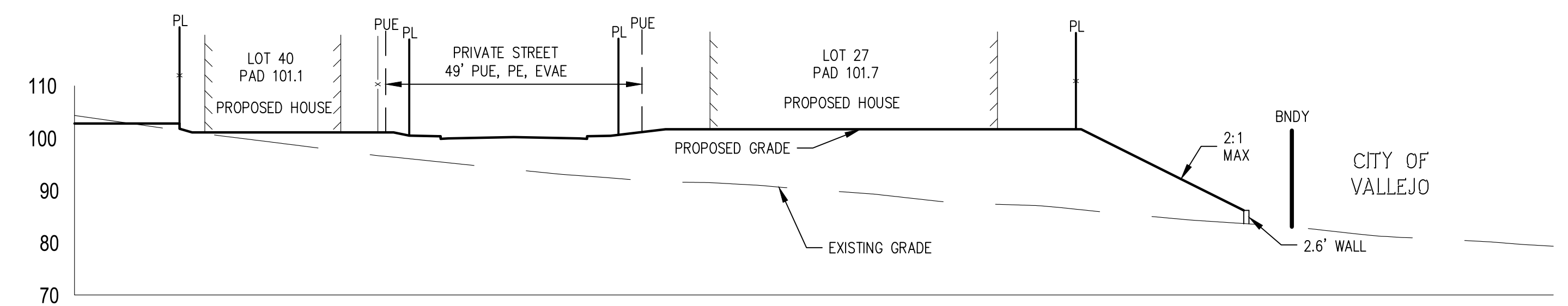
C5.1



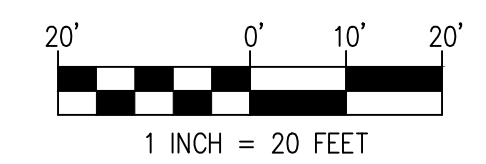
SECTION C-C
 SCALE: VERTICAL: 1"=20'
 HORIZONTAL: 1"=20'



SECTION D-D
 SCALE: VERTICAL: 1"=20'
 HORIZONTAL: 1"=20'



SECTION E-E
 SCALE: VERTICAL: 1"=20'
 HORIZONTAL: 1"=20'



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 TRUE SECTIONS
 REVISED JUNE 10, 2025



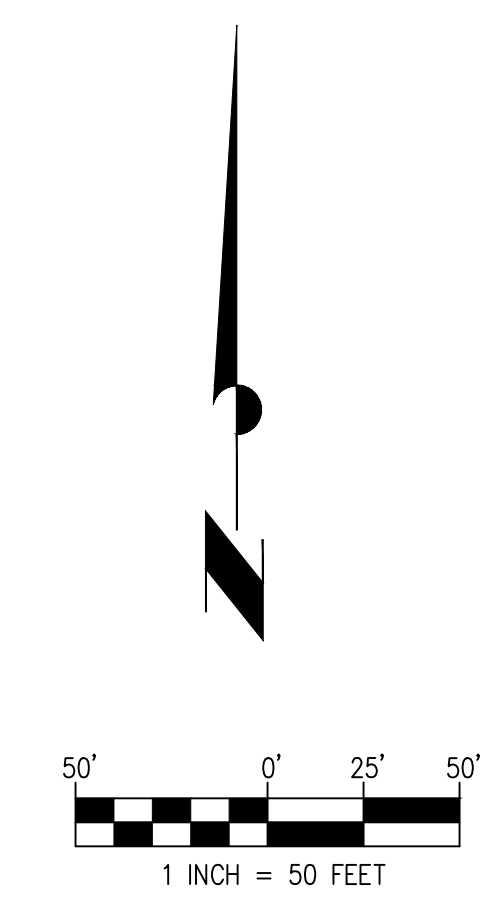
1331 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DKENGIN.COM (925) 852-6868

C5.2



LEGEND

- POTABLE WATER SYSTEM
- STORM DRAIN SYSTEM
- SANITARY SEWER SYSTEM
- SEWER FORCE MAIN
- SEWER PUMP ENHANCEMENT
- BIORETENTION AREA

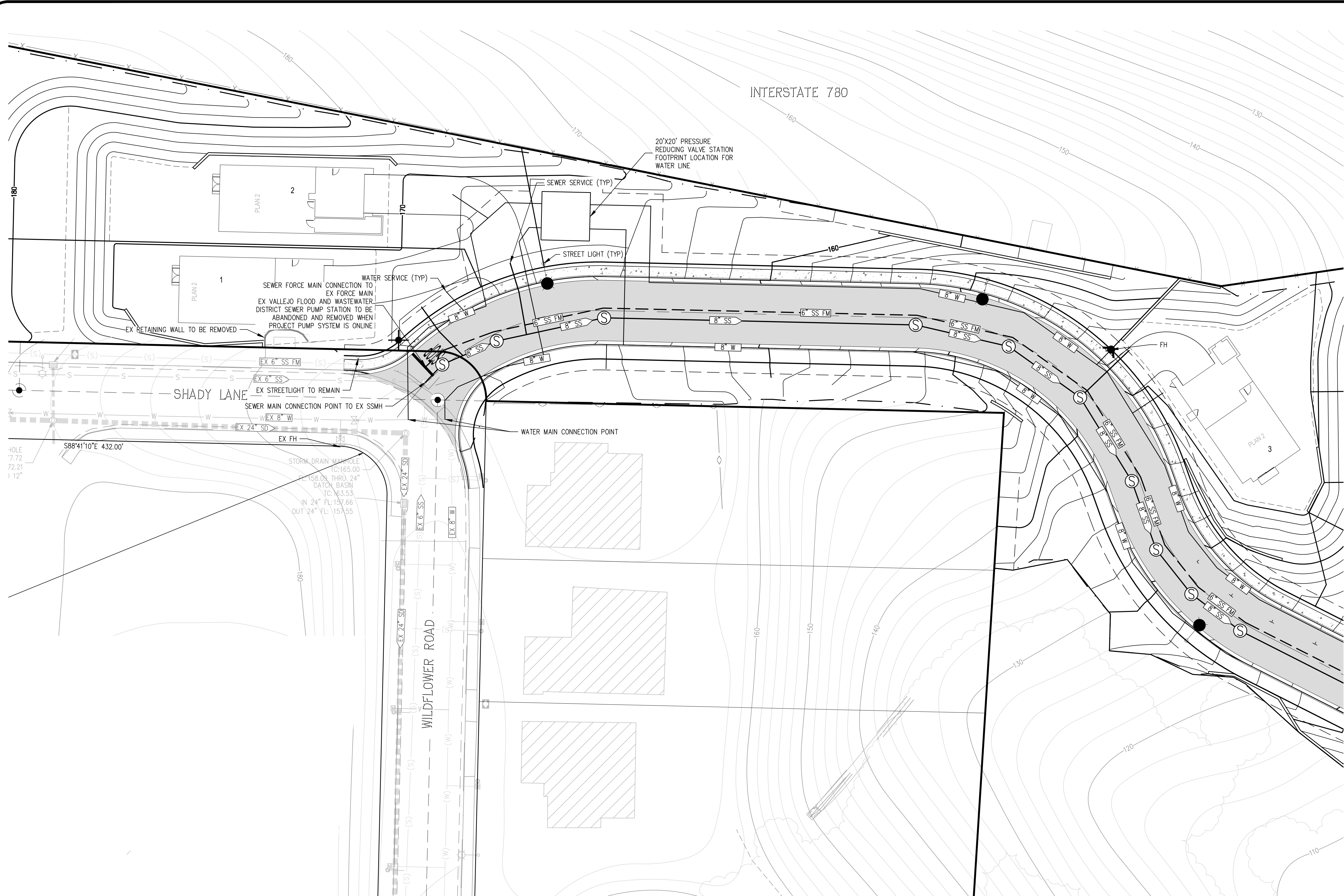


**SANCERRA
 VISTA COVE**
 PLANNED DEVELOPMENT, TENTATIVE MAP
 COMPOSITE UTILITY PLAN
 REVISED JUNE 10, 2025



1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DKENGINE.COM (925) 852-6868

C6.0



PROPOSED STRUCTURE TABLE

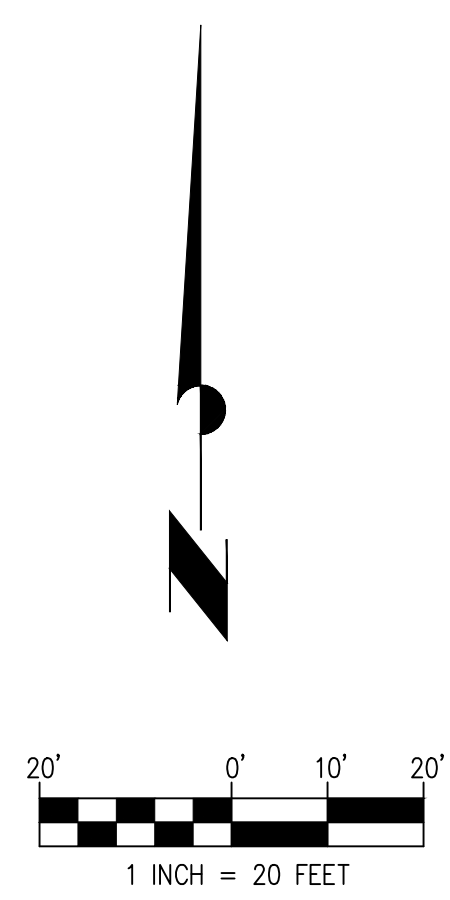
STRUCTURE TYPE	STANDARD DETAIL
STORM DRAIN MANHOLE	VALLEJO FLOOD AND WASTEWATER SD-11
STORM DRAIN FIELD INLET	VALLEJO FLOOD AND WASTEWATER SD-3
STORM DRAIN CATCH BASIN	VALLEJO FLOOD AND WASTEWATER SD-1, SD-2
SEWER MANHOLE	VALLEJO FLOOD AND WASTEWATER SS-15, SS-6
SEWER CLEANOUT	VALLEJO FLOOD AND WASTEWATER SS-3
WATER METER	CITY OF VALLEJO DWG 4-02
WATER BLOW OFF VALVE	CITY OF VALLEJO DWG 4-08
FIRE HYDRANT	CITY OF VALLEJO DWG 4-05

NOTE:
LOCAL FIRE FLOW AS TESTED BY THE CITY OF VALLEJO: 1453 GPM

UTILITIES

UTILITY	OWNER
STORM DRAIN	PRIVATE
SEWER MAIN	PUBLIC
WATER MAIN	PUBLIC

SEE SHEET C6.2



**SANCERRA
VISTA COVE**
PLANNED DEVELOPMENT, TENTATIVE MAP
PRELIMINARY UTILITY PLAN
REVISED JUNE 10, 2025



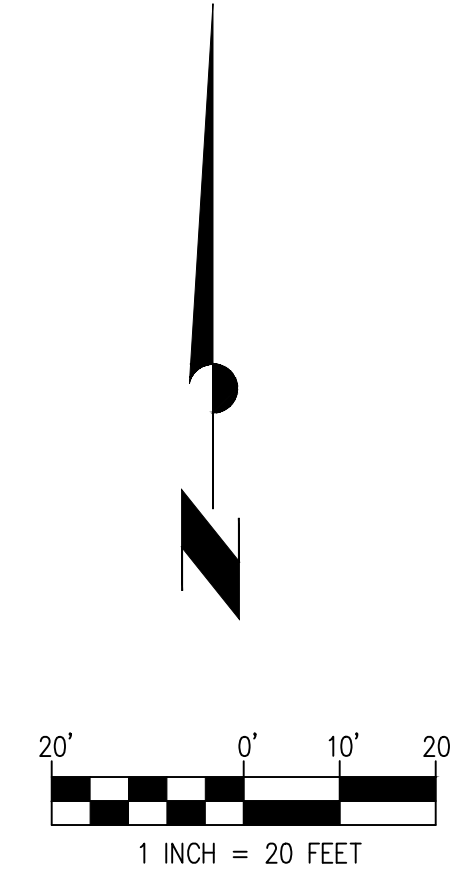
1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
WWW.DKENGINE.COM (925) 852-6968

C6.1



SEE SHEET C6.1

SEE SHEET C6.3



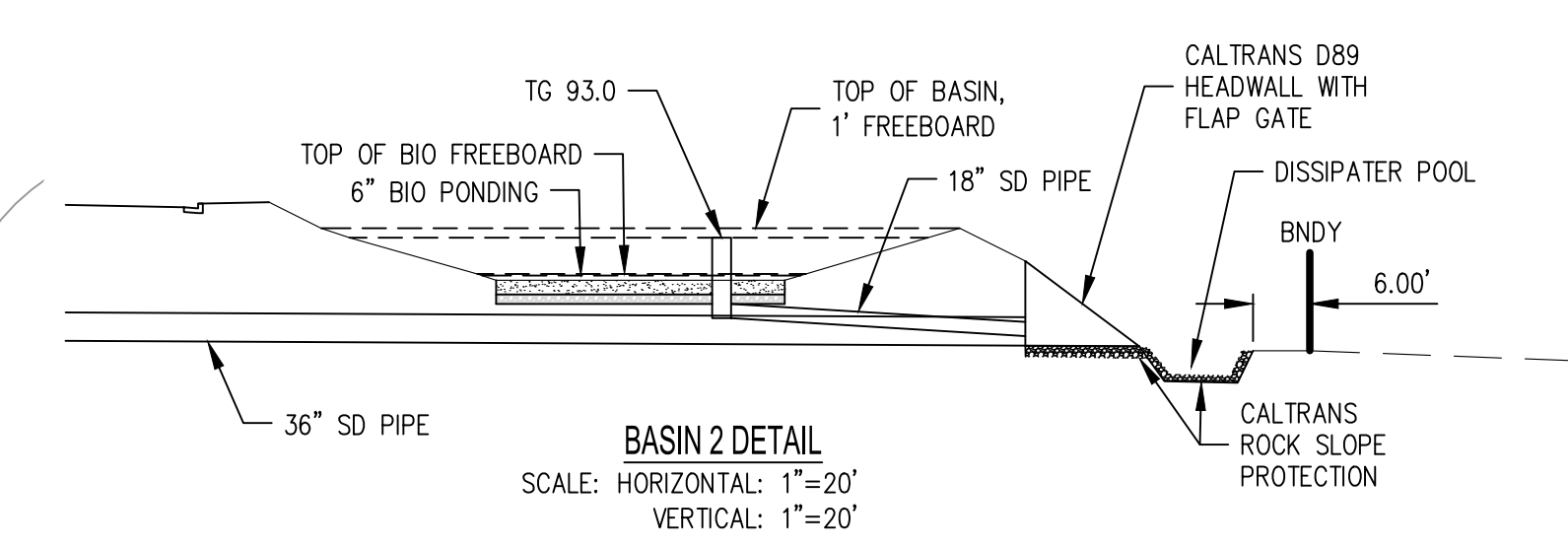
SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY UTILITY PLAN
 REVISED JUNE 10, 2025



C6.4

SEE SHEET C6.2

PARCEL B
(WIDTH VARIES)

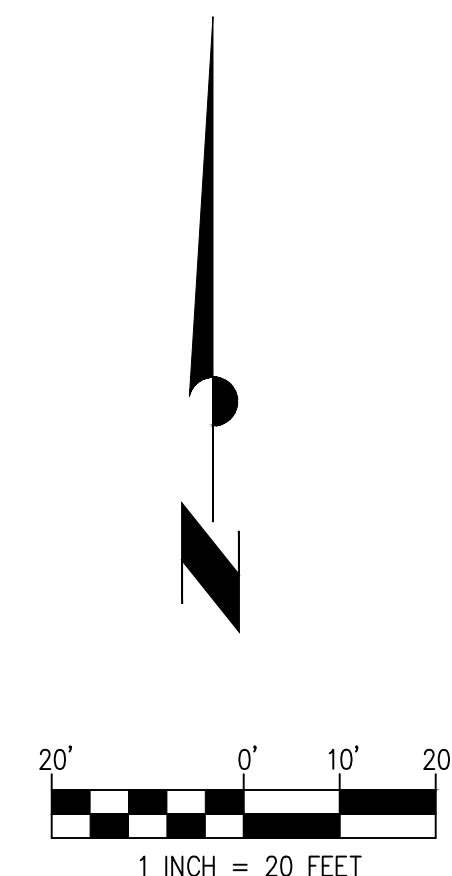
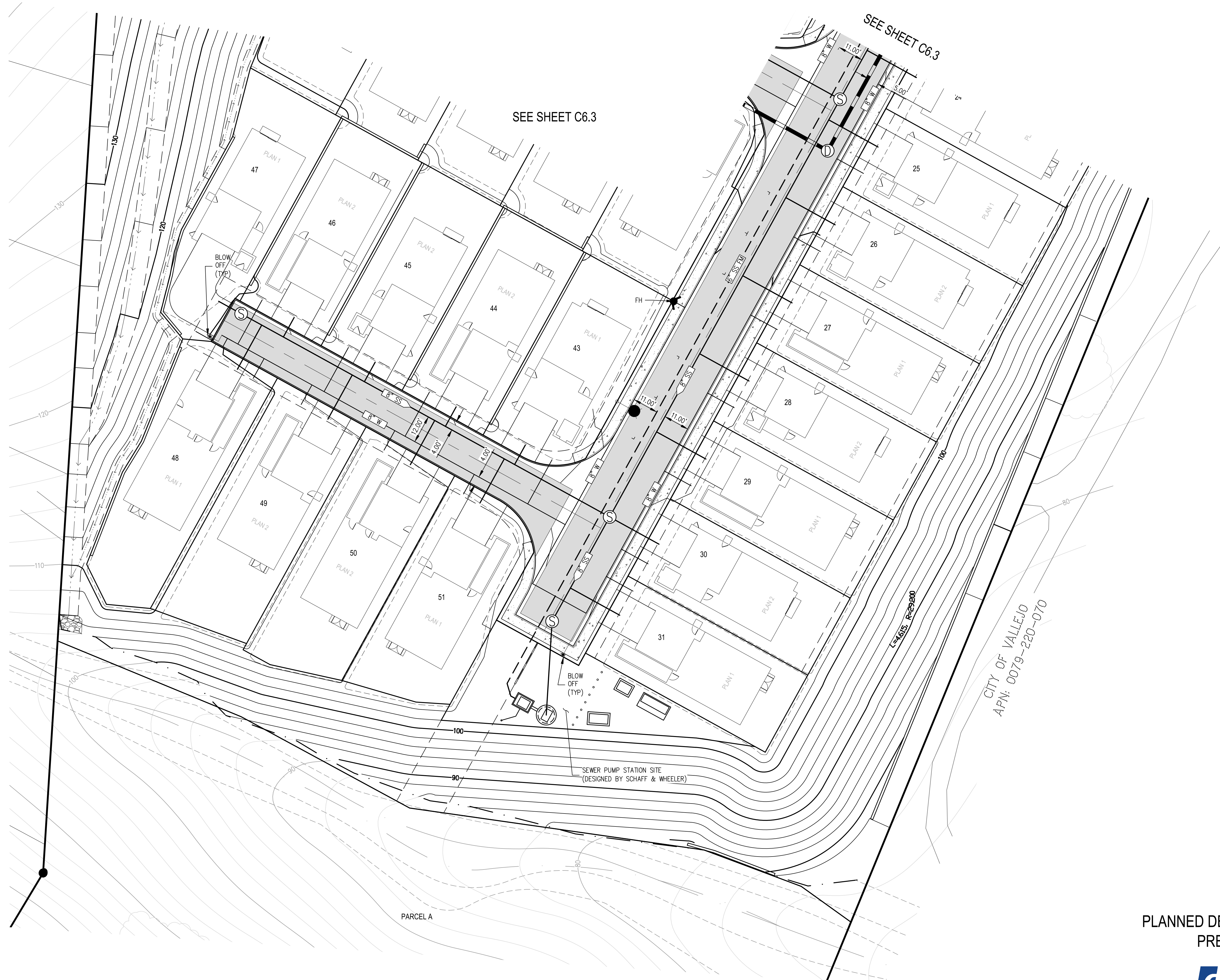


SEE SHEET C6.4

SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
PRELIMINARY UTILITY PLAN
REVISED JUNE 10, 2025



C6.3

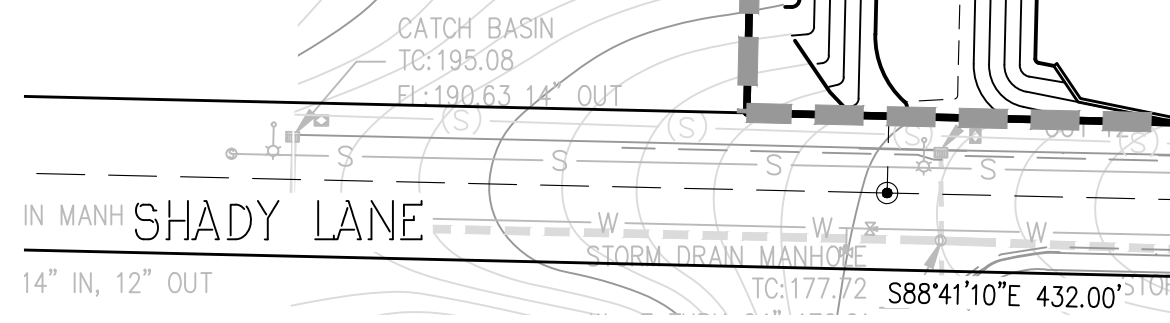


SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PRELIMINARY UTILITY PLAN
 REVISED JUNE 10, 2025



C6.4

BONNEE F YOUNG
APN: 0079-171-180



PROJECT INFORMATION	
SIZE OF PROPERTY	TOTAL DEVELOPED AREA: 10.395± ACRES PARCEL A: 8.356± ACRES PARCEL B: 1.381± ACRES
EXISTING IMPERVIOUS AREA	0 SF
IMPERVIOUS SURFACE AREA CREATED	171,896 SF
TOTAL IMPERVIOUS SURFACE AREA	171,896 SF
PERCENT INCREASE OF IMPERVIOUS AREA	100%
ESTIMATED AREA OF LAND DISTURBANCE DURING CONSTRUCTION	10.31 AC± (449,027 SF±)

IMP 1			
DMA	DMA AREA	DMA RUNOFF FACTOR	DMA RUNOFF VOLUME
IMPERVIOUS AREA	27,427 SF	1.00	27,427
PERVIOUS AREA	32,518 SF	0.1	3,252
TOTAL			30,679

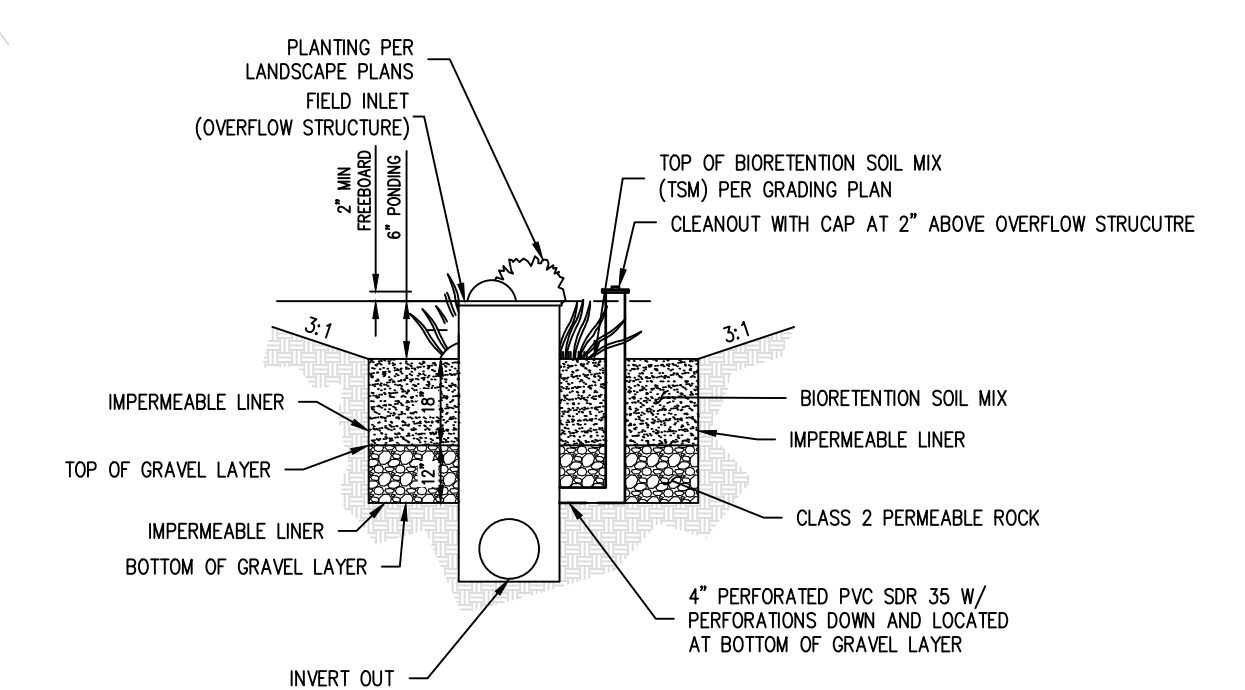
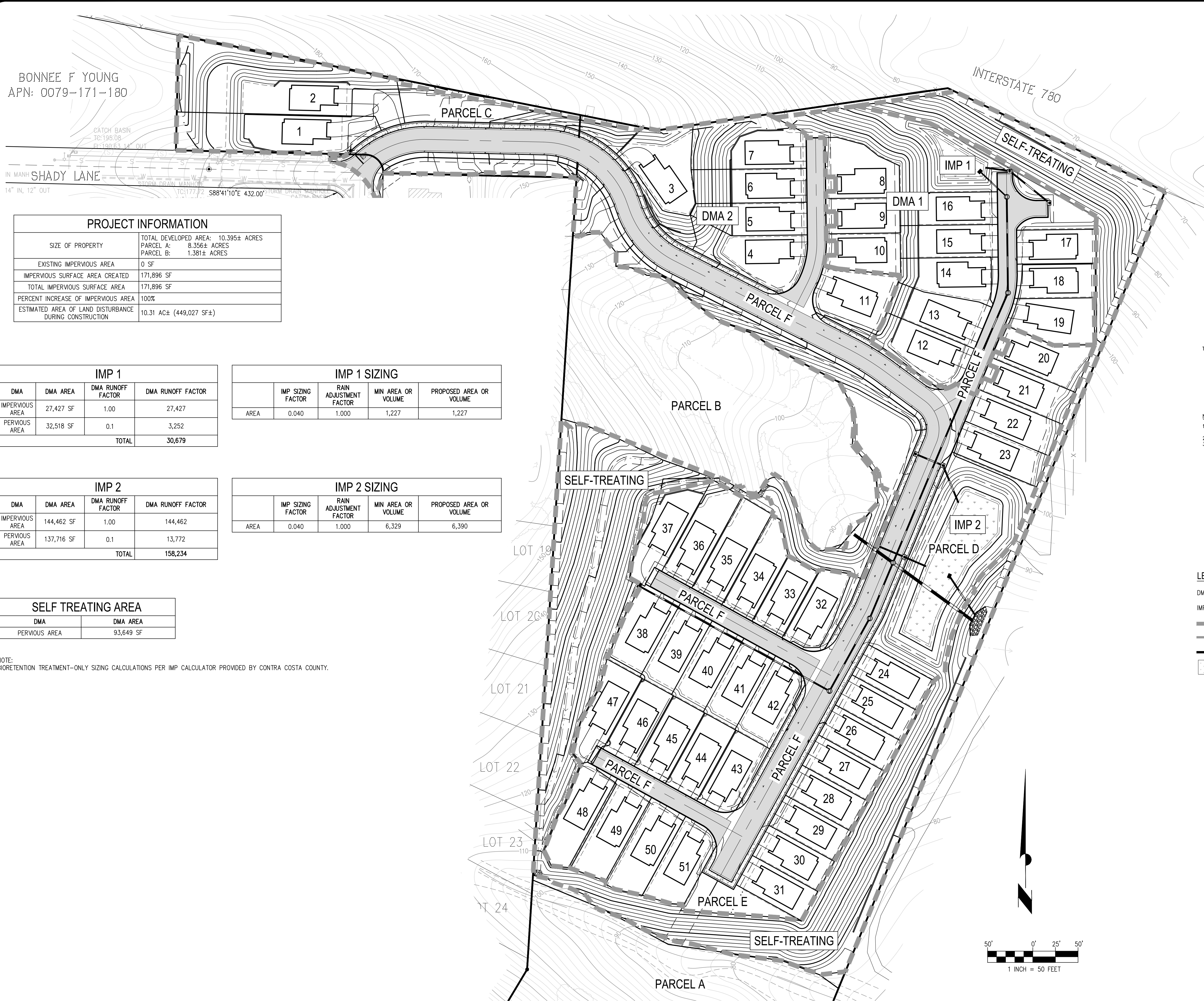
IMP 1 SIZING				
AREA	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MIN AREA OR VOLUME	PROPOSED AREA OR VOLUME
AREA	0.040	1.000	1,227	1,227

IMP 2			
DMA	DMA AREA	DMA RUNOFF FACTOR	DMA RUNOFF VOLUME
IMPERVIOUS AREA	144,462 SF	1.00	144,462
PERVIOUS AREA	137,716 SF	0.1	13,772
TOTAL			158,234

IMP 2 SIZING				
AREA	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MIN AREA OR VOLUME	PROPOSED AREA OR VOLUME
AREA	0.040	1.000	6,329	6,390

SELF TREATING AREA	
DMA	DMA AREA
PERVIOUS AREA	93,649 SF

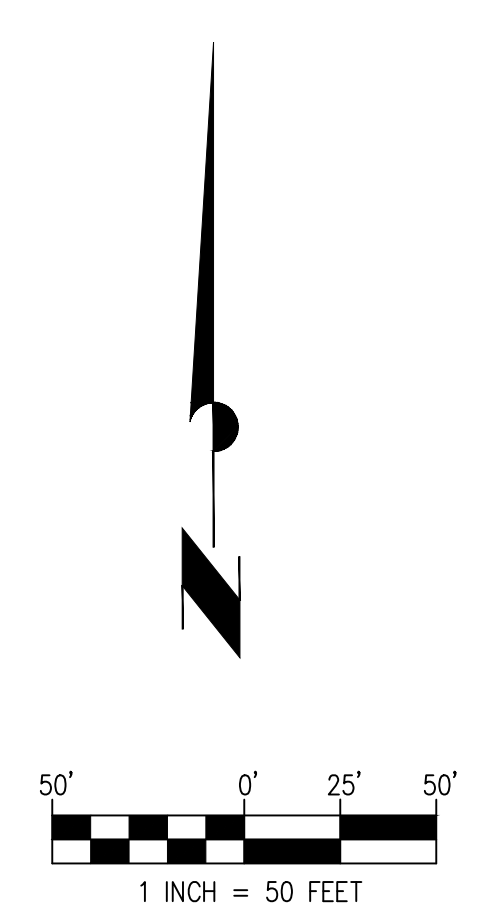
NOTE: BIORETENTION TREATMENT—ONLY SIZING CALCULATIONS PER IMP CALCULATOR PROVIDED BY CONTRA COSTA COUNTY.



- NOTES:
- BIORETENTION FACILITY SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT CONTRA COSTA CLEAN WATER PROGRAM, C.3. GUIDEBOOK AND CITY OF VALLEJO APPENDIX A.
 - SOIL MIX SHALL HAVE A MINIMUM PERCOLATION RATE OF 5"/HOUR.
 - UNDERDRAIN SHALL HAVE CLEANOUTS CONSISTING OF RIGID, NON-PERFORATED PVC PIPE WITH A MINIMUM DIAMETER OF 4" AND A WATERTIGHT CAP.

TYPICAL BIORETENTION DETAIL
NOT TO SCALE

- LEGEND
- DMA DRAINAGE MANAGEMENT AREA
 - IMP INTEGRATED MANAGEMENT PRACTICE
 - DMA BOUNDARY
 - EXISTING STORM DRAIN PIPE
 - PROPOSED STORM DRAIN PIPE
 - BIORETENTION



SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
STORMWATER CONTROL PLAN
MAY 9, 2024



C7.0

EROSION CONTROL NOTES

- TEMPORARY EROSION CONTROL DEVICES SHOWN ON PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE THROUGHOUT THE DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED AT ALL TIMES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL ALSO CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE PLANS.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDDED PER ABAG. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE CITY ENGINEER.
- IF ANY GRADING OPERATIONS ARE TO BE PERFORMED AN EROSION CONTROL PLAN MUST BE SUBMITTED AND THE PLAN MUST BE APPROVED BY THE CITY PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
- TO PREVENT EROSION OF GRADED BANKS, ALL GRADED BANKS STEEPER THAN 2% AND HIGHER THAN 3 FEET, SHALL BE HYDROSEEDDED, LANDSCAPED, OR SEALED. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE CITY ENGINEER. IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED, TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT, IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES. HYDROSEEDING, STRAW MULCH, OR OTHER SUCH EROSION CONTROL DEVICES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK. POTENTIAL RECOMMENDATIONS FOR STRAW MULCH INSTALLATION MAY BE ANCHORED WITH A TACKIFIER STABILIZING EMULSION. THE SLOPES SHALL BE LANDSCAPED OR HYDROSEEDDED AS SOON AS POSSIBLE AFTER THE GRADING OPERATION CEASES.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVBANK FLOW USING SILT FENCES.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER. TEMPORARY AND/OR PERMANENT STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING (I.E., VISQUEEN) AND SECURED AT THE PERIMETER BASE AT ALL TIMES OR AT THE END OF EACH WORK DAY IF IN USE.
- SANDBAGS AND/OR STRAW WATTLES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS OR WHEN DIRECTED BY THE INSPECTOR.
- SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED AND UPDATED ON THESE MAPS BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.
- STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVAL
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

VELOCITY CHECK DAMS SHALL BE CONSTRUCTED OF GRAVEL BAGS AND SHALL EXTEND 2/3 OF THE DISTANCE ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS. THE GRAVEL BAGS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH THE PROJECT'S SWPPP.
- SEDIMENT TRAPS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES 6" FROM THE OUTLET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
- ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER STORM DRAIN AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY AND COVERED OR HYDROSEEDDED TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTER LINE OF A CROWNED STREET.

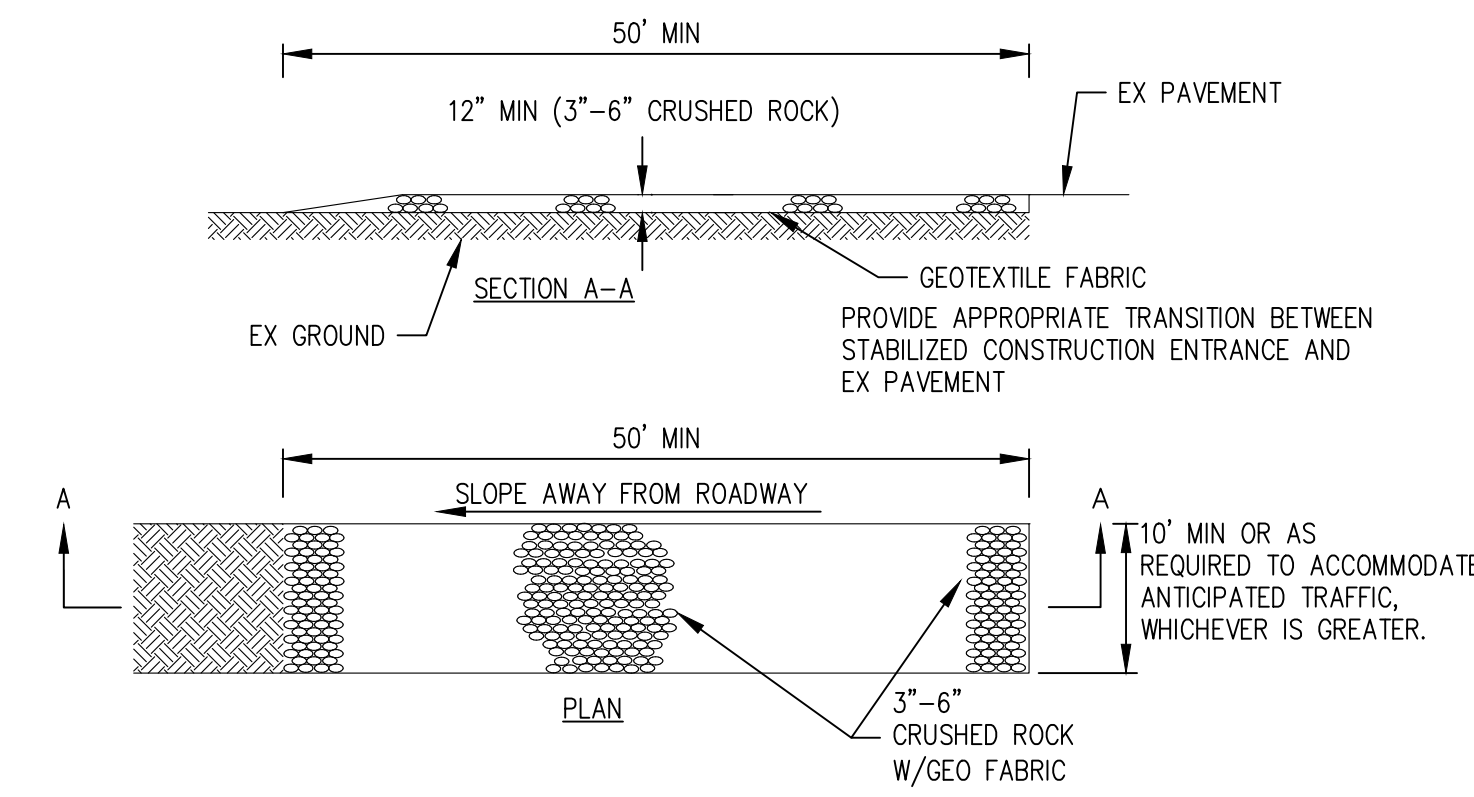
EROSION CONTROL NOTES (CON'T)

- ALL EXISTING CATCH BASINS ON THE SITE OR IMMEDIATELY DOWNSTREAM FROM THE SITE SHALL BE PROTECTED WITH A CITY APPROVED STORM DRAIN INLET PROTECTION DEVICE. THE STORM DRAIN INLET DEVICE SHALL MEET THE MINIMUM REQUIREMENTS IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- FOR THE DISPOSAL OF CONCRETE WASTE, A CONCRETE WASH OUT SHALL BE PLACED IN THE VEHICLE AND EQUIPMENT STORAGE AND MAINTENANCE AREA. THE CONCRETE WASH OUT SHALL MEET THE MINIMUM REQUIREMENTS IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK AND INSTALLED, USED, AND MAINTAINED PER MANUFACTURER'S RECOMMENDATIONS.
- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING ALL CONSTRUCTION PHASES.
- THE DEVELOPER SHALL POST DUST CONTROL SIGNAGE WITH A CONTACT NUMBER OF THE DEVELOPER, CITY STAFF, AND THE AIR QUALITY CONTROL BOARD.
- FOR DETAILS NOT SHOWN ON THESE PLANS, REFER TO THE FOLLOWING CASQA BMP FACT SHEETS:

SE-1	SILT FENCE
SE-4	CHECK DAMS
SE-5	FIBER ROLLS
SE-6	GRAVEL BAG BERM
SE-10	STORM DRAIN INLET PROTECTION
WM-1	MATERIAL DELIVERY & STORAGE
WM-8	CONCRETE WASTE MANAGEMENT
- THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THIS PLAN MAY NOT COVER ALL UNFORESEEN FIELD AND/OR WEATHER CONDITIONS. VARIATIONS OF DESIGNS MAY BE ALTERED TO FIT ACTUAL FIELD CONDITIONS. UNDER THE DIRECTIONS OF THE SITE QUALIFIED SWPPP PRACTITIONER (OSP), CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS ACCORDINGLY.

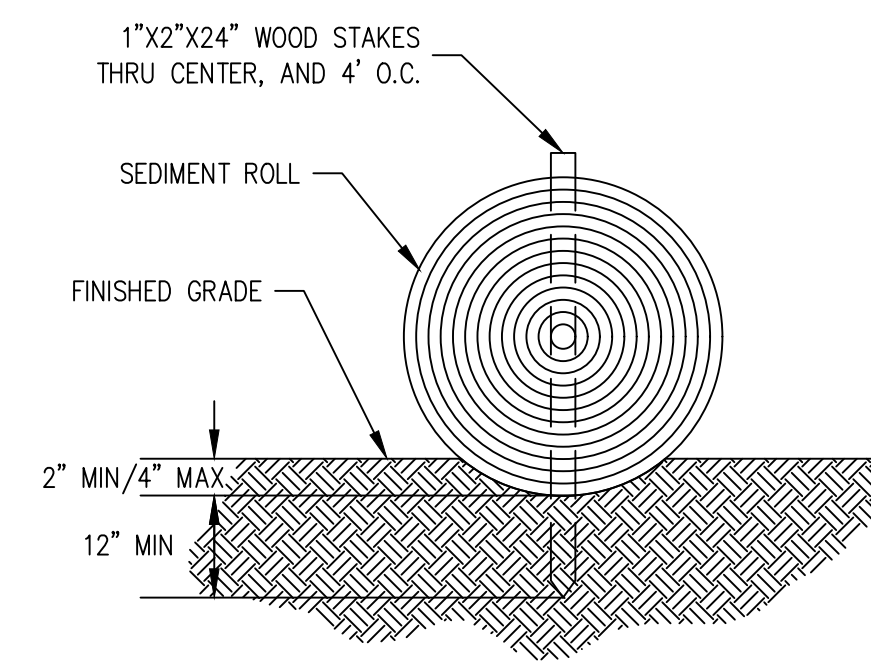
AIR QUALITY CONTROL NOTES

- AQ-1 - DURING CONSTRUCTION ACTIVITIES, THE PROJECT APPLICANT AND/OR ITS CONTRACTOR SHALL ENSURE THAT THE BAAQMD'S BASIC CONSTRUCTION MITIGATION MEASURES ARE IMPLEMENTED:
- ALL EXPOSED SURFACES (E.G. PARKING AREAS, STAGING AREAS, SOIL PILES, GRADED AREAS, AND UNPAVED ACCESS ROADS) SHALL BE WATERED TWO TIMES PER DAY.
 - ALL HAUL TRUCKS TRANSPORTING SOIL, SAND OR OTHER LOOSE MATERIAL OFF-SITE SHALL BE COVERED.
 - ALL VISIBLE MUD OR DIRT TRACK-OUT ON TO ADJACENT PUBLIC ROADS SHALL BE REMOVED USING WET POWER VACUUM STREET SWEEPERS AT LEAST ONCE PER DAY. THE USE OF DRY POWER SWEEPING IS PROHIBITED.
 - ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MPH.
 - ALL ROADWAYS, DRIVEWAYS, AND SIDEWALKS TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE. BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
 - IDLING TIMES SHALL BE MINIMIZED EITHER BY SHUTTING EQUIPMENT OFF WHEN NOT IN USE OR REDUCING THE MAXIMUM IDLING TIME TO 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXICS CONTROL MEASURE TITLE 13, SECTION 2485 OF THE CALIFORNIA CODE OF REGULATIONS).
 - ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED VISIBLE EMISSIONS EVALUATOR.
 - POST A PUBLICLY VISIBLE SIGN WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT THE LEAD AGENCY REGARDING DUST COMPLAINTS. THIS PERSON SHALL RESPOND AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE AIR DISTRICT'S PHONE NUMBER SHALL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICATION REGULATIONS.

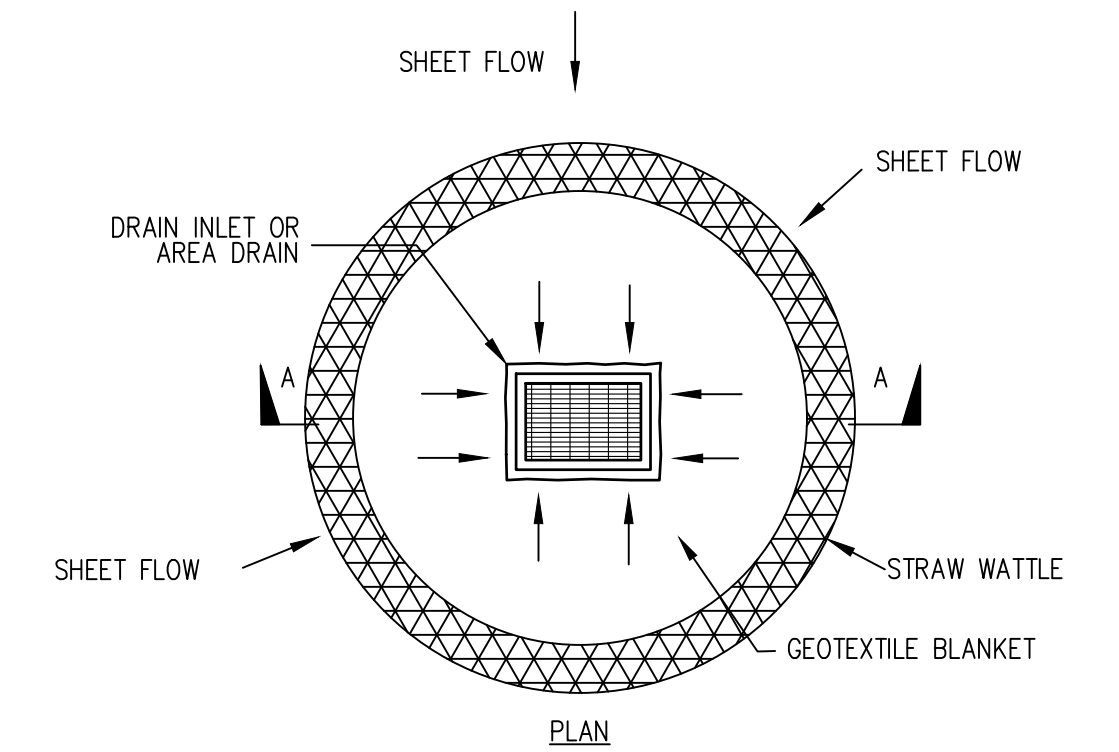


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

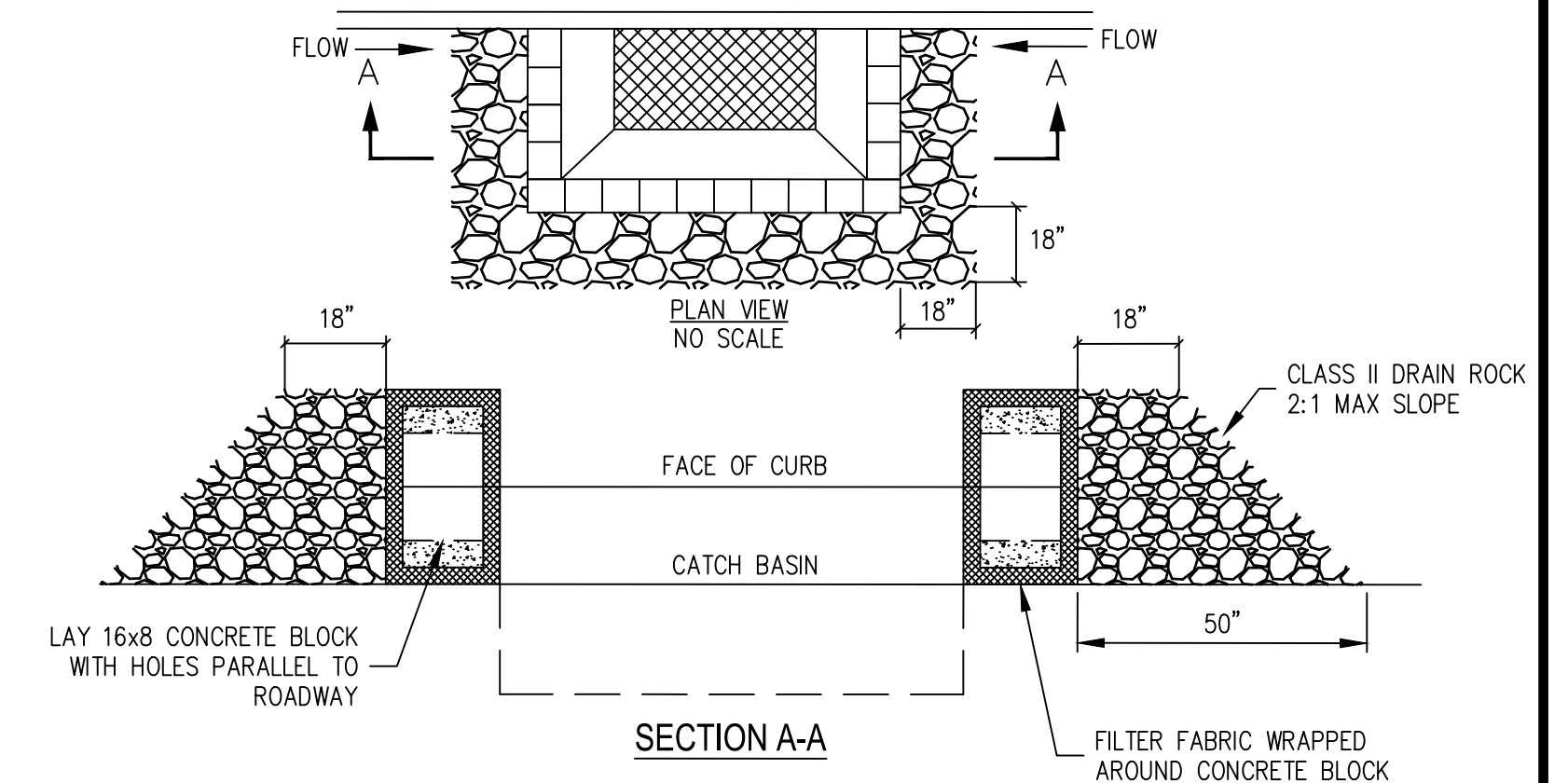
SPACING REQUIREMENTS	
SLOPE PERCENTAGE	SHEET FLOW LENGTH NOT TO EXCEED
0-25%	20 FEET
25-50%	15 FEET
OVER 50%	10 FEET



FIBER ROLL DETAIL
NOT TO SCALE



STORM DRAIN INLET PROTECTION DETAIL
NOT TO SCALE



TYPE B STORM DRAIN INLET PROTECTION
NOT TO SCALE

SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
EROSION CONTROL NOTES
MAY 9, 2024



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C8.0


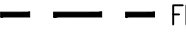





BONNEE F YOUNG
APN: 0079-171-180

RAIN MAIN SHADY LANE
14" IN, 12" OUT





STABILIZED CONSTRUCTION ENTRANCE

INTERSTATE 780

LEGEND

-  INLET PROTECTION (SE-10)
-  FIBER ROLL (SE-5)
-  SILT FENCE (SE-1)
-  HYDROSEED (EC-4)
-  STABILIZED CONSTRUCTION ENTRANCE (TC-1)
-  PROPOSED PAD LIMITS
-  DIRECTION OF FLOW WITH STORM DRAIN INSTALLED

SWPPP MANAGER TO MARK KNOWN LOCATIONS

-  MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 TO WM-3)
-  VEHICLE MAINTENANCE/FUELING AREA (NS-8 TO NS-10)
-  SANITARY FACILITY (WM-9)
-  CONCRETE/WASTE WASHOUT (WM-81)

NOTES:

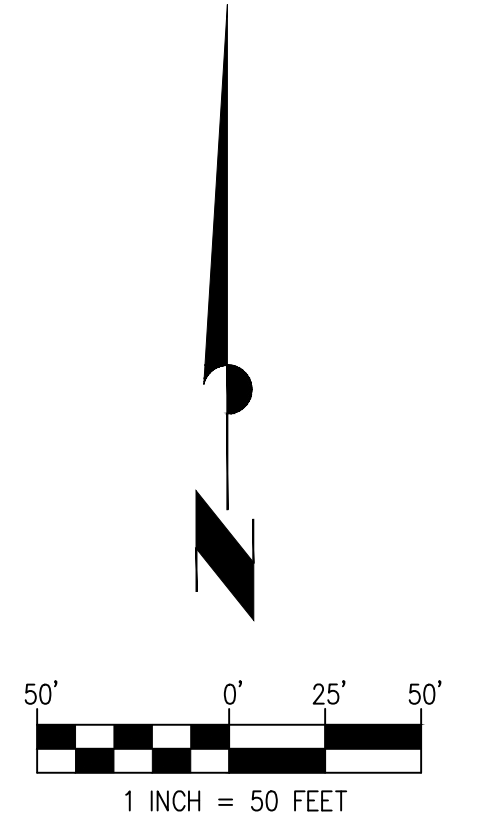
1. BEST MANAGEMENT PRACTICE (BMP) DESIGNATIONS ARE PER THE CASQA STORMWATER BMP HANDBOOK.
2. THE MATERIALS AND EQUIPMENT STORAGE AREA, VEHICLE MAINTENANCE/FUELING AREA, SANITARY FACILITY, AND CONCRETE/WASTE WASHOUT WILL BE PLACED AT THE OSP'S DISCRETION AND ARE SUBJECT TO CHANGE.

EXPLANATION OF EROSION CONTROL PLAN

SINCE IT IS NEVER KNOWN AT WHAT POINT IN THE CONSTRUCTION PROJECT THE RAINS WILL COME, THIS EROSION CONTROL PLAN IS A SNAPSHOT IN TIME, DEPICTING WHAT MEASURES SHOULD BE IMPLEMENTED ASSUMING THAT THE RAINS WILL ARRIVE WHEN THE PROJECT IS AT THE FOLLOWING DESCRIBED LEVEL OF COMPLETENESS:

- MASS GRADING IS COMPLETE;
- THE HARDSCAPE SUBGRADE IS GRADED PROPERLY, BUT REMAINS EXPOSED WITHOUT ANY GRAVEL OR CONCRETE;
- THE UNDERGROUND PORTION OF THE ENTIRE STORM DRAIN SYSTEM IS COMPLETE;
- THE MAJOR STORM DRAIN INLETS HAVE BEEN CONSTRUCTED;
- CURB INLETS HAVE BEEN CONSTRUCTED, BUT HAVE NOT BEEN "TOPPED OUT", I.E. THE OPEN TOP OF THE INLET IS APPROXIMATELY AT ROAD SUBGRADE ELEVATION;
- THE MINOR STORM DRAIN INLETS (YARD DRAINS, ETC.) HAVE NOT YET BEEN CONSTRUCTED.

THE CONDITION DESCRIBED ABOVE IS THE MOST CRITICAL TIME IN THE PROJECT FROM THE STANDPOINT OF EROSION AND SEDIMENT CONTROL, BECAUSE THE SITE HAS THE MAXIMUM AMOUNT OF EXPOSED SOIL, WHILE THE STORM DRAIN PIPES CAN CONVEY SEDIMENT VERY RAPIDLY TO THE OUTFALL OR TO THE MUNICIPAL STORM DRAIN SYSTEM. THE EROSION CONTROL PLAN ASSUMES THIS WORST CASE CONDITION, BUT, SINCE IT IS VERY UNLIKELY THAT THE RAINS WILL ARRIVE PRECISELY AT THE ABOVE-DESCRIBED MOMENT, THE CONTRACTOR, AS DIRECTED BY THE OSP, MUST BE PREPARED TO PROTECT THE PROJECT SITE UNDER ANY OTHER CONDITIONS. THE CONTRACTOR MUST PLACE THE EROSION AND SEDIMENTATION CONTROLS AS AND WHERE NECESSARY FOR CONDITIONS OTHER THAN THAT DESCRIBED ABOVE, AND MOVE THEM AS NECESSARY AS CONSTRUCTION PROGRESSES.



SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
EROSION CONTROL PLAN
MAY 9, 2024



C8.1

BONNEE F YOUNG
 APN: 0079-171-180

SHADY LANE

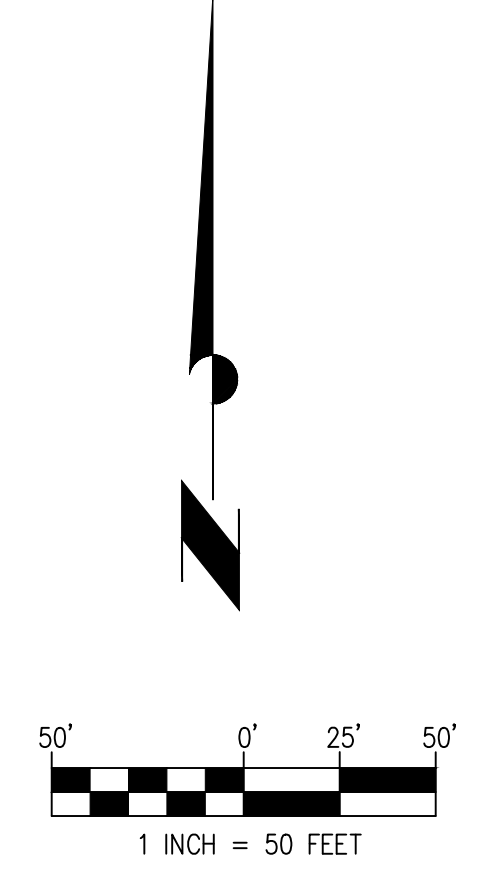
INTERSTATE 780

LEGEND

- ON-STREET PARKING STALL
- RED STRIPE MARKED "NO PARKING - FIRE LANE"
- FIRE HYDRANT
- REFLECTIVE BLUE DOT, FIRE HYDRANT MARKER INSTALLED ADJACENT TO THE HYDRANT, 6" FROM THE STREET CENTERLINE
- STREET NAME SIGN
- STOP SIGN
- STOP PAVEMENT MARKING WITH 12" STOP BAR

ON-STREET PARKING SUMMARY

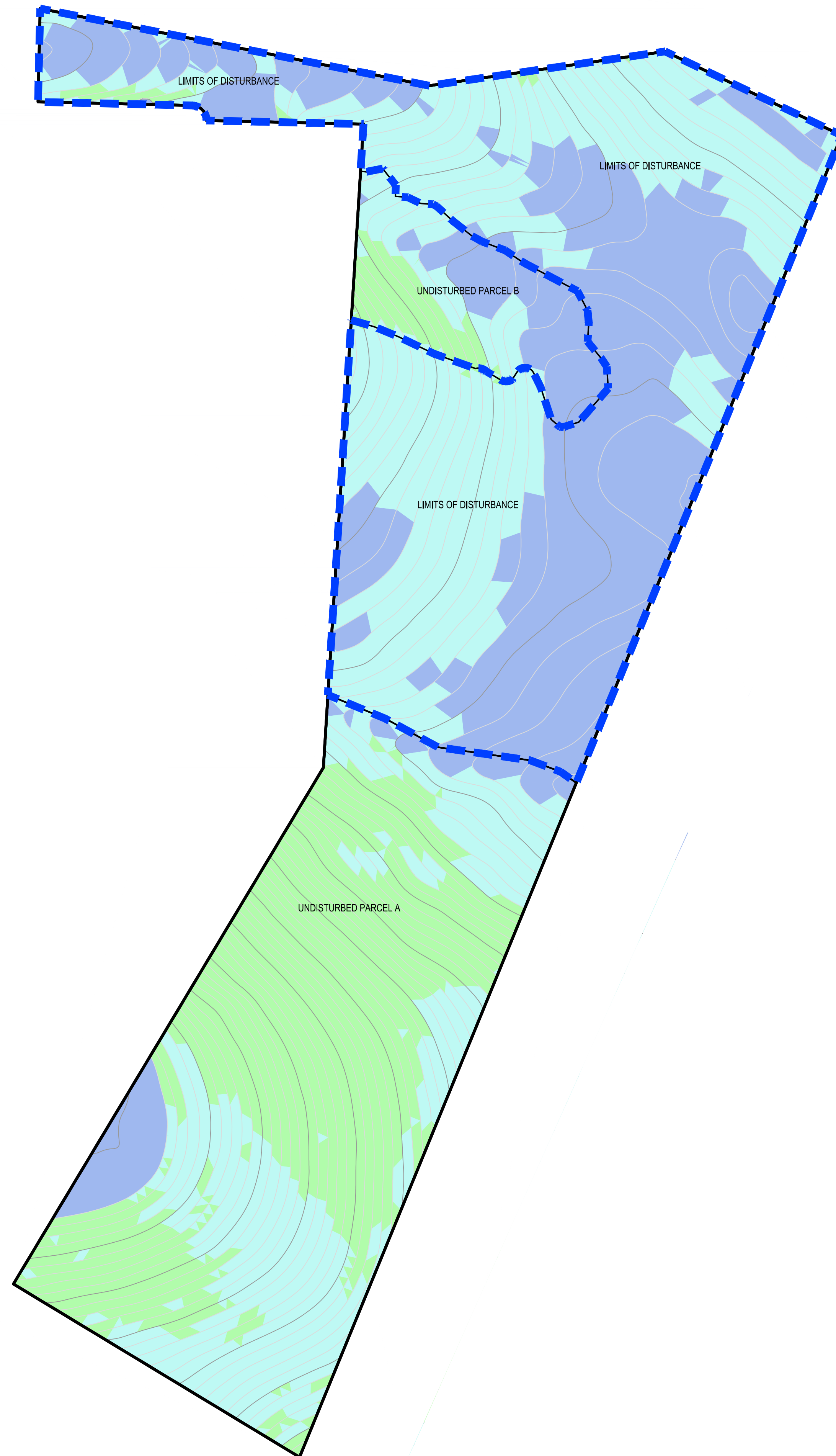
TOTAL ON-STREET PARKING STALLS: 24 STALLS
 MAILBOX PARKING ONLY STALL: 1 STALL



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 SIGNING AND STRIPING PLAN
 MAY 9, 2024



C9.0



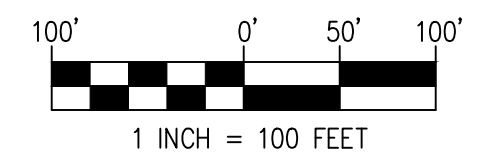
SLOPES TABLE			
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	0.00%	14.49%	Blue
2	14.50%	29.49%	Light Green
3	29.50%	1000.00%	Dark Green

- PROPOSED PARCEL LINE
- PROPERTY BOUNDARY
- - - LIMITS OF DISTURBANCE

SLOPE CONTOUR MEASUREMENT	
PARCEL	CONTOUR MEASUREMENT
LIMITS OF DISTURBANCE	14.43%

CONTOUR MEASUREMENT OF LIMITS OF DISTURBANCE:
 S = AVERAGE SLOPE
 L = LENGTH OF CONTOURS (LINEAR FEET) = 16,375 LF
 I = CONTOUR INTERVAL = 4' INTERVAL
 A = AREA OF PROJECT SITE (ACRES) = 10.395 ACRES
 $S = (L \cdot I \cdot 0.00229) / A$
 S = 14.43%

% LIMITS OF DISTURBANCE:	
AREA DISTURBED:	10.395± ACRES
AREA UNDISTURBED:	9.737± ACRES
TOTAL AREA:	20.132± ACRES
PERCENT DISTURBED:	51.6%
PERCENT UNDISTURBED:	48.4%



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 HILLSIDE DEVELOPMENT
 MAY 9, 2024





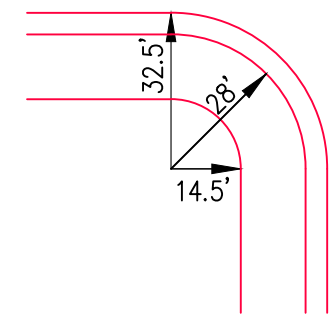
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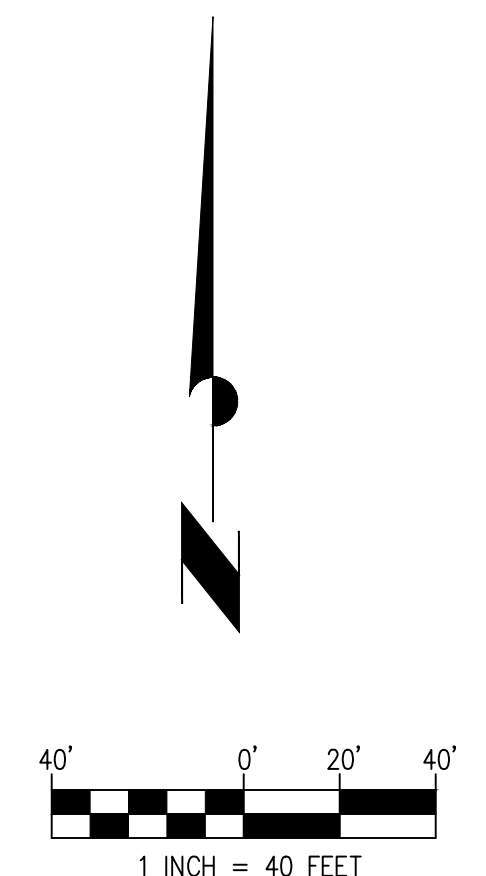
LEGEND

-  PROPOSED FIRE HYDRANT
-  FIRE HYDRANT



FIRE TRUCK TURNING SIMULATION

NOTE:
TRUCK CIRCULATION TEMPLATE PROVIDED BY CITY OF
VALLEJO FIRE PROTECTION MANAGER



SANCERRA
VISTA COVE
PLANNED DEVELOPMENT, TENTATIVE MAP
FIRE TRUCK TURNAROUND
MAY 9, 2024



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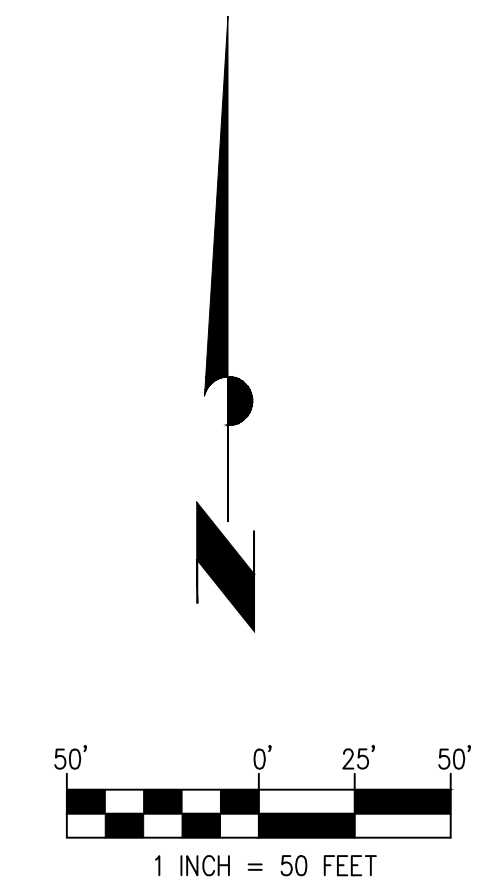
C11.0

BONNEE F YOUNG
 APN: 0079-171-180

SHADY LANE
 S88°41'10"E 432.00'

INTERSTATE 780

PLAN TYPE SUMMARY		
DESCRIPTION	# OF HOMES	SYMBOL
PLAN TYPE 1	9	■
PLAN TYPE 2	13	▲
PLAN TYPE 3	17	●
PLAN TYPE 4	12	★



SANCERRA
 VISTA COVE
 PLANNED DEVELOPMENT, TENTATIVE MAP
 PLOTTED SITE PLAN
 REVISED JUNE 10, 2025



C12.0



SIGHT DISTANCE TRIANGLE TYP.
PER VALLEJO MUNICIPAL CODE 16.501.11

WATER METER - IRRIGATION POINT OF CONNECTION

PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS IV	SPACING
TREES				
ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	15' O.C.
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	30' O.C.
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	25' O.C.
QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	35' O.C.
QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET ENGLISH OAK	15 GAL	MOD	15' O.C.
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	25' O.C.
NOTES: ALL TREES ARE STANDARD FORM UNLESS OTHERWISE NOTED SEE LANDSCAPE PLAN SHEETS L-2 - L-5 FOR QUANTITIES AND ESTIMATED REPRESENTATION OF TREE CANOPY WITHIN 3 YEARS				
SHRUBS				
ACACIA COGNATA 'COUSIN ITT'	RIVER WATTLE	1 GAL	LOW	48" o.c.
ACHILLEA SPP.	YARROW	1 GAL	LOW	36" o.c.
AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	LOW	30" o.c.
ANIGOSANTHOS SPP.	KANGAROO PAW	1 GAL	LOW	24" o.c.
ARCTOSTAPHYLOS SPP.	MANZANITA	5 GAL	LOW	60" o.c.
BOUTELOUA GRAECLIS 'BLONDE AMBITION'	BLUE GRAMA	1 GAL	LOW	36" o.c.
BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	LOW	36" o.c.
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	LOW	36" o.c.
CALANDRINA SPECTABILIS	PINK CALANDRINA	1 GAL	LOW	24" o.c.
CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL	LOW	36" o.c.
CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	LOW	24" o.c.
CEANOOTHUS SPP.	CEANOOTHUS	5 GAL	LOW	60" o.c.
CHONDROPETALUM SPP.	CAPE RUSH	1 GAL	LOW	36" o.c.
CISTUS SPP.	ROCKROSE	1 GAL	LOW	60" o.c.
DIETES IRIDIODES	FORTNIGHT LILY	1 GAL	LOW	36" o.c.
DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	LOW	72" o.c.
EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW	36" o.c.
ERIGERON GLAUCUS	BEACH DAISY	1 GAL	LOW	12" o.c.
ERIGERON KARVINSKIANUS	FLEABANE	1 GAL	LOW	36" o.c.
ERIGONUM SPP.	BUCKWHEAT	1 GAL	LOW	36" o.c.
ERIOPHYLLUM SPP.	WOOLLY SUNFLOWER	1 GAL	LOW	24" o.c.
ESCALLONIA X 'COMPACTA'	COMPACT ESCALLONIA	5 GAL	MOD	36" o.c.
FESTUCA SPP.	FESCUE	1 GAL	LOW	24" o.c.
FREMONTODENDRON CALIFORNICUM	CALIFORNIA FLANNEL BUSH	5 GAL	V. LOW	96" o.c.
GAURA LINDHEIMERI	SISKIYOU PINK GAURA	1 GAL	MOD	36" o.c.
GREVILLEA SPP.	GREVILLEA	1 GAL	LOW	48" o.c.
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	LOW	24" o.c.
HEMEROCALLIS X 'EVERGREEN YELLOW'	DAYLILY	5 GAL	MOD	24" o.c.
HESPERALOE PARVIFLORA	YUCCA	1 GAL	LOW	36" o.c.
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	V. LOW	96" o.c.
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	LOW	24" o.c.
KNIPHOFIA UVARIA	TORCHLILY	1 GAL	LOW	36" o.c.
LANTANA SPP.	LANTANA	1 GAL	LOW	48" o.c.
LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL	LOW	72" o.c.
LIMONIUM PEREZII	STATICE	1 GAL	LOW	36" o.c.
LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	LOW	60" o.c.
MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	LOW	36" o.c.
MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL	LOW	36" o.c.
MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	LOW	48" o.c.
NANDINA DOMESTICA	LEMON LIME NANDINA	1 GAL	LOW	36" o.c.
NEPETA X FASSENII 'SIX HILLS GIANT'	GIANT CATMINT	1 GAL	LOW	36" o.c.
PENSTEMON SPP.	BEARD TONGUE	1 GAL	LOW	36" o.c.
PITTIOSPORUM SPP.	PITTIOSPORUM	5 GAL	LOW	60" o.c.
POLYGALA SPP.	SWEET PEA SHRUB	5 GAL	LOW	36" o.c.
PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA LAUREL CHERRY	5 GAL	LOW	72" o.c.
RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	LOW	72" o.c.
RHAPHIOLEPIS SPP.	INDIAN HAWTHORN	1 GAL	LOW	48" o.c.
ROSA SPP.	ROSE	5 GAL	MOD	36" o.c.
ROSMARINUS OFFICINALIS	TUSCAN BLUE ROSEMARY	1 GAL	LOW	48" o.c.
SALVIA SPP.	SAGE	1 GAL	LOW	48" o.c.
TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	LOW	24" o.c.
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	LOW	48" o.c.
XYLOSMA CONGESTUM 'COMPACTA'	COMPACT XYLOSMA	5 GAL	LOW	72" o.c.
GROUNDCOVERS				
ARCTOSTAPHYLOS SPP.	GROUNDCOVER MANZANITA	1 GAL	LOW	60" o.c.
CEANOOTHUS GRISEUS HORIZONTALIS	CALIFORNIA LILAC	1 GAL	LOW	72" o.c.
GREVILLEA LANGIERA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL	LOW	48" o.c.
HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT'	HENFIELD BRILLIANT ROCK ROSE	1 GAL	LOW	36" o.c.
MYOPODIUM PARVIFOLIUM	MYOPODIUM	1 GAL	LOW	60" o.c.
SCAEVOLA 'MAUIVE CLUSTERS'	FAN FLOWER	1 GAL	LOW	48" o.c.
SENECIO MANDRALISCAE	BLUE FINGER	1 GAL	LOW	36" o.c.
VERBENA SPP.	VERBENA	1 GAL	LOW	36" o.c.

IRRIGATION NOTES

- THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
- THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET/SMART IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
- THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, AND POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS.
- PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.
- ALL MWELO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

PLANTING NOTES

- THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND CONSISTS OF A BALANCE OF EVERGREEN AND DECIDUOUS PLANTING AS WELL AS NATIVE AND ORNAMENTAL PLANTING.
- PROPOSED TREE LOCATIONS ARE BASED ON STANDARD JOINT TRENCH LOCATIONS. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED AND FINAL TREE COUNT MAY CHANGE.
- ALL SHRUBS AND GROUNDCOVER MATERIAL SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
- PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.

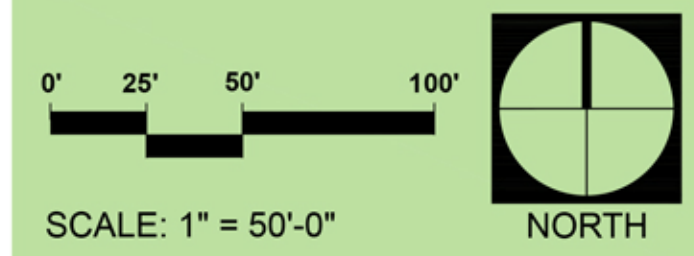
PROPOSED HYDROSEED PALETTE

BIORETENTION AREAS NATIVE ORNAMENTAL BIOSWALE MIX	AVAILABLE FROM: PACIFIC COAST SEED 925.373.4417	APPLICATION RATE: 80 LBS/ACRE	QUANTITY: 18,530 SF
BOTANICAL NAME	COMMON NAME	WATER USE	
FESTUCA RUBRA	MOLATE RED FESCUE	MOD	
FESTUCA OVINA INGRATA	WESTERN FESCUE	MOD	
FESTUCA IDAHOENSIS	IDAHO FESCUE	LOW	
DESCHAMPSIA CAESPITOSA	TUFTED HAIRGRASS	LOW	
CAREX DIVULSA	CLUSTERED FIELD SEDGE	LOW	
GRADED HILLSIDE AREAS NATIVE EROSION CONTROL MIX			
AVAILABLE FROM: PACIFIC COAST SEED 925.373.4417	APPLICATION RATE: 45 LBS/ACRE	QUANTITY: 107,205 SF	
BOTANICAL NAME	COMMON NAME	WATER USE	
BROMUS CARINATUS	CALIFORNIA BROME	LOW	
ELYMUS GLAUCUS	BLUE WILDRIE	LOW	
FESTUCA MICROSTACHYS	SMALL FESCUE	LOW	
TRIFOLIUM WILLDENOVII	TOMCAT CLOVER	LOW	

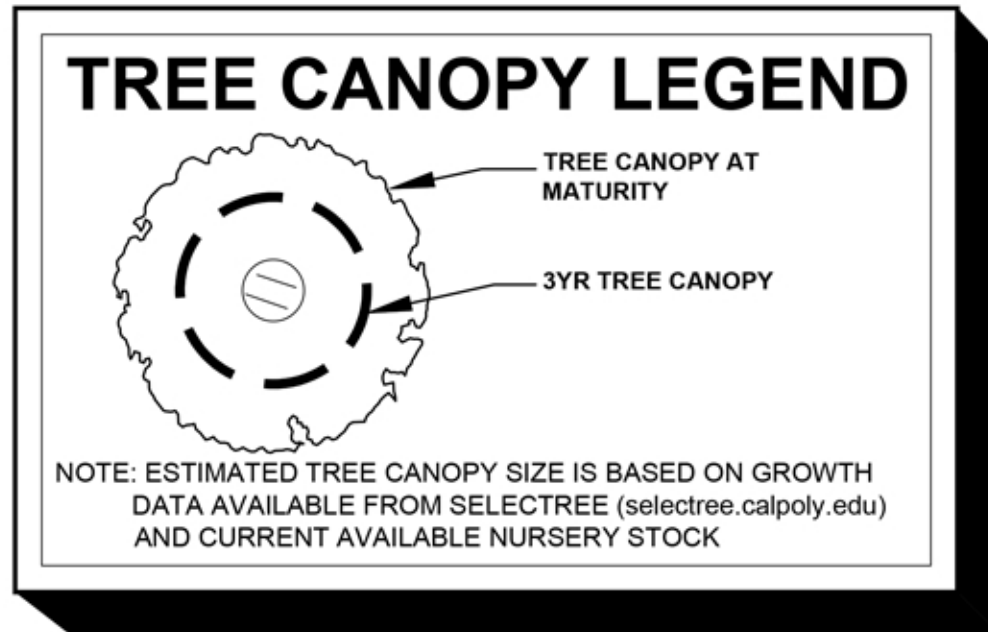
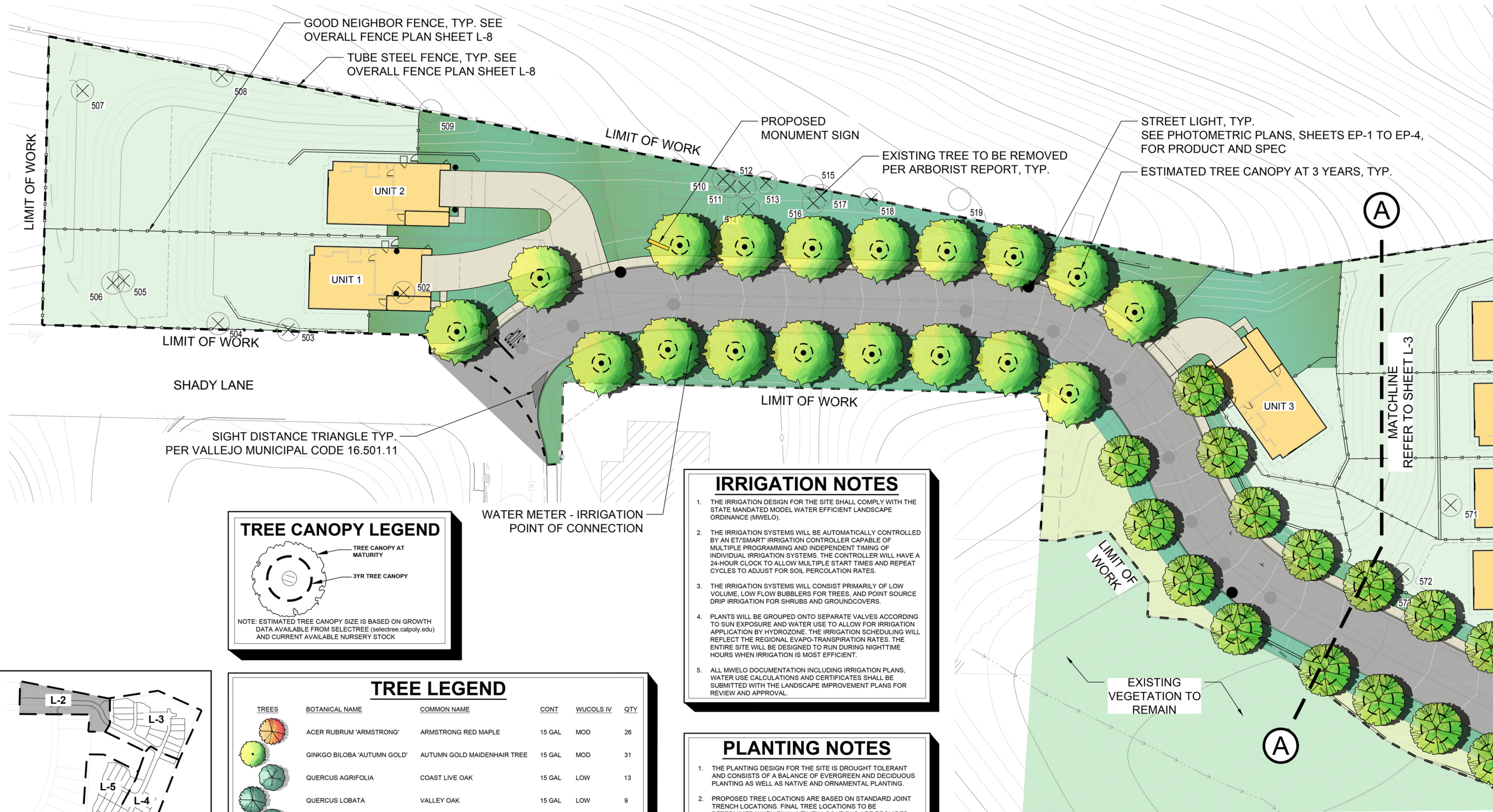


VISTA COVE
Vallejo, California

OVERALL LANDSCAPE PLAN
CONCEPTUAL PHASE
May 14, 2024



L-1
Project No. 03622

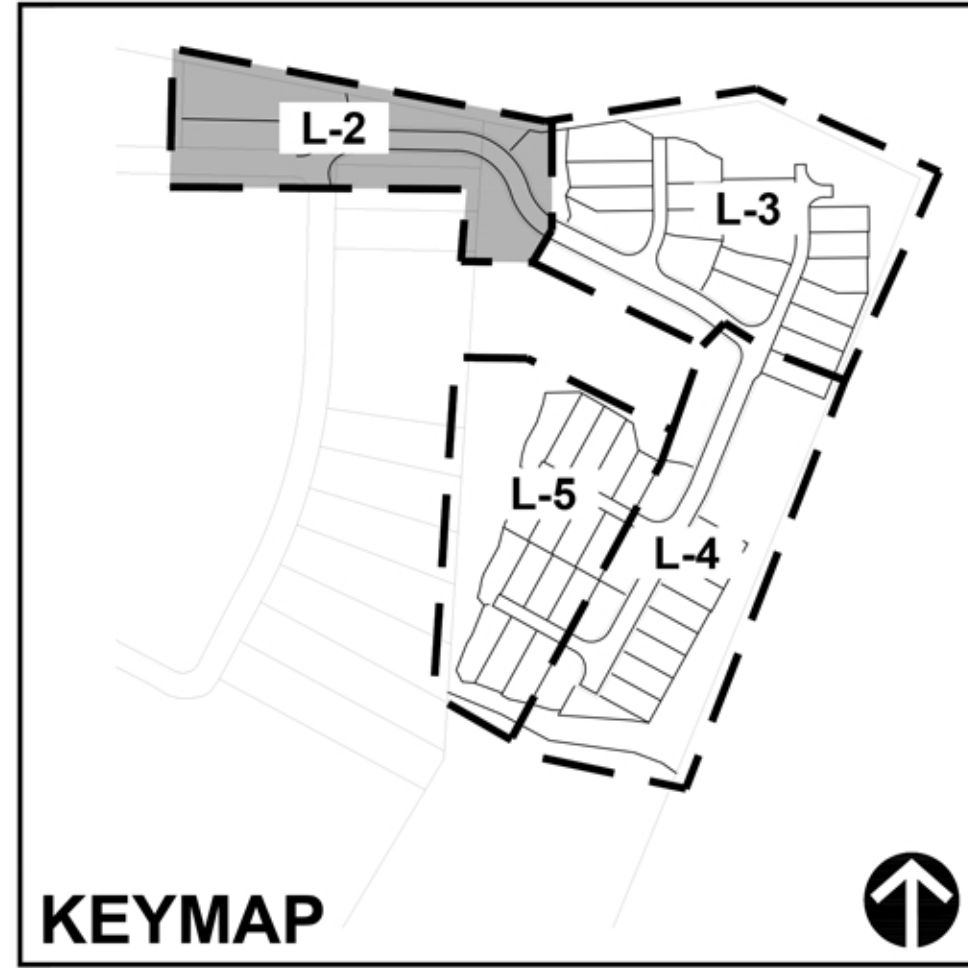


IRRIGATION NOTES

1. THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO).
2. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET'SMART® IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
3. THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, AND POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS.
4. PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPO-TRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.
5. ALL MWEO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

PLANTING NOTES

1. THE PLANTING DESIGN FOR THE SITE IS DROUGHT TOLERANT AND CONSISTS OF A BALANCE OF EVERGREEN AND DECIDUOUS PLANTING AS WELL AS NATIVE AND ORNAMENTAL PLANTING.
2. PROPOSED TREE LOCATIONS ARE BASED ON STANDARD JOINT TRENCH LOCATIONS. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED AND FINAL TREE COUNT MAY CHANGE.
3. ALL SHRUBS AND GROUNDCOVER MATERIAL SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
4. PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.



TREE LEGEND

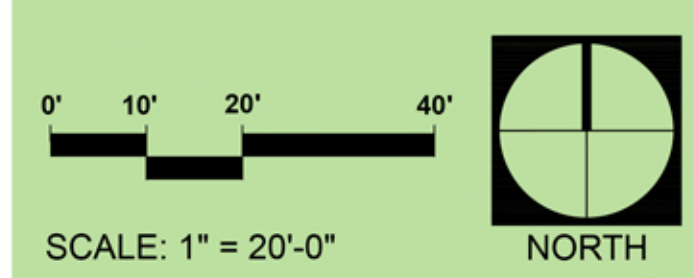
TREES	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS IV	QTY
	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	26
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	31
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	13
	QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	9
	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	15 GAL	MOD	23
	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	39
TOTALS			15 GAL		141 TOTAL TREES

NOTES:
 - ALL PROPOSED TREES ARE MITIGATION TREES
 - ALL TREES ARE STANDARD FORM UNLESS OTHERWISE NOTED



VISTA COVE
 Vallejo, California

LANDSCAPE PLAN
 CONCEPTUAL PHASE
 May 14, 2024



L-2
 Project No. 03622

IRRIGATION NOTES

1. THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWLEO).
2. THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET/SMART IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TIMING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.
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5. ALL MWLEO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

PLANTING NOTES

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3. ALL SHRUBS AND GROUNDCOVER MATERIAL SELECTED HAVE A WUCOLS WATER USE RATING OF VERY LOW TO MODERATE.
4. PROPOSED TREE CANOPIES ARE SHOWN AT 85% MATURE GROWTH DIAMETER IN ORDER TO ENSURE THERE IS SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.

ESTIMATED TREE CANOPY AT 3 YEARS, TYP.

SIGHT DISTANCE TRIANGLE TYP. PER VALLEJO MUNICIPAL CODE 16.501.11



TREE CANOPY LEGEND



NOTE: ESTIMATED TREE CANOPY SIZE IS BASED ON GROWTH DATA AVAILABLE FROM SELECTREE (selectree.calpoly.edu) AND CURRENT AVAILABLE NURSERY STOCK

LIMIT OF WORK

SCREEN PLANTING, TYP.

STORMWATER TREATMENT BASIN, TYP.

NATIVE EROSION CONTROL HYDROSEED MIX ON GRADED SLOPES, TYP.

LIMIT OF WORK

LIMIT OF WORK

GOOD NEIGHBOR FENCE, TYP. SEE OVERALL FENCE PLAN SHEET L-8
TUBE STEEL FENCE, TYP. SEE OVERALL FENCE PLAN SHEET L-8

EXISTING TREE TO BE REMOVED PER ARBORIST REPORT, TYP.

STREET LIGHT, TYP. SEE PHOTOMETRIC PLANS, SHEETS EP-1 TO EP-4, FOR PRODUCT AND SPEC

BUILDING EXTERIOR LIGHT, TYP. SEE PHOTOMETRIC PLANS, SHEETS EP-1 TO EP-4, FOR PRODUCT AND SPEC

MATCHLINE REFER TO SHEET L-4

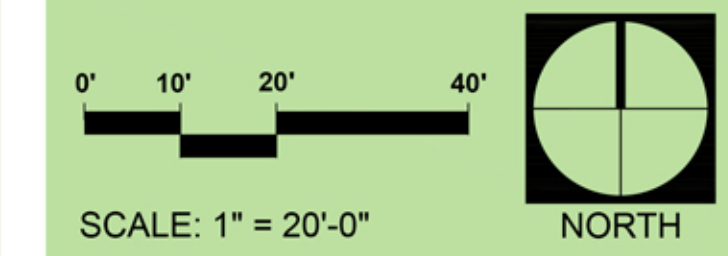
FOR TREE LEGEND, SEE SHEETS L-1, L-2, L-4 & L-5



VISTA COVE
Vallejo, California

LANDSCAPE PLAN
CONCEPTUAL PHASE
May 14, 2024

vanderToolen Associates
700 Ygnacio Valley Rd.
Suite 100
Walnut Creek, CA 94596
tel: 925.274.1305
www.vandertoolen.com

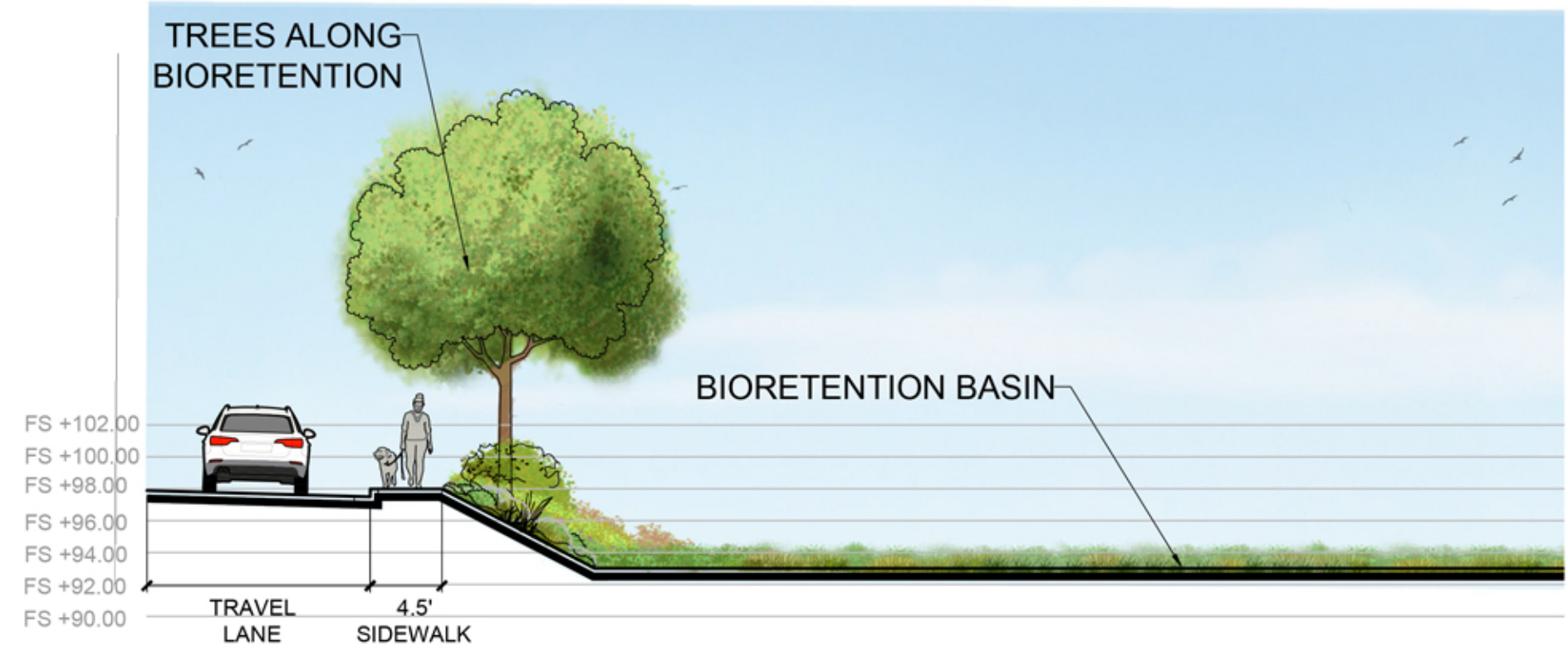


L-3
Project No. 03622



TREE LEGEND

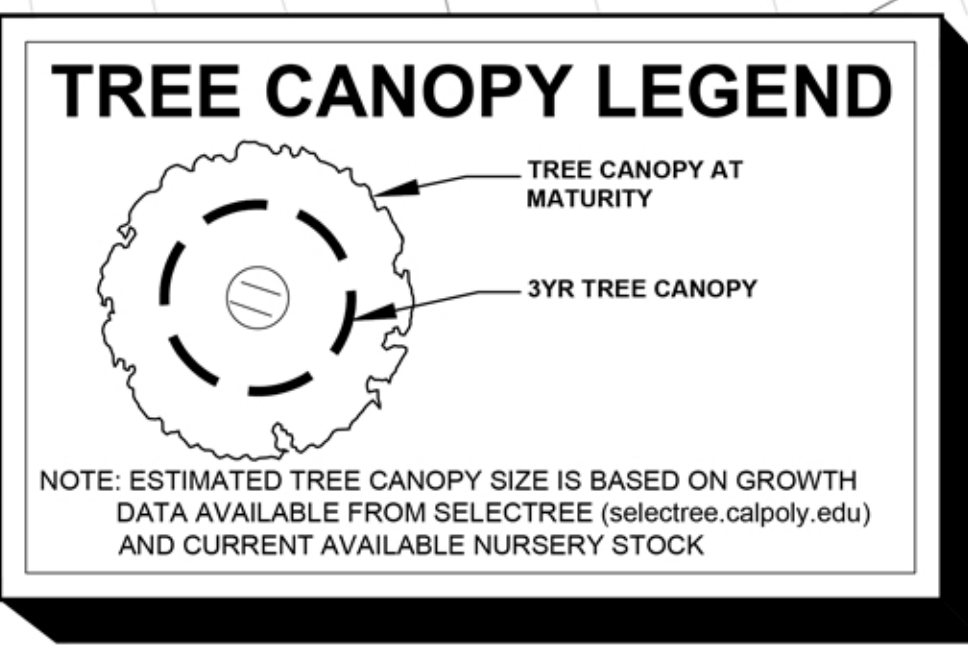
TREES	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS IV	QTY
	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	26
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	31
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	13
	QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	9
	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	15 GAL	MOD	23
	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	39
NOTES: - ALL PROPOSED TREES ARE MITIGATION TREES - ALL TREES ARE STANDARD FORM UNLESS OTHERWISE NOTED			TOTALS 15 GAL = 141 TOTAL TREES		



SECTION A-A - STORMWATER TREATMENT BASIN PLANTING
SCALE: 1"=10'-0"

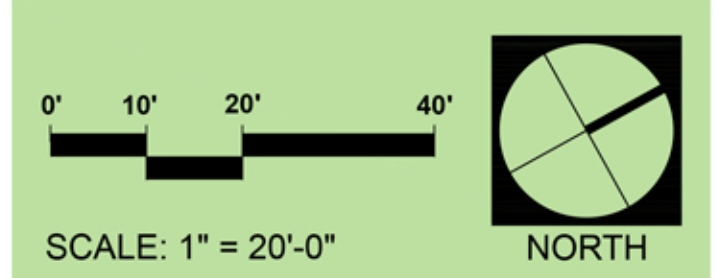
ESTIMATED TREE CANOPY AT 3 YEARS, TYP.

COMMON OPEN SPACE
SEE ENLARGEMENT
SHEET L-6

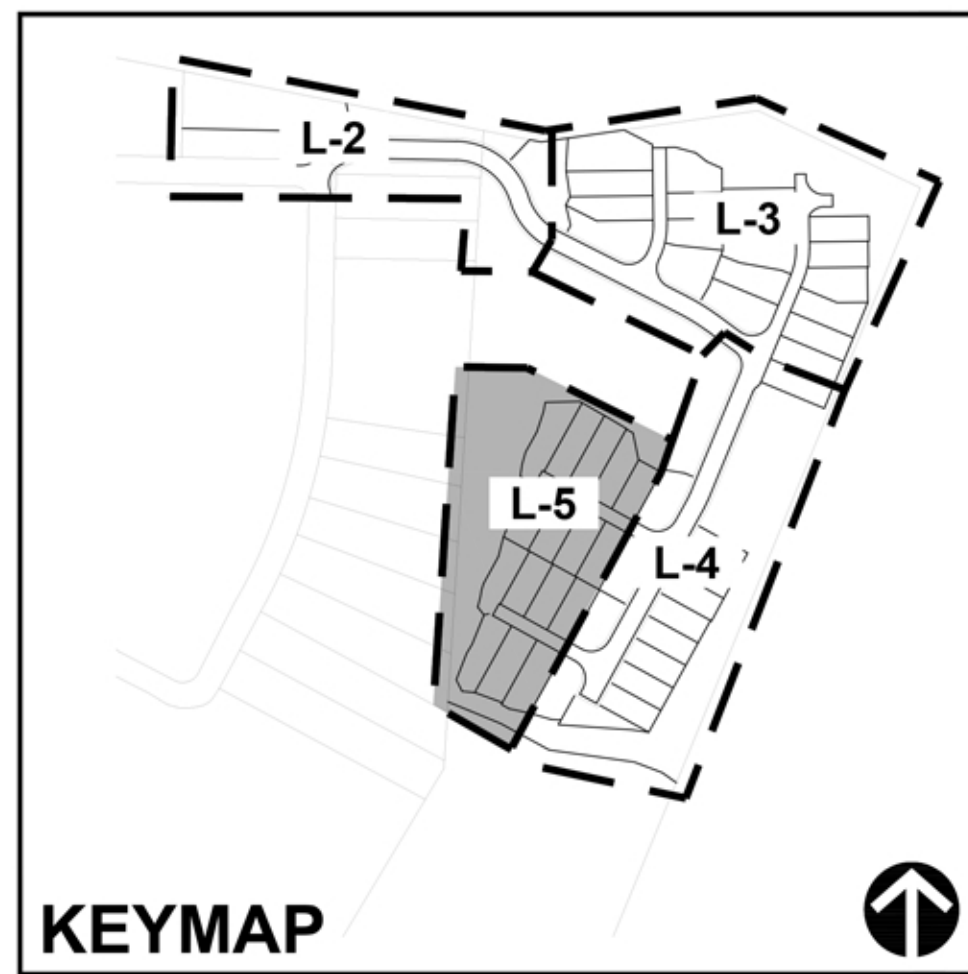


VISTA COVE
Vallejo, California

LANDSCAPE PLAN
CONCEPTUAL PHASE
May 14, 2024



L-4
Project No. 03622



KEYMAP



TREE LEGEND

TREES	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS IV	QTY
	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	26
	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	31
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	13
	QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	9
	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	15 GAL	MOD	23
	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	39
NOTES:			TOTALS		
- ALL PROPOSED TREES ARE MITIGATION TREES			15 GAL = 141 TOTAL TREES		
- ALL TREES ARE STANDARD FORM UNLESS OTHERWISE NOTED					

IRRIGATION NOTES

1. THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE MANDATED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).
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5. ALL MWELO DOCUMENTATION INCLUDING IRRIGATION PLANS, WATER USE CALCULATIONS AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.

PLANTING NOTES

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TREE CANOPY LEGEND

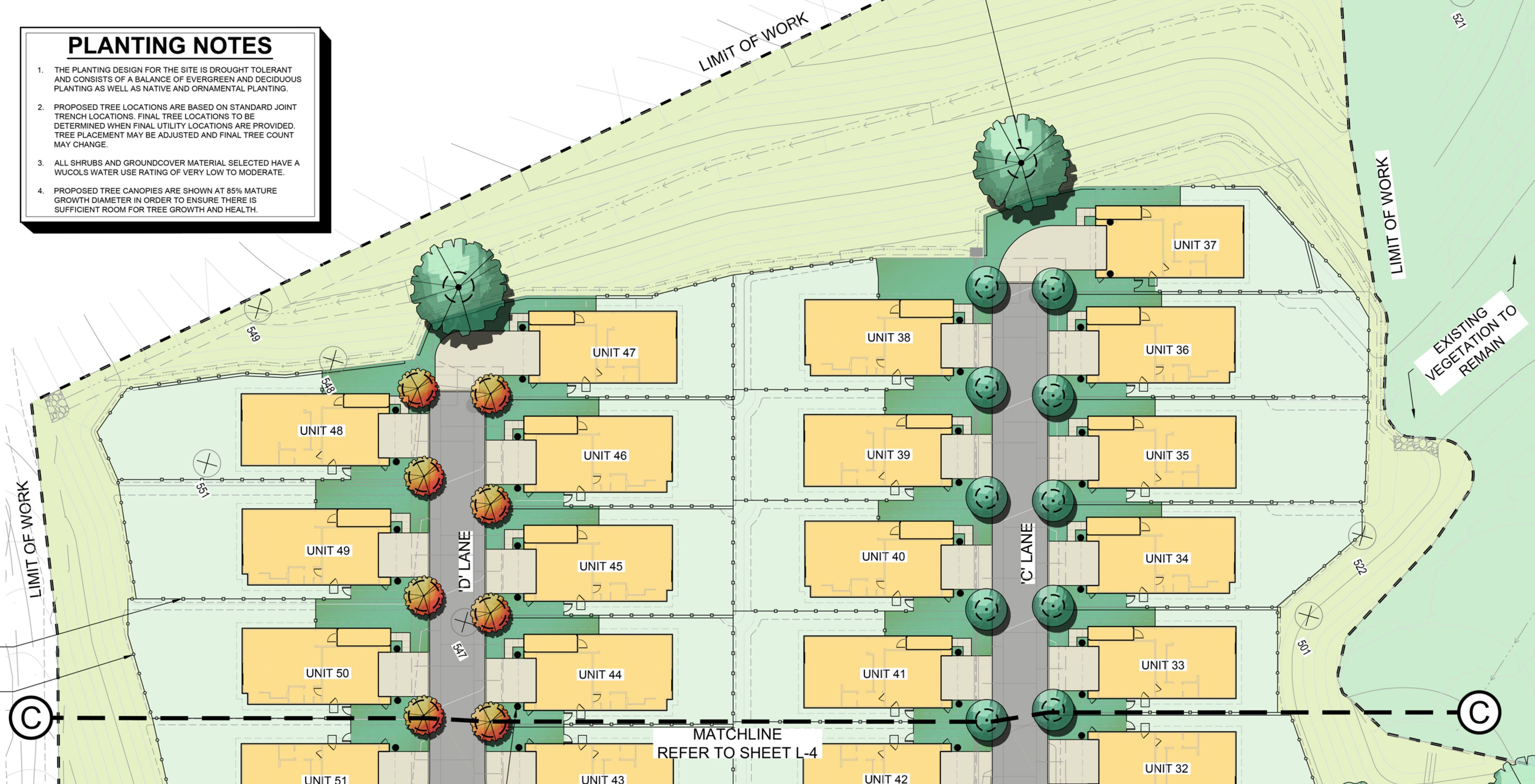


NOTE: ESTIMATED TREE CANOPY SIZE IS BASED ON GROWTH DATA AVAILABLE FROM SELECTREE (selectree.calpoly.edu) AND CURRENT AVAILABLE NURSERY STOCK

EXISTING TREE TO BE REMOVED PER ARBORIST REPORT, TYP

NATIVE EROSION CONTROL HYDROSEED MIX ON GRADED SLOPES, TYP.

ESTIMATED TREE CANOPY AT 3 YEARS, TYP.



GOOD NEIGHBOR FENCE, TYP. SEE OVERALL FENCE PLAN SHEET L-8

TUBE STEEL FENCE, TYP. SEE OVERALL FENCE PLAN SHEET L-8

BUILDING EXTERIOR LIGHT, TYP. SEE PHOTOMETRIC PLANS, SHEETS EP-1 TO EP-4, FOR PRODUCT AND SPEC

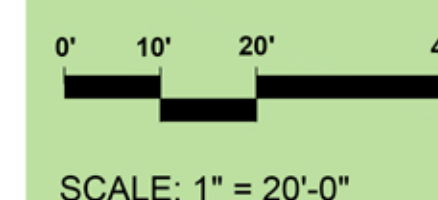
MATCHLINE REFER TO SHEET L-4



VISTA COVE
Vallejo, California

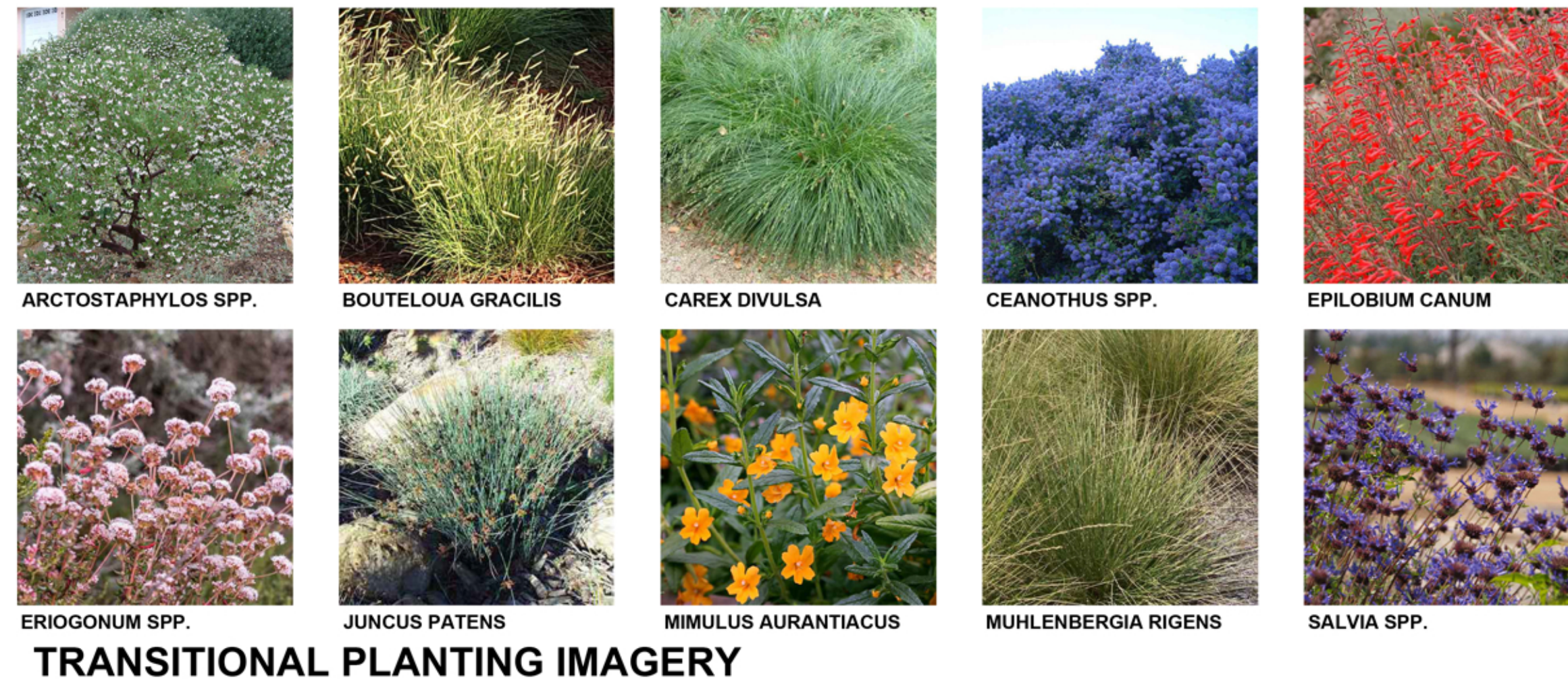
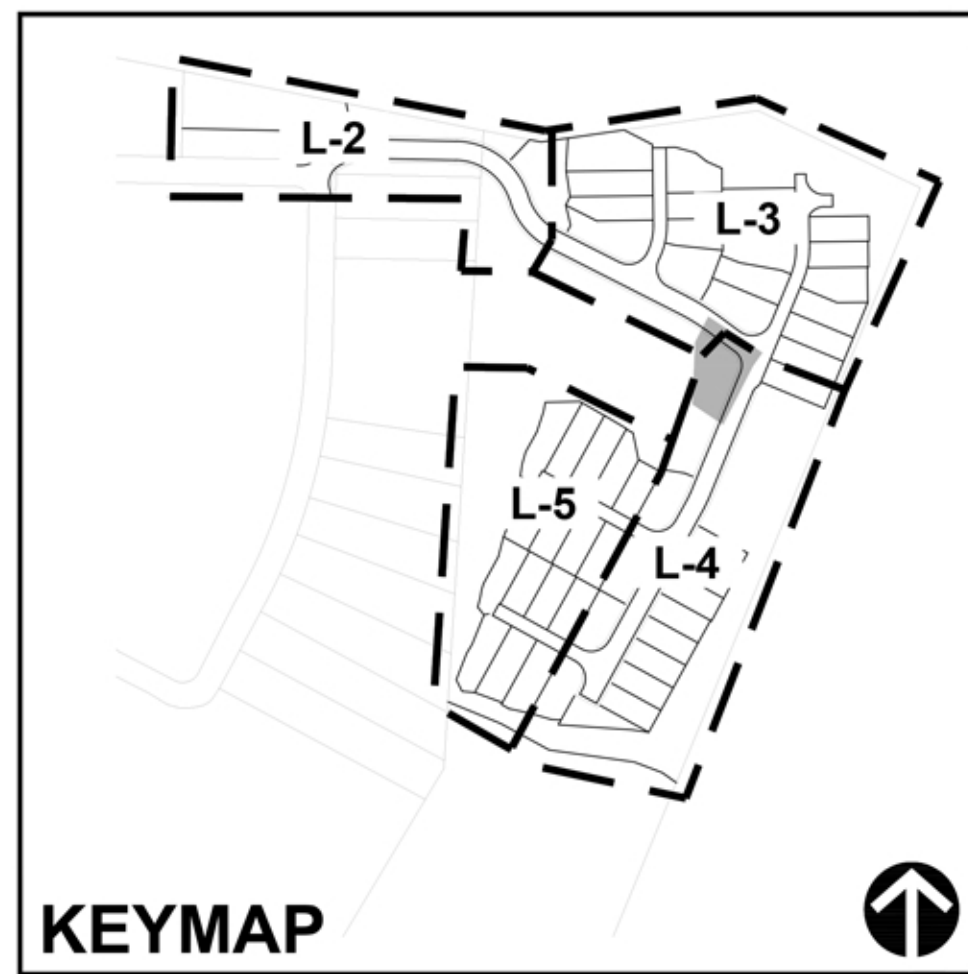
LANDSCAPE PLAN
CONCEPTUAL PHASE
May 14, 2024

vanderToolen Associates
700 Ygnacio Valley Rd.
Suite 100
Walnut Creek, CA 94596
tel: 925.274.1305
www.vandertoolen.com



L-5

Project No. 03622



BENCH AT OVERLOOK

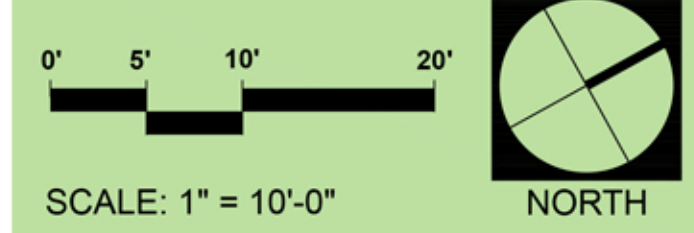
PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS IV	SPACING
TREES				
ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	15' O.C.
GINKGO BILBOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	30' O.C.
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	25' O.C.
QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	35' O.C.
QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET ENGLISH OAK	15 GAL	MOD	15' O.C.
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	25' O.C.
SHRUBS				
ACACIA COGNATA 'COUSIN ITT'	RIVER WATTLE	1 GAL	LOW	48" o.c.
ACHILLEA SPP.	YARROW	1 GAL	LOW	36" o.c.
AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	LOW	30" o.c.
ANIGOZANTHOS SPP.	KANGAROO PAW	1 GAL	LOW	24" o.c.
ARCTOSTAPHYLOS SPP.	MANZANITA	5 GAL	LOW	60" o.c.
BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	1 GAL	LOW	36" o.c.
BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	LOW	36" o.c.
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	LOW	36" o.c.
CALANDRINIA SPECTABILIS	PINK CALANDRINIA	1 GAL	LOW	24" o.c.
CALLISTEMON VININALIS 'LITTLE JOHN'	LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL	LOW	36" o.c.
CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	LOW	24" o.c.
CEANOTHUS SPP.	CEANOTHUS	5 GAL	LOW	60" o.c.
CHONDROPETALUM SPP.	CAPE RUSH	1 GAL	LOW	36" o.c.
CISTUS SPP.	ROCKROSE	1 GAL	LOW	60" o.c.
DIETES IRIDIODES	FORTNIGHT LILY	1 GAL	LOW	36" o.c.
DODONAEA VISCOSA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	LOW	72" o.c.
EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW	36" o.c.
ERIGERON GLAUCUS	BEACH DAISY	1 GAL	LOW	12" o.c.
ERIGERON KARVINSKIANUS	FLEABANE	1 GAL	LOW	36" o.c.
ERIOGONUM	BUCKWHEAT	1 GAL	LOW	36" o.c.
ERIOPHYLLUM SPP.	WOOLLY SUNFLOWER	1 GAL	LOW	24" o.c.
ESCALLONIA X 'COMPACTA'	COMPACT ESCALLONIA	5 GAL	MOD	36" o.c.
FESTUCA SPP.	FESCUE	1 GAL	LOW	24" o.c.
FREMONTODENDRON CALIFORNICUM	CALIFORNIA FLANNEL BUSH	5 GAL	V. LOW	96" o.c.
GAURA LINDHEIMERI	SISKIYOU PINK GAURA	1 GAL	MOD	36" o.c.
GREVILLEA SPP.	GREVILLEA	1 GAL	LOW	48" o.c.
HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	LOW	24" o.c.
HEMEROCALLIS X 'EVERGREEN YELLOW'	DAYLILY	5 GAL	MOD	24" o.c.
HESPERALOE PARVIFLORA	YUCCA	1 GAL	LOW	36" o.c.
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	V. LOW	96" o.c.
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	LOW	24" o.c.
KNIPHOFIA UVARIA	TORCHLILY	1 GAL	LOW	36" o.c.
LANTANA SPP.	LANTANA	1 GAL	LOW	48" o.c.
LIGUSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL	LOW	72" o.c.
LIMONIUM PEREZII	STATICE	1 GAL	LOW	36" o.c.
LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	LOW	60" o.c.
MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GAL	LOW	36" o.c.
MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL	LOW	36" o.c.
MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	LOW	48" o.c.
NANDINA DOMESTICA	LEMON LIME NANDINA	1 GAL	LOW	36" o.c.
NEPETA X 'FAASSENII' 'SIX HILLS GIANT'	GIANT CATMINT	1 GAL	LOW	36" o.c.
PENSTEMON SPP.	BEARD TONGUE	1 GAL	LOW	36" o.c.
PITTIOSPORUM SPP.	PITTIOSPORUM	5 GAL	LOW	60" o.c.
POLYGALA SPP.	SWEET PEA SHRUB	5 GAL	LOW	36" o.c.
PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA LAUREL CHERRY	5 GAL	LOW	72" o.c.
RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	LOW	72" o.c.
RHAPHIOLEPIS SPP.	INDIAN HAWTHORN	1 GAL	LOW	48" o.c.
ROSA SPP.	ROSE	5 GAL	MOD	36" o.c.
ROSMARINUS OFFICINALIS	TUSCAN BLUE ROSEMARY	1 GAL	LOW	48" o.c.
SALVIA SPP.	SAGE	1 GAL	LOW	48" o.c.
TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	LOW	24" o.c.
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	LOW	48" o.c.
XYLOSMA CONGESTUM 'COMPACTA'	COMPACT XYLOSMA	5 GAL	LOW	72" o.c.
GROUNDCOVERS				
ARCTOSTAPHYLOS SPP.	GROUNDCOVER MANZANITA	1 GAL	LOW	60" o.c.
CEANOTHUS GRISEUS HORIZONTALIS	CALIFORNIA LILAC	1 GAL	LOW	72" o.c.
GREVILLEA LANIGERA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL	LOW	48" o.c.
HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT'	HENFIELD BRILLIANT ROCK ROSE	1 GAL	LOW	36" o.c.
MYOPORUM PARVIFOLIUM	MYOPORUM	1 GAL	LOW	60" o.c.
SCAEVOLA 'MAUVE CLUSTERS'	FAN FLOWER	1 GAL	LOW	48" o.c.
SENECIO MANDRALISCAE	BLUE FINGER	1 GAL	LOW	36" o.c.
VERBENA SPP.	VERBENA	1 GAL	LOW	36" o.c.



VISTA COVE
Vallejo, California

COMMON OPEN SPACE ENLARGEMENT
CONCEPTUAL PHASE
May 14, 2024



L-6
Project No. 03622

PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS IV	SPACING
TREES				
ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	15 GAL	MOD	15' O.C.
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	15 GAL	MOD	30' O.C.
QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	LOW	25' O.C.
QUERCUS LOBATA	VALLEY OAK	15 GAL	LOW	38' O.C.
QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET ENGLISH OAK	15 GAL	MOD	15' O.C.
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	15 GAL	MOD	25' O.C.
SHRUBS				
ACACIA COGNATA 'COUSIN ITT'	RIVER WATTLE	1 GAL	LOW	48" o.c.
ACHILLEA SPP.	YARROW	1 GAL	LOW	36" o.c.
AGAVE X 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL	LOW	30" o.c.
ANIGOZANTHOS SPP.	KANGAROO PAW	1 GAL	LOW	24" o.c.
ARCTOSTAPHYLOS SPP.	MANZANITA	5 GAL	LOW	60" o.c.
BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	1 GAL	LOW	36" o.c.
BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	LOW	36" o.c.
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	LOW	36" o.c.
CALANDRINIA SPECTABILIS	PINK CALANDRINIA	1 GAL	LOW	24" o.c.
CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN WEeping BOTTLEBRUSH	5 GAL	LOW	36" o.c.
CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	LOW	24" o.c.
CEANOTHUS SPP.	CEANOTHUS	5 GAL	LOW	60" o.c.
CHONDRPETALUM SPP.	CAPE RUSH	1 GAL	LOW	36" o.c.
CISTUS SPP.	ROCKROSE	1 GAL	LOW	60" o.c.
DIETES IRIDIODES	FORTNIGHT LILY	1 GAL	LOW	36" o.c.
DODONAEA VISCOZA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL	LOW	72" o.c.
EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW	36" o.c.
ERIGERON GLAUCUS	BEACH DAISY	1 GAL	LOW	12" o.c.
ERIGERON KARVINSKIANUS	FLEABANE	1 GAL	LOW	36" o.c.
ERIOGONUM	BUCKWHEAT	1 GAL	LOW	36" o.c.
ERIOPHYLLUM SPP.	WOOLLY SUNFLOWER	1 GAL	LOW	24" o.c.
ESCALLONIA X 'COMPACTA'	COMPACT ESCALLONIA	5 GAL	MOD	36" o.c.
FREMONTODENDRON CALIFORNICUM	CALIFORNIA FLANNEL BUSH	5 GAL	V. LOW	96" o.c.
GAURA LINDHEIMERI	SISKIYOU PINK GAURA	1 GAL	MOD	36" o.c.
GREVILLEA SPP.	GREVILLEA	1 GAL	LOW	48" o.c.
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	LOW	24" o.c.
HEMEROCALLIS X 'EVERGREEN YELLOW'	DAYLILY	5 GAL	MOD	24" o.c.
HESPERALOE PARVIFLORA	YUCCA	1 GAL	LOW	36" o.c.
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	V. LOW	96" o.c.
JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	LOW	24" o.c.
KNIPHOFIA UVARIA	TORCHLILY	1 GAL	LOW	36" o.c.
LANTANA SPP.	LANTANA	1 GAL	LOW	48" o.c.
LIGULSTRUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	5 GAL	LOW	72" o.c.
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ARCTOSTAPHYLOS SPP.	GROUNDCOVER MANZANITA	1 GAL	LOW	60" o.c.
CEANOTHUS GRISEUS HORIZONTALIS	CALIFORNIA LILAC	1 GAL	LOW	72" o.c.
GREVILLEA LANIGERA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL	LOW	48" o.c.
HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT'	HENFIELD BRILLIANT ROCK ROSE	1 GAL	LOW	36" o.c.
MYOPORUM PARVIFOLIUM	MYOPORUM	1 GAL	LOW	60" o.c.
SCAEVOLA 'MAUVE CLUSTERS'	FAIN FLOWER	1 GAL	LOW	48" o.c.
SENECIO MANDRALISCAE	BLUE FINGER	1 GAL	LOW	36" o.c.
VERBENA SPP.	VERBENA	1 GAL	LOW	36" o.c.

TREES



ACER RUBRUM 'ARMSTRONG' GINKGO BILOBA 'AUTUMN GOLD' QUERCUS AGRIFOLIA QUERCUS LOBATA QUERCUS ROBUR 'FASTIGIATA' TILIA CORDATA 'GREENSPIRE'

SHRUBS



ANIGOZANTHOS SPP. BULBINE FRUTESCENS CEANOTHUS SPP. CISTUS SPP. DIETES IRIDIODES GREVILLEA SPP. HESPERALOE PARVIFLORA LANTANA SPP.



LIMONIUM PEREZII MUHLENBERGIA CAPILLARIS PENSTEMON SPP. POLYGALA SPP. RHAPHIOLEPIS SPP. SALVIA SPP. WESTRINGIA FRUTICOSA EPILOBIUM CANUM

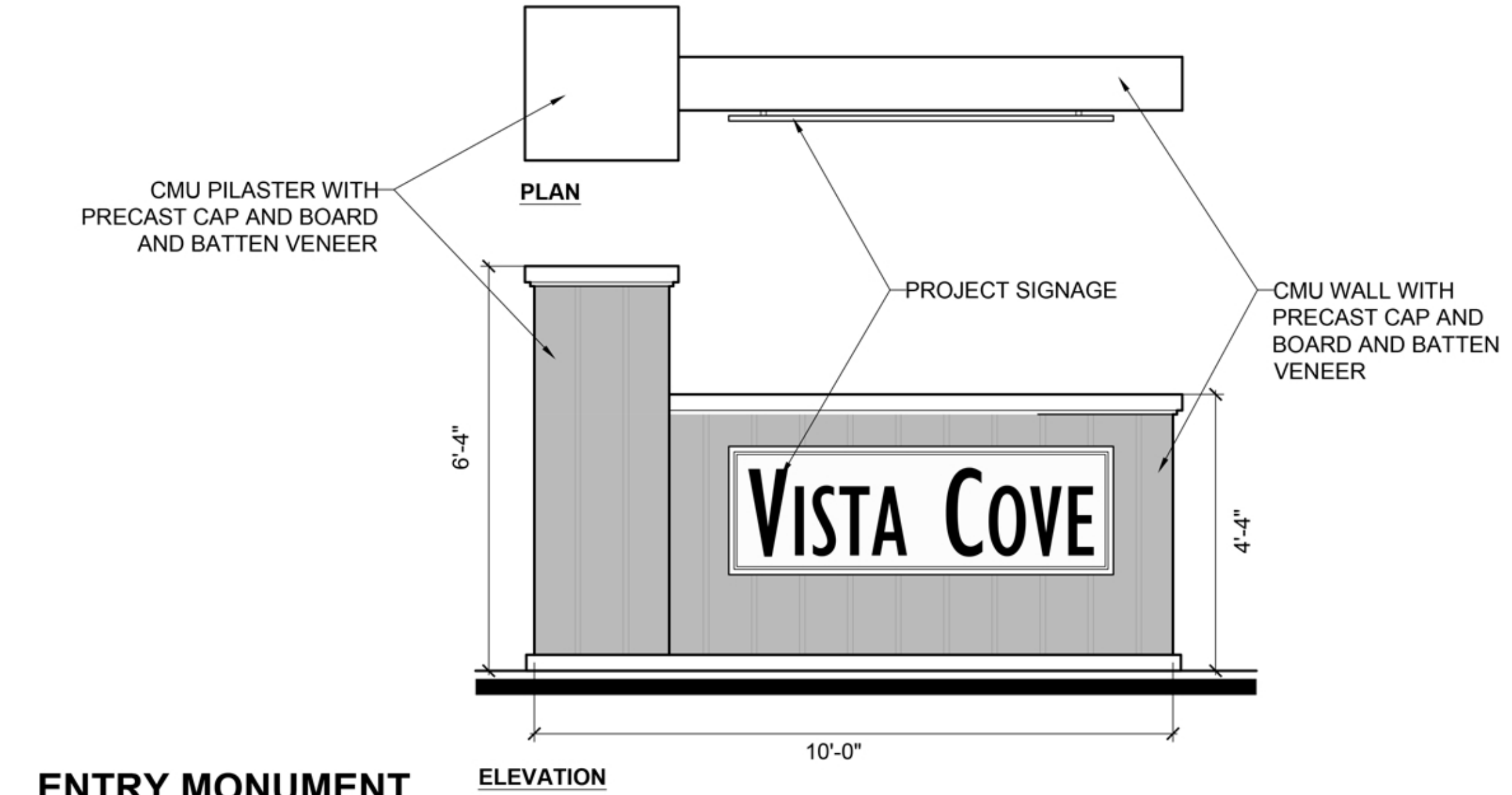
GROUNDCOVERS



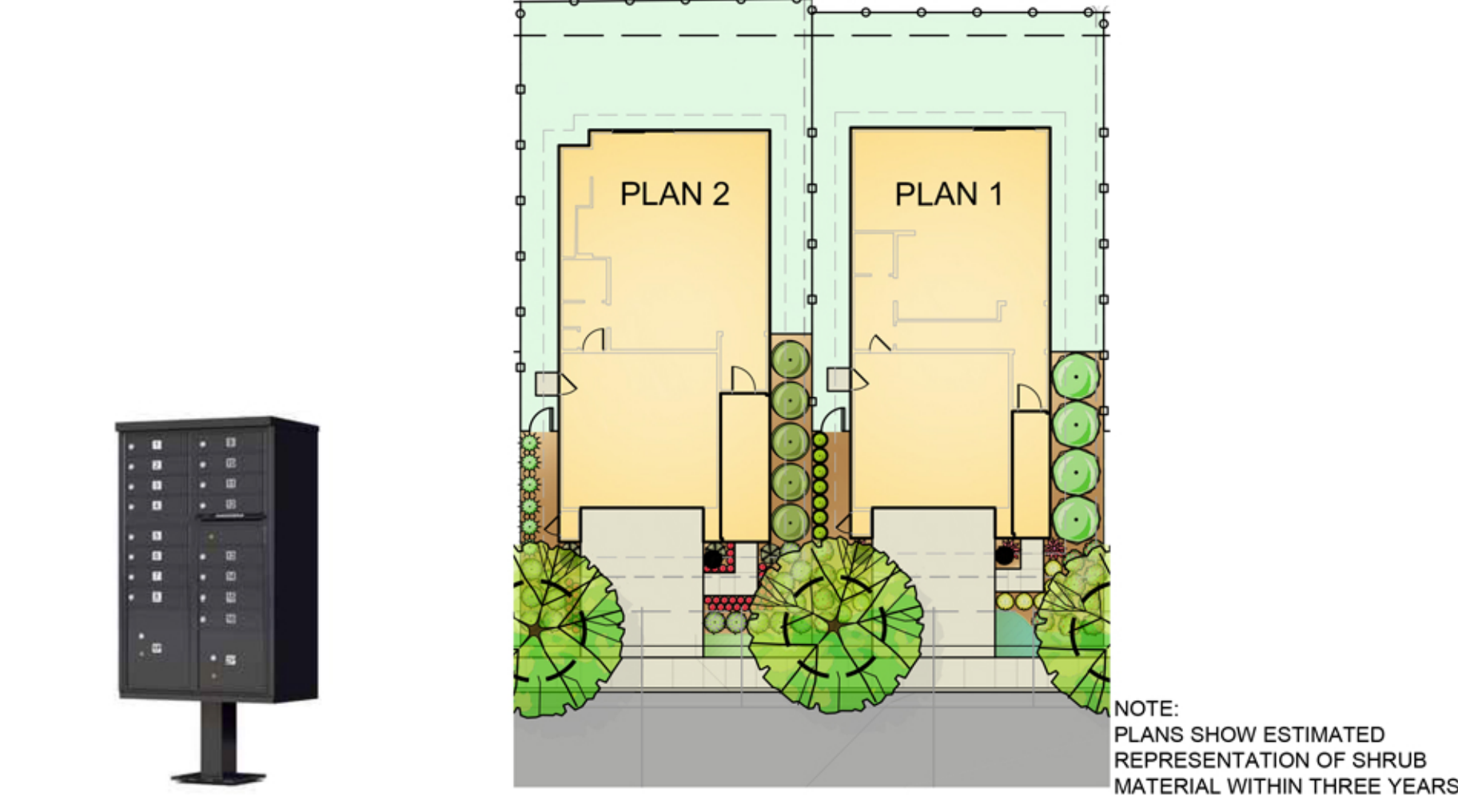
ARCTOSTAPHYLOS SPP. CEANOTHUS GRISEUS HORIZONTALIS GREVILLEA LANIGERA 'COASTAL GEM' HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT' MYOPORUM PARVIFOLIUM SCAEVOLA 'MAUVE CLUSTERS' SENECIO MANDRALISCAE VERBENA SPP.

PROPOSED HYDROSEED PALETTE

BIORETENTION AREAS NATIVE ORNAMENTAL BIOSWALE MIX	AVAILABLE FROM: PACIFIC COAST SEED 925.373.4417	APPLICATION RATE: 80 LBS/ACRE	QUANTITY: 18,530 SF
BOTANICAL NAME	COMMON NAME	WATER USE	
FESTUCA RUBRA	MOLATE RED FESCUE	MOD	
FESTUCA OVINA INGRATA	WESTERN FESCUE	MOD	
FESTUCA IDAHOENSIS	IDAHO FESCUE	LOW	
DESCHAMPSIA CAESPITOSA	TUFTED HAIRGRASS	LOW	
CAREX DIVULSA	CLUSTERED FIELD SEDGE	LOW	
GRADED HILLSIDE AREAS NATIVE EROSION CONTROL MIX	AVAILABLE FROM: PACIFIC COAST SEED 925.373.4417	APPLICATION RATE: 45 LBS/ACRE	QUANTITY: 107,205 SF
BOTANICAL NAME	COMMON NAME	WATER USE	
BROMUS CARINATUS	CALIFORNIA BROME	LOW	
ELYMUS GLAUCUS	BLUE WILDRIE	LOW	
FESTUCA MICROSTACHYS	SMALL FESCUE	LOW	
TRIFOLIUM WILLDENOVII	TOMCAT CLOVER	LOW	



ENTRY MONUMENT ELEVATION



MAILBOX UNIT TYPICAL FRONT YARD PLANTING



VISTA COVE
Vallejo, California

PLANT AND SITE IMAGERY
CONCEPTUAL PHASE
MAY 14, 2024

vanderToolen Associates
855 Bordeaux Way
Suite 240
Napa, CA 94558
tel: 707.224.2299
www.vandertoolen.com

L-7
Project No. 03622



FENCE AND WALL LEGEND

- PROPOSED 6' HIGH WOOD GOOD NEIGHBOR FENCE
SEE DESIGN DETAIL A, THIS SHEET
- PROPOSED 6' HIGH TUBE STEEL VIEW FENCE
SEE DESIGN DETAIL B, THIS SHEET
- EXISTING FENCE TO REMAIN
- RETAINING WALL - STYLE AND MATERIALS PER CIVIL ENGINEER'S PLANS

NOTE: SEE LANDSCAPE PLAN SHEETS L-2 - L-5 FOR 20 SCALE PLAN ENLARGEMENTS



A GOOD NEIGHBOR FENCE
6' HIGH WOOD FENCE AT PRODUCTION HOMES

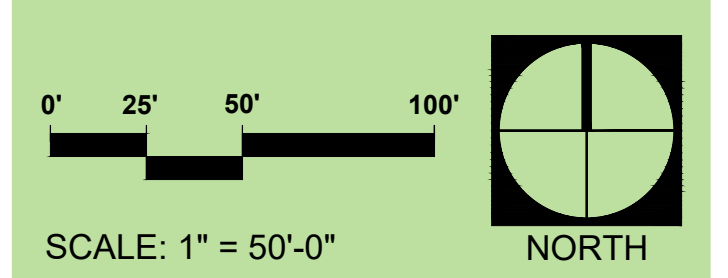
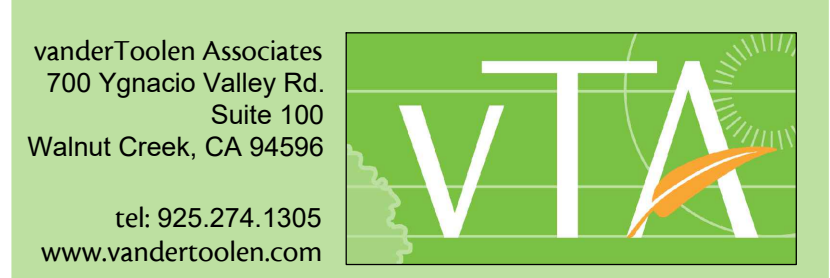


B VIEW FENCE
6' HIGH TUBE STEEL AT PRODUCTION HOMES



VISTA COVE
Vallejo, California

OVERALL FENCE PLAN
CONCEPTUAL PHASE
June 9, 2025



L-8
Project No. 03622

VISTA COVE

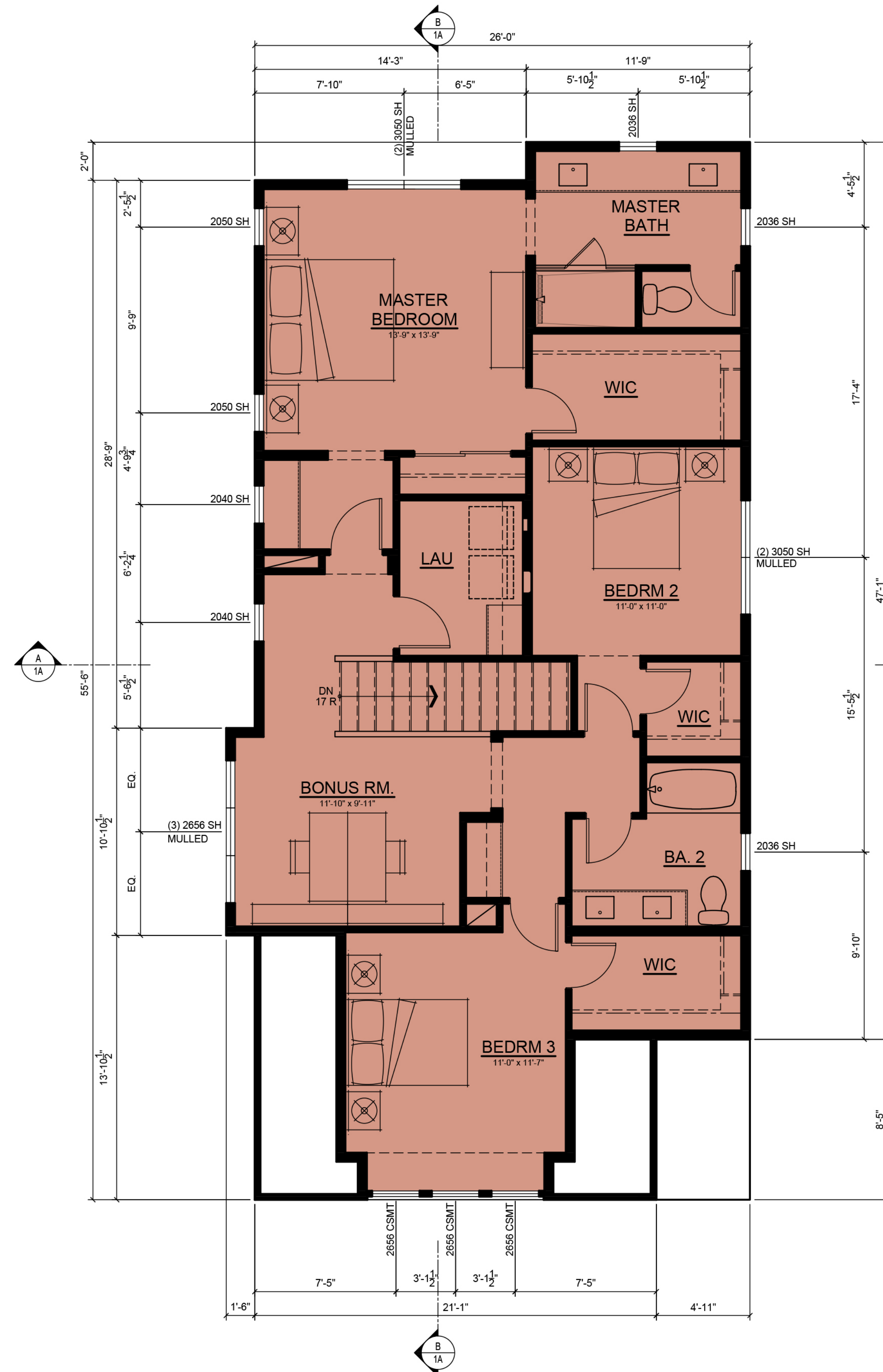
VALLEJO, CA

SHEET INDEX	
ARCHITECTURE	
A-1	COVER SHEET
A-2	PLAN 1A FLOOR PLAN
A-3	PLAN 1A SECTIONS
A-4	PLAN 1A ELEVATIONS
A-5	PLAN 1A ROOF PLAN
A-6	PLAN 1B FLOOR PLAN
A-7	PLAN 1B SECTIONS
A-8	PLAN 1B ELEVATIONS
A-9	PLAN 1B ROOF PLAN
A-10	PLAN 1C FLOOR PLAN
A-11	PLAN 1C SECTIONS
A-12	PLAN 1C ELEVATIONS
A-13	PLAN 1C ROOF PLAN
A-14	PLAN 1 STREETSCENE
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A-25	PLAN 2C ELEVATIONS
A-26	PLAN 2C ROOF PLAN
A-27	PLAN 2 STREETSCENE
A-28	PLAN 3A FLOOR PLAN
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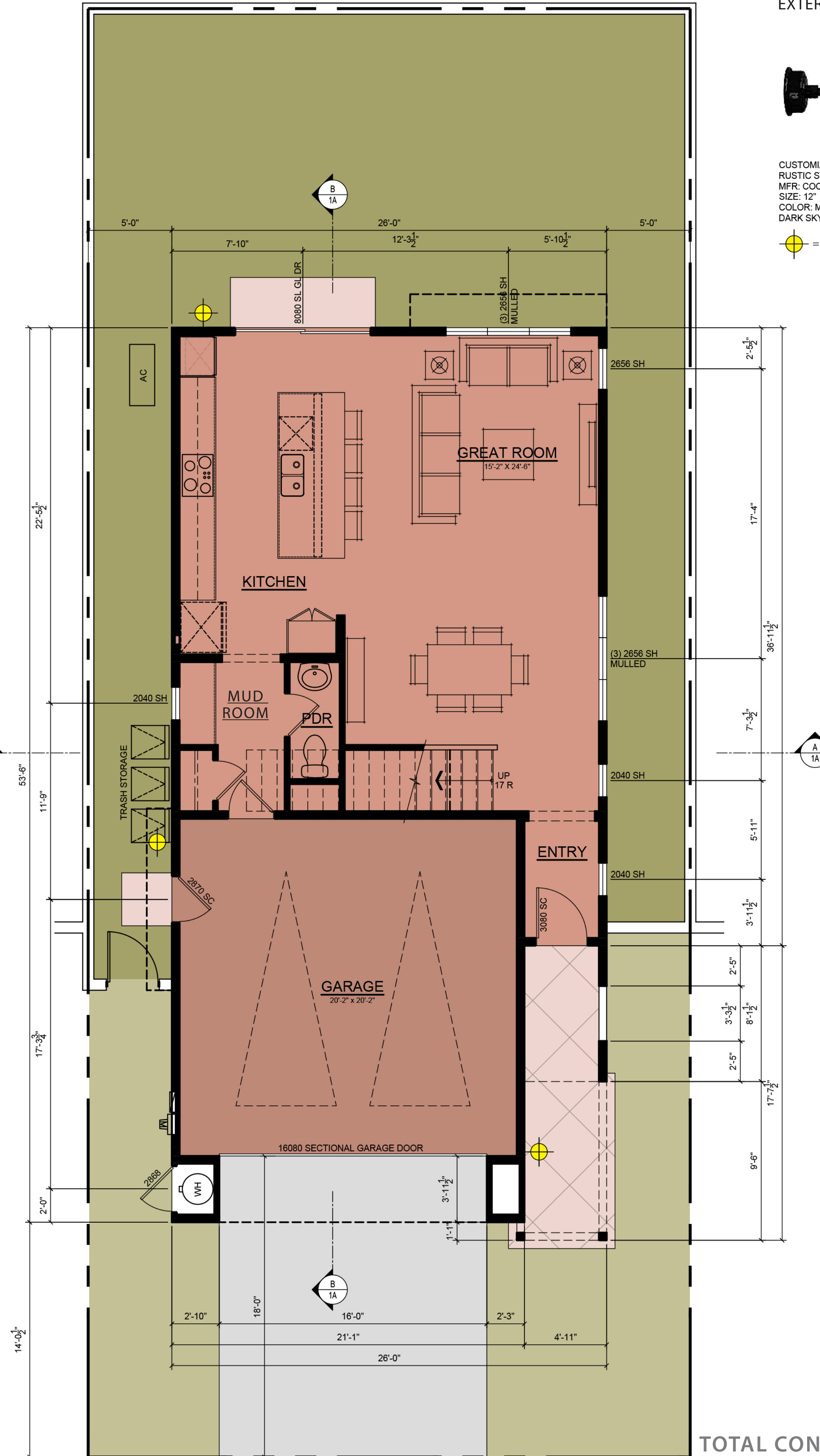
A-31	PLAN 3A ROOF PLAN
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A-33	PLAN 3B SECTIONS
A-34	PLAN 3B ELEVATIONS
A-35	PLAN 3B ROOF PLAN
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A-44	PLAN 4B ROOF PLAN
A-45	PLAN 4 STREETSCENE

SANCERRA

22029.01 05/19/25



SECOND FLOOR
1,245 SF



FIRST FLOOR
805 SF

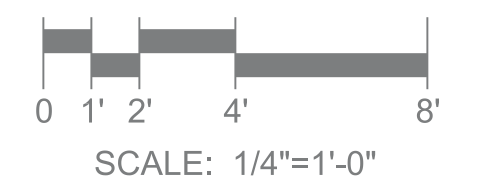


CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES
● = LOCATION OF LIGHT FIXTURE

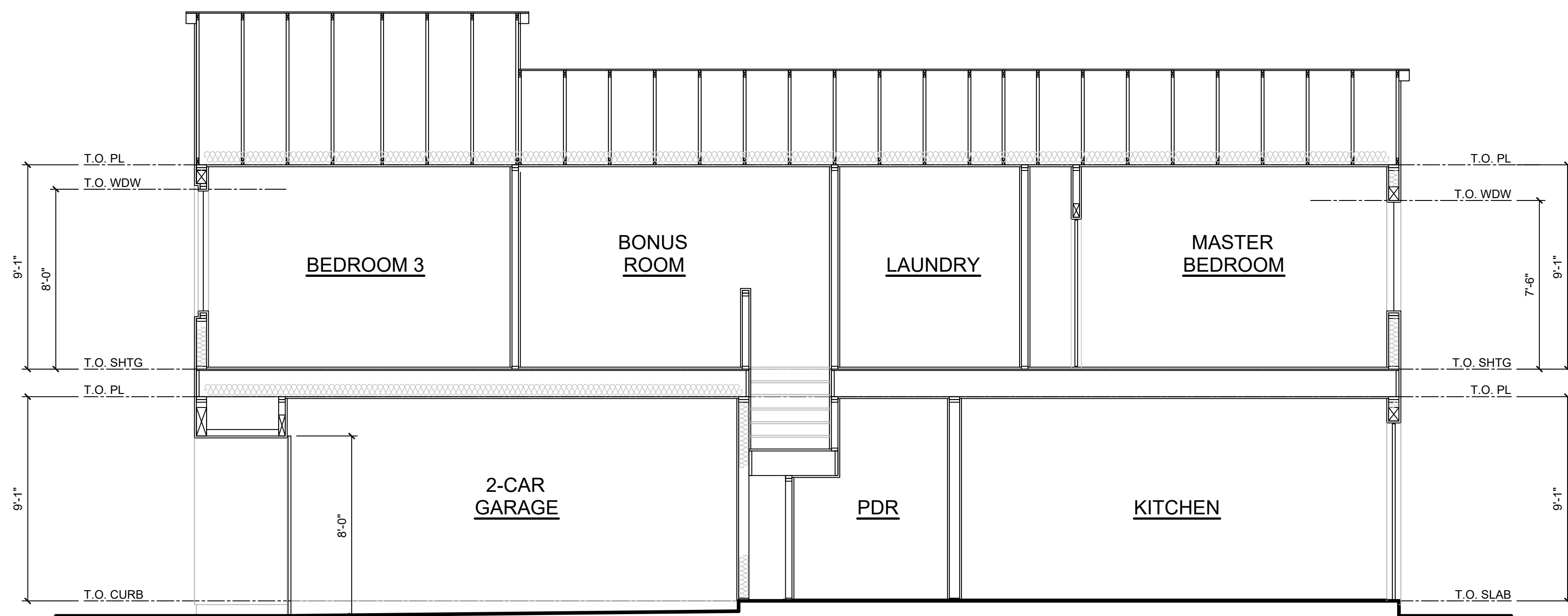
3 BEDROOM, 2.5 BA
GREAT ROOM, BONUS
2-CAR GARAGE

1st FLOOR = 805 sf
2nd FLOOR = 1,245 sf
TOTAL = 2,050 sf
GARAGE = 441 sf
TOTAL CONSTRUCTION AREA = 2,491 sf

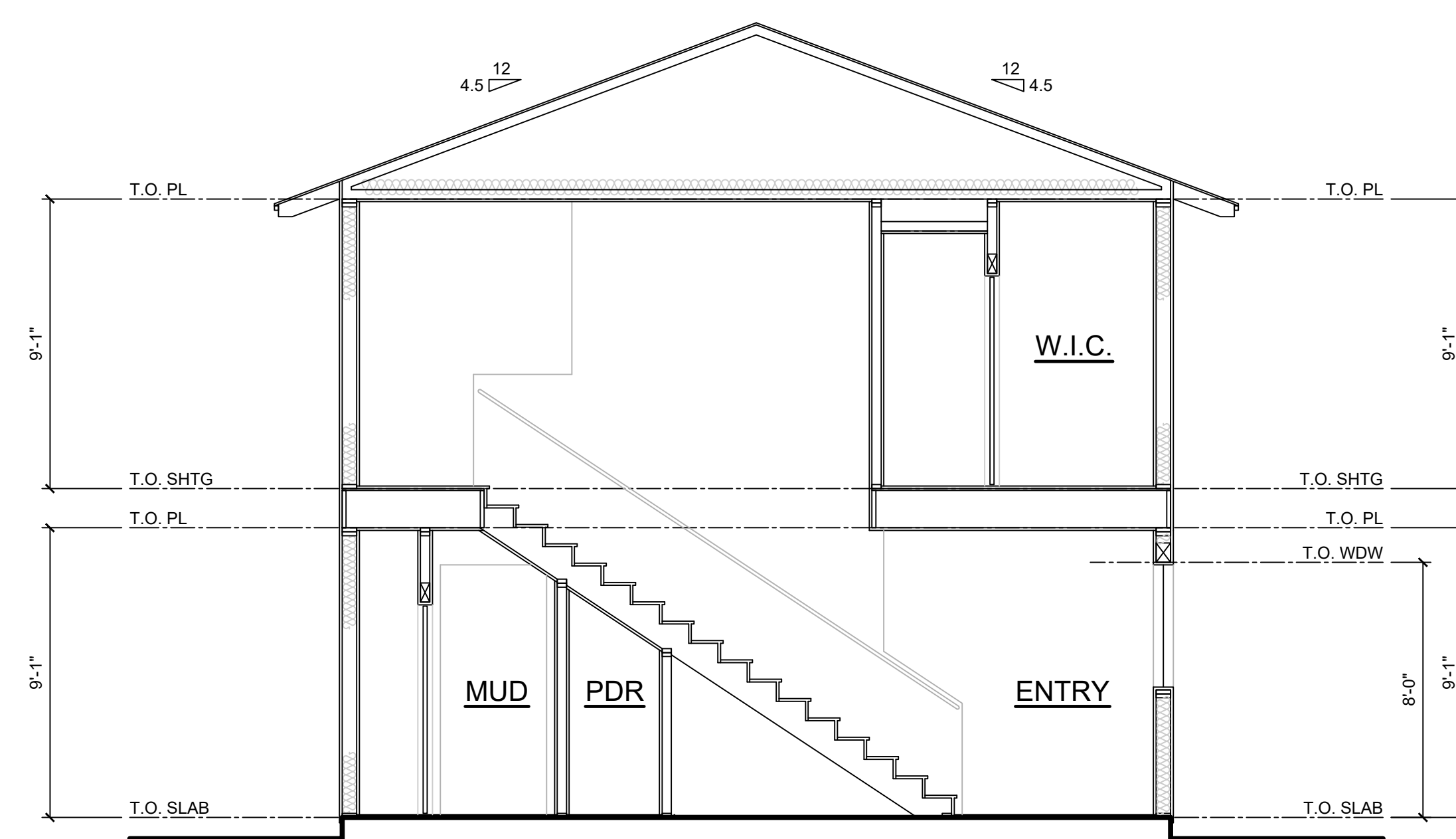
City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,329sf



SCALE: 1/4"=1'-0"



SECTION B



SECTION A



LEFT



FRONT



RIGHT

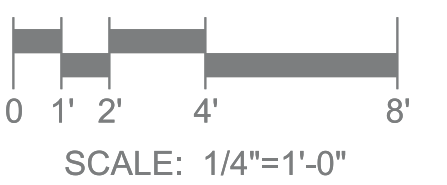


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

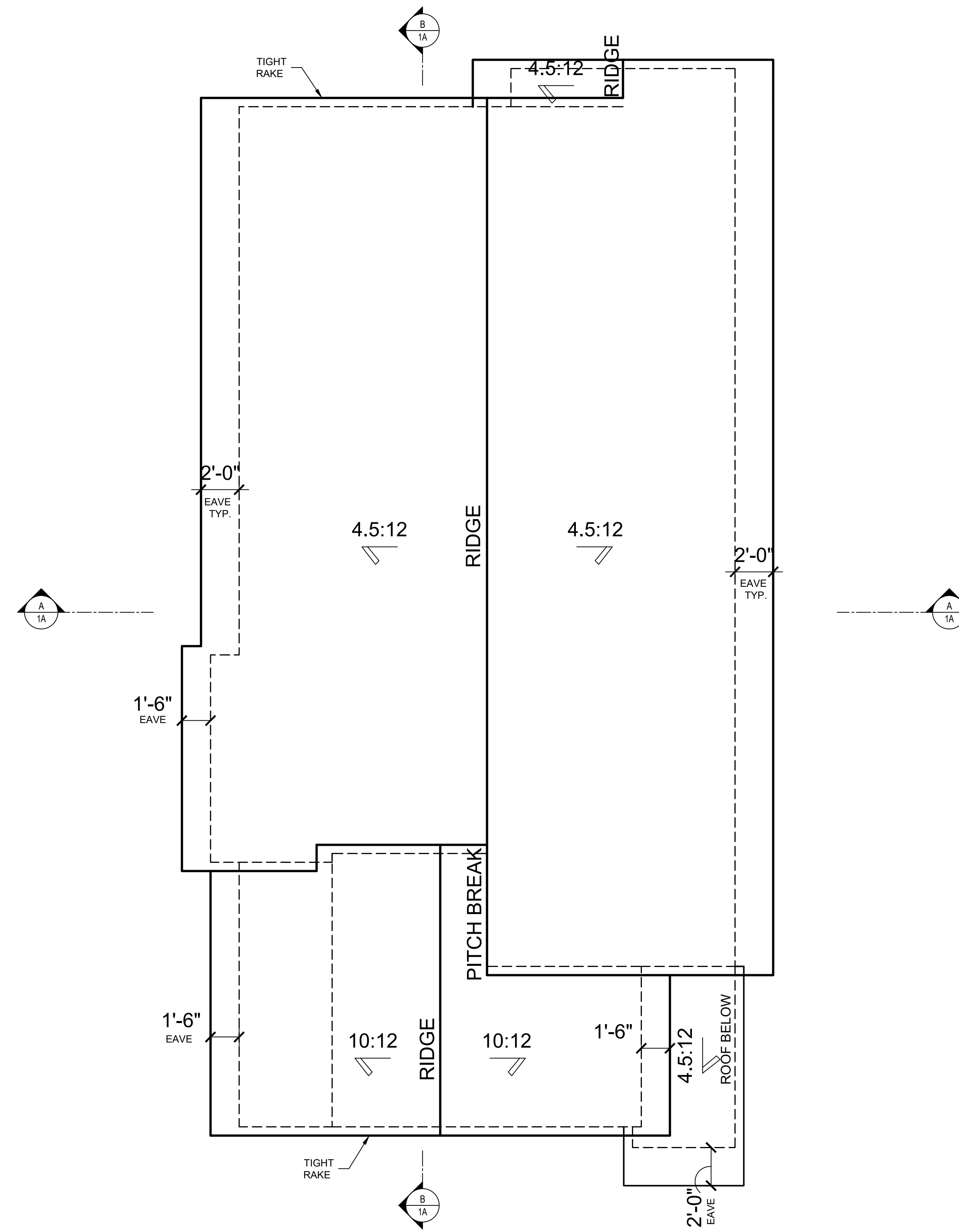
VISTA COVE
VALLEJO, CALIFORNIA

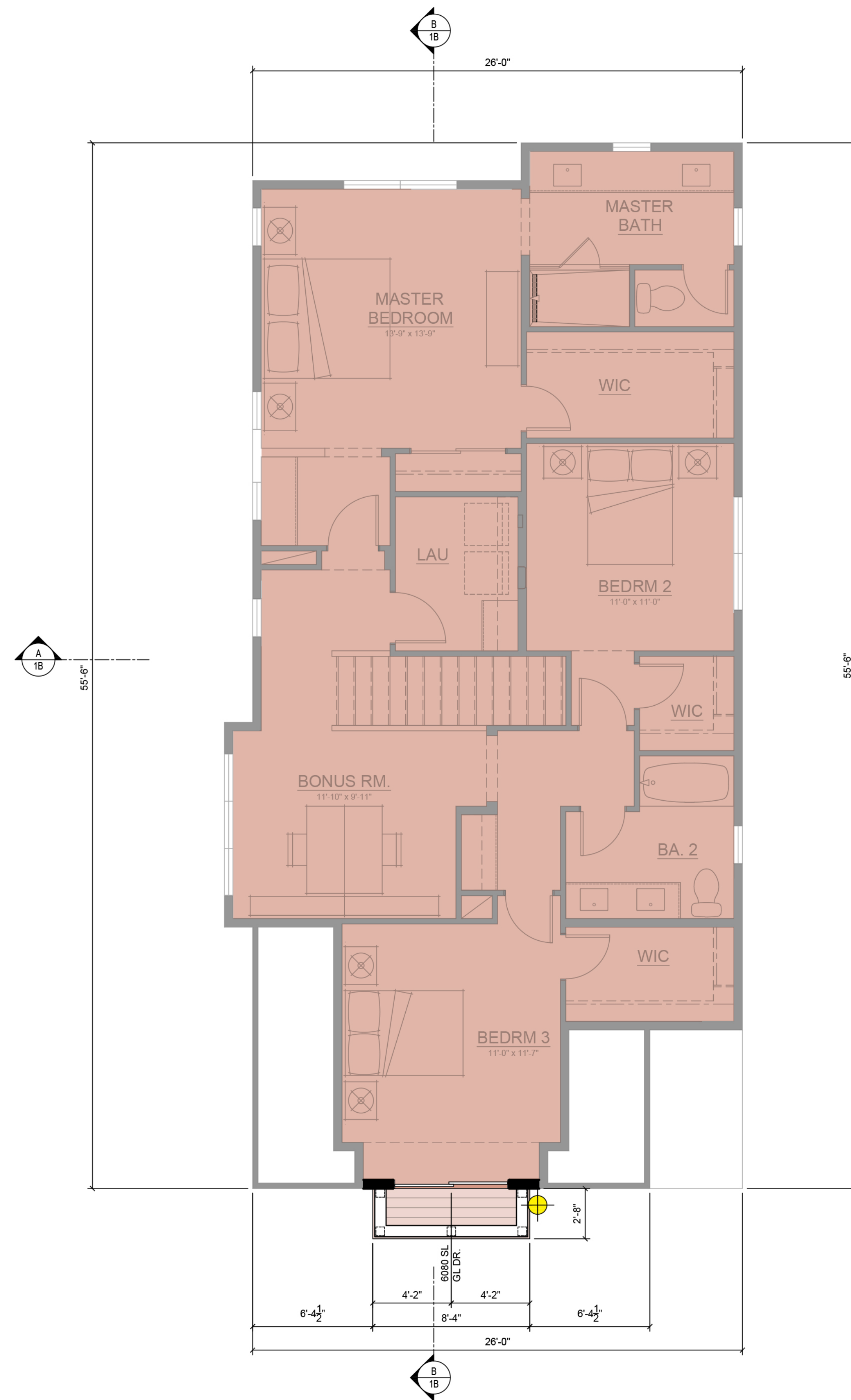
ELEVATIONS
PLAN 1A - FARMHOUSE



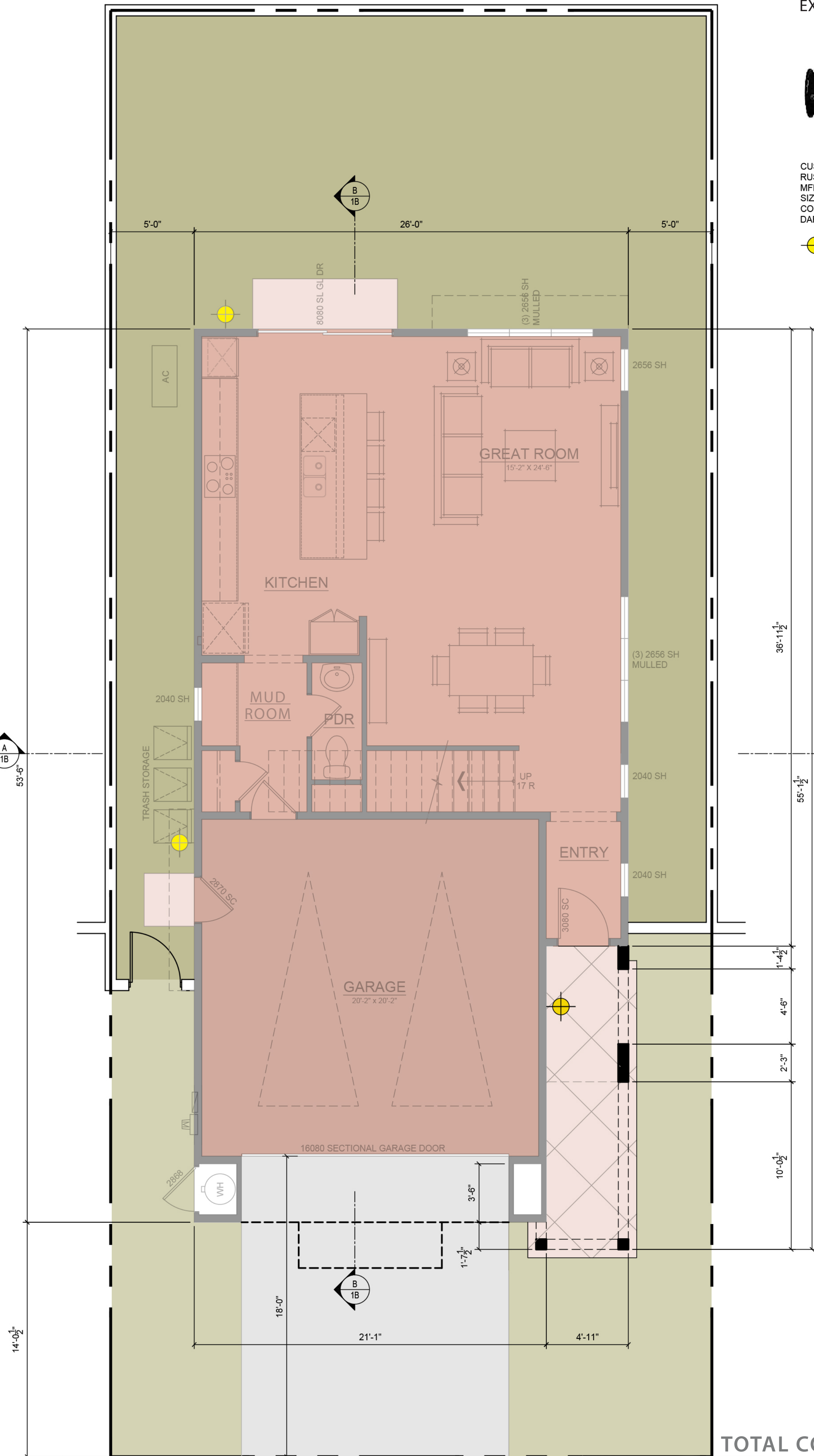
SANCERRA

22029.01 04/21/23





SECOND FLOOR
1,245 SF



FIRST FLOOR
805 SF

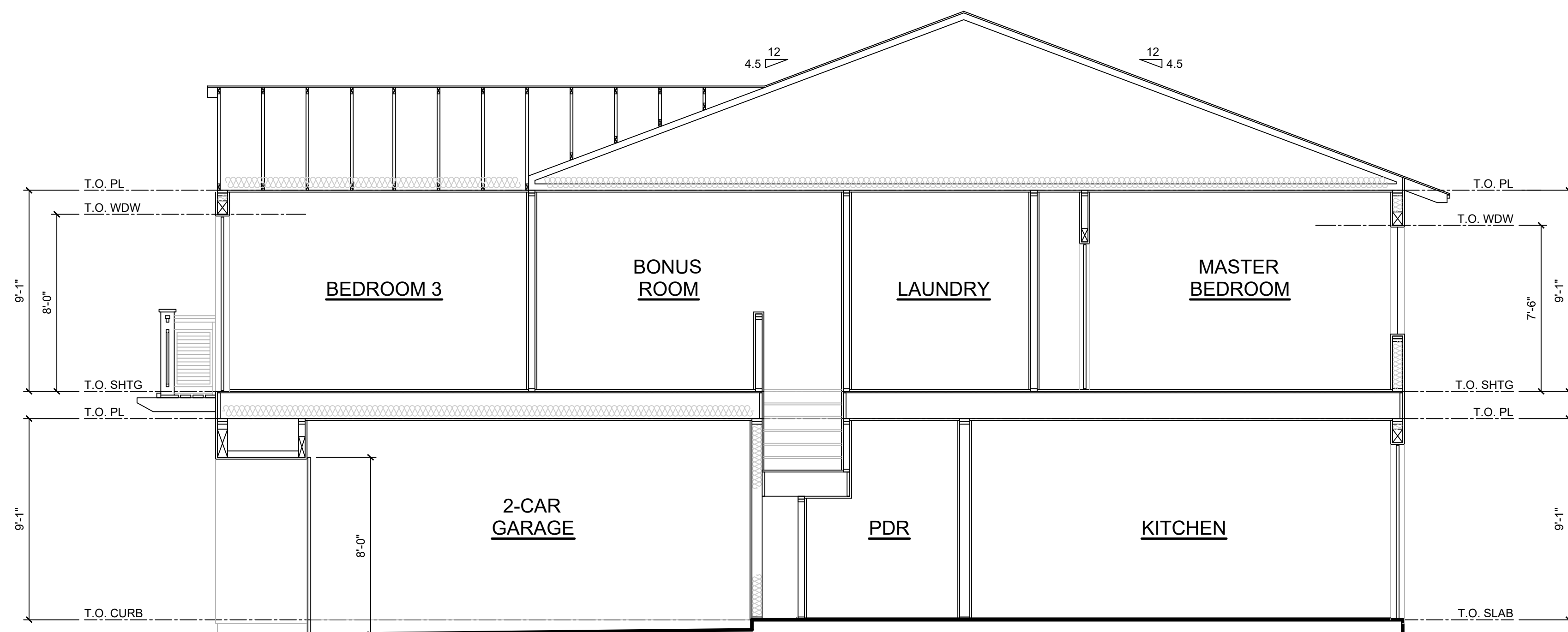


EXTERIOR LIGHT FIXTURE:
CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCKOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES
● = LOCATION OF LIGHT FIXTURE

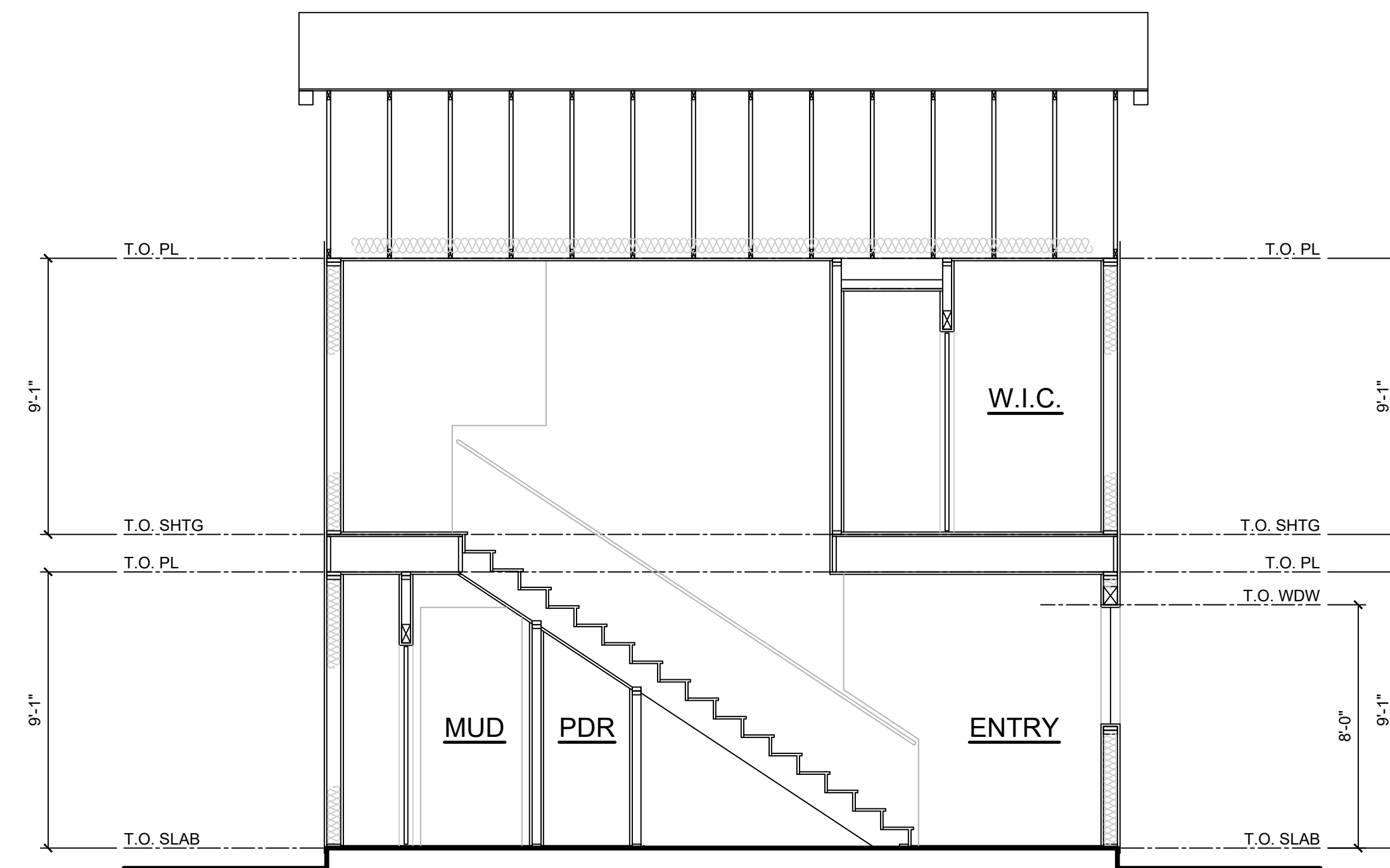
3 BEDROOM, 2.5 BA
GREAT ROOM, BONUS
2-CAR GARAGE

1st FLOOR = 805 sf
2nd FLOOR = 1,245 sf
TOTAL = 2,050 sf
GARAGE = 441 sf
TOTAL CONSTRUCTION AREA = 2,491 sf

City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,329sf



SECTION B



SECTION A



LEFT



FRONT



RIGHT

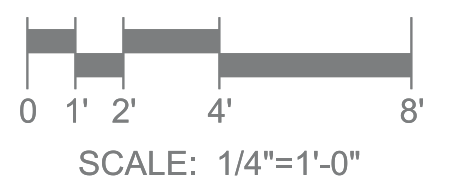


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

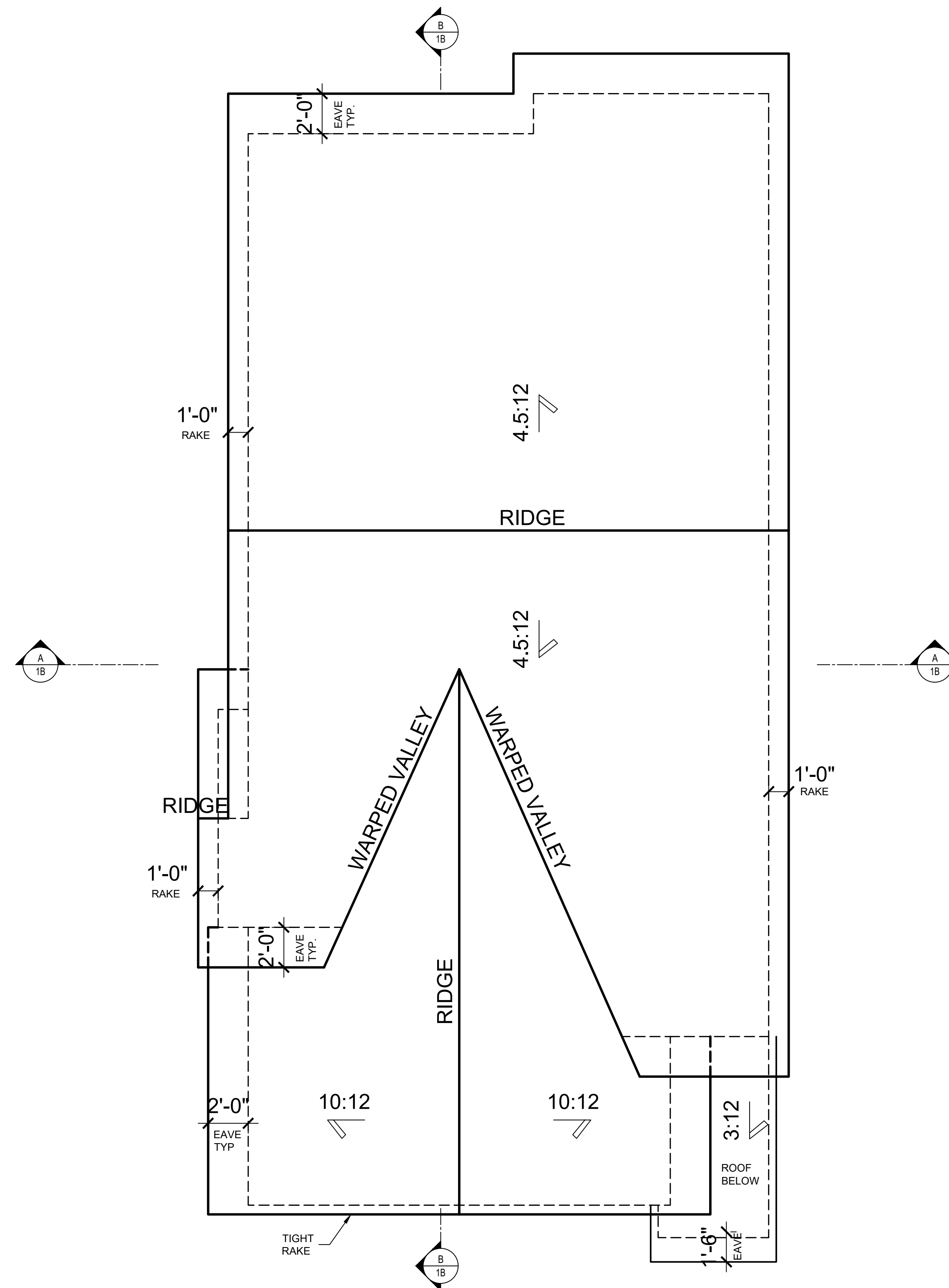
VISTA COVE
VALLEJO, CALIFORNIA

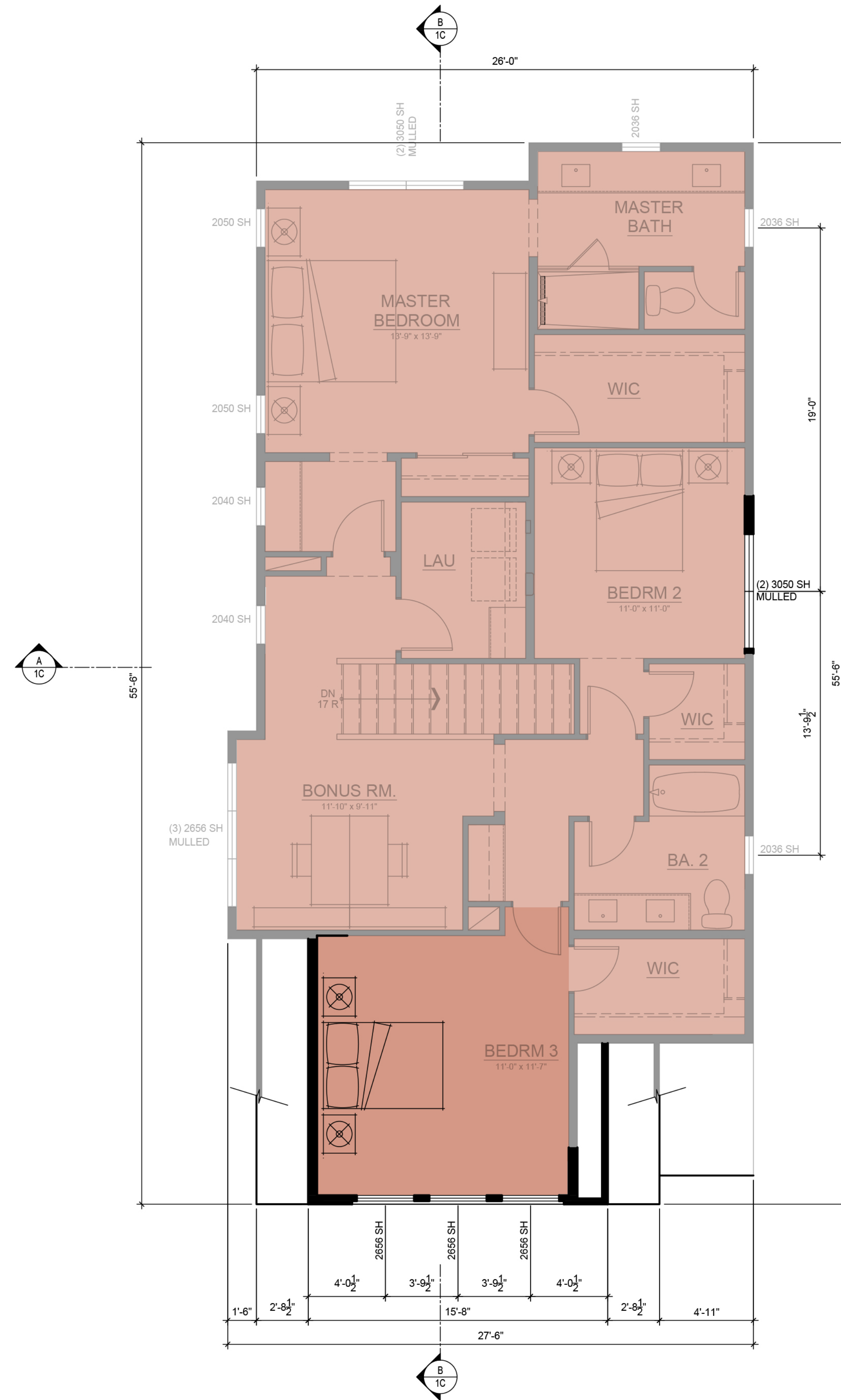
ELEVATIONS PLAN 1B - FARMHOUSE



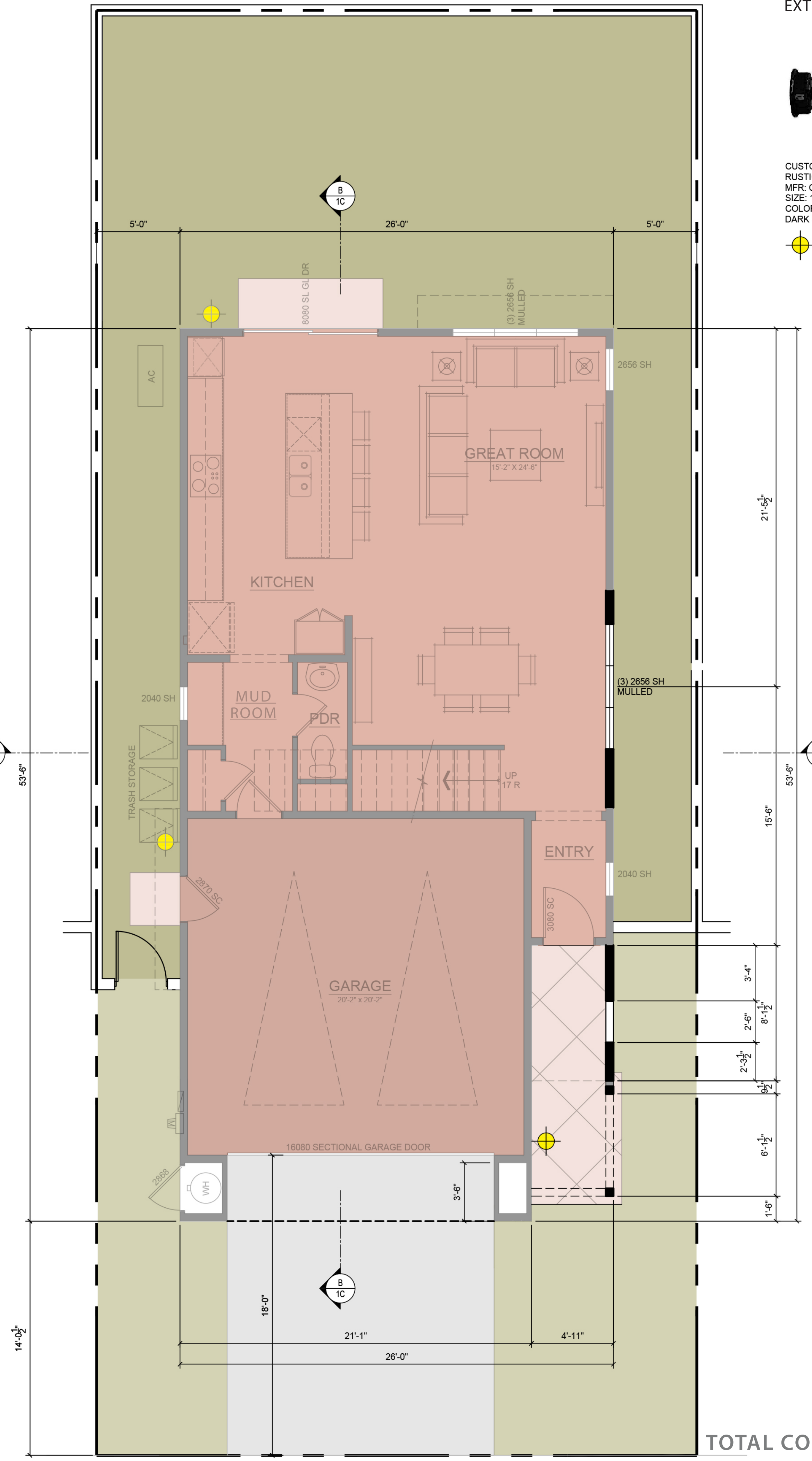
SANCERRA

22029.01 04/21/23





SECOND FLOOR
1,271 SF



FIRST FLOOR
805 SF



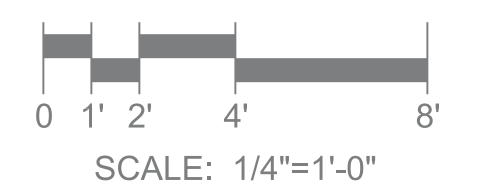
EXTERIOR LIGHT FIXTURE:
CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES

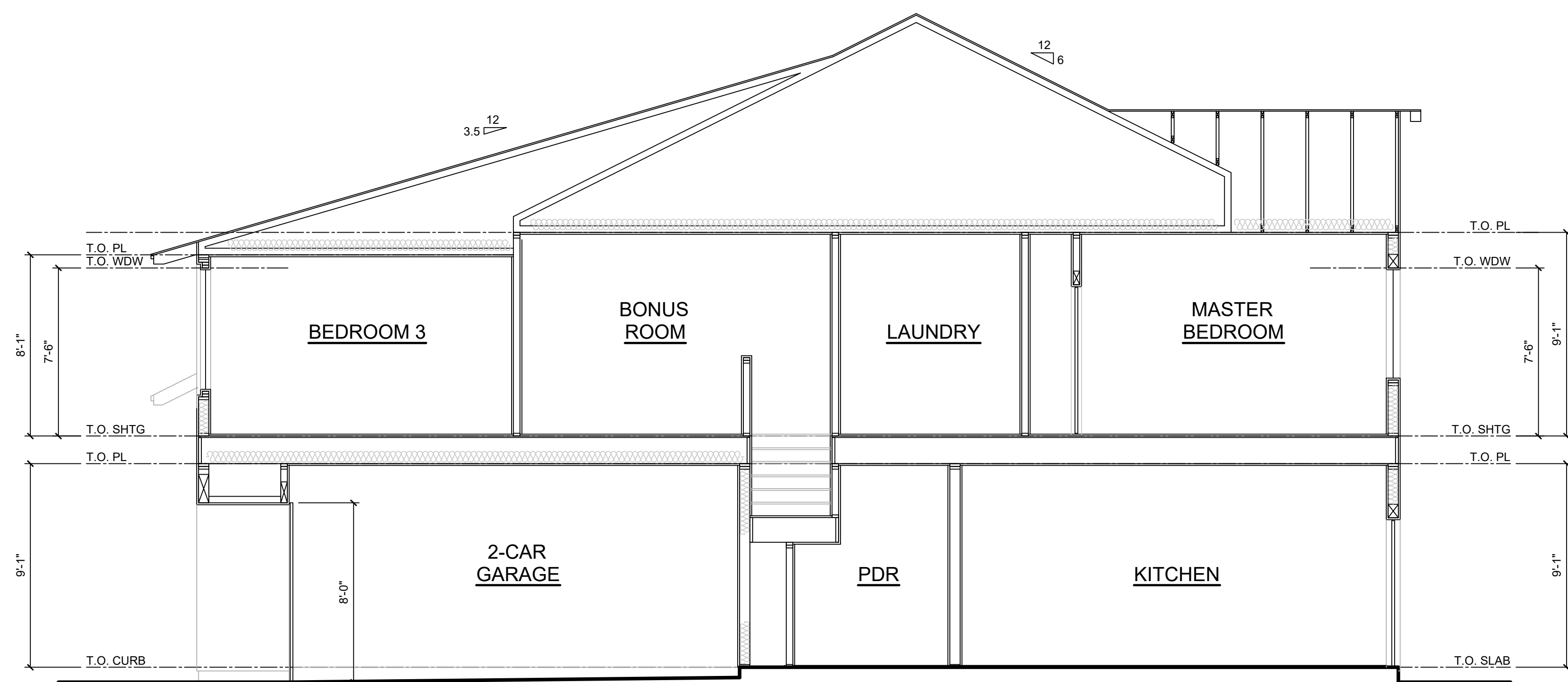
● = LOCATION OF LIGHT FIXTURE

3 BEDROOM, 2.5 BA
GREAT ROOM, BONUS
2-CAR GARAGE

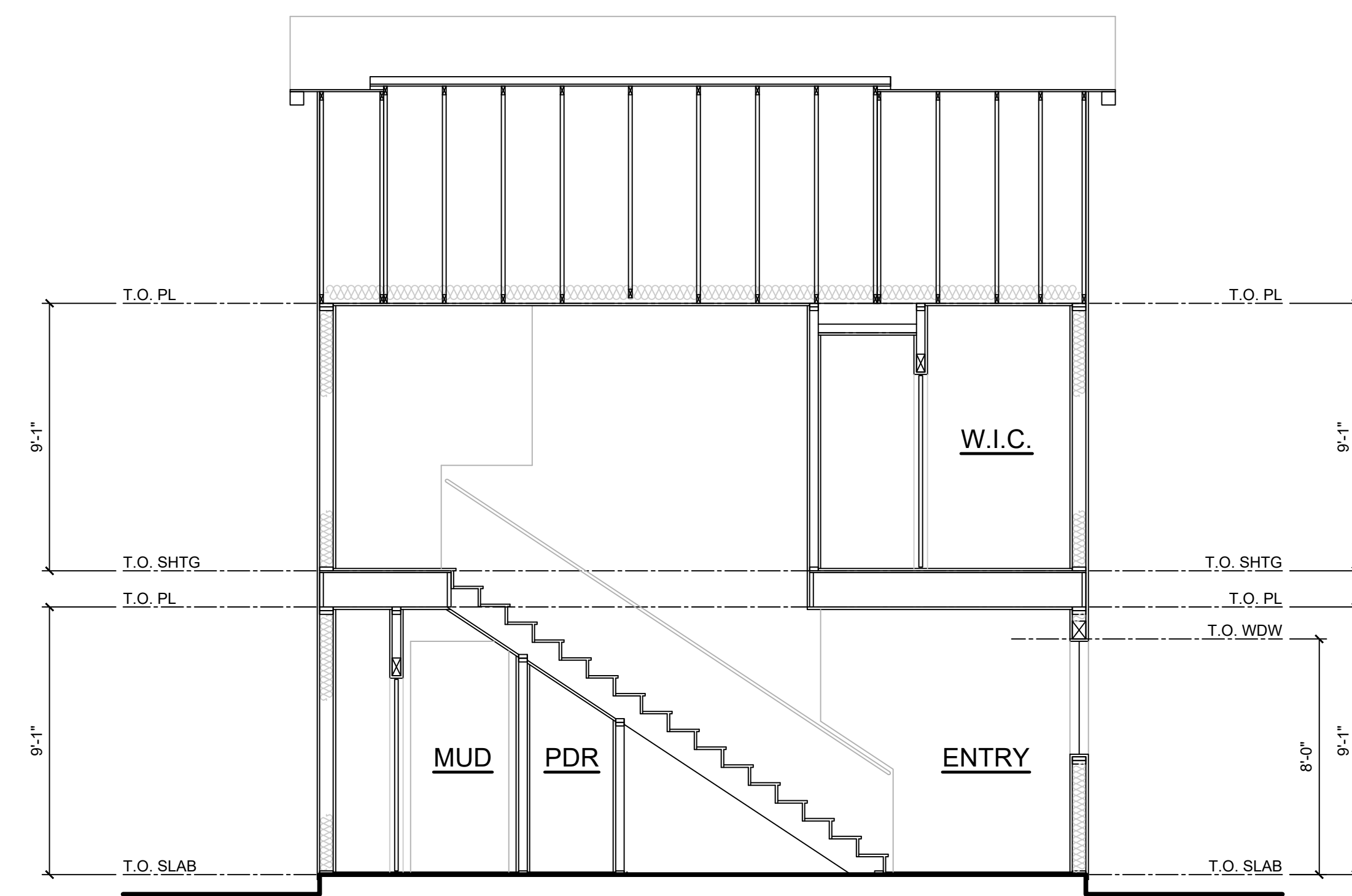
1st FLOOR = 805 sf
2nd FLOOR = 1,271 sf
TOTAL = 2,076 sf
GARAGE = 441 sf
TOTAL CONSTRUCTION AREA = 2,517 sf

City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,329sf





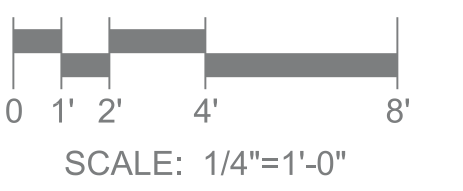
SECTION B



SECTION A

VISTA COVE
VALLEJO, CALIFORNIA

SECTIONS
PLAN 1C



SANCERRA

22029.01 04/21/23

A-11



LEFT



FRONT



RIGHT

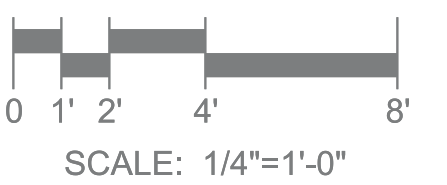


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

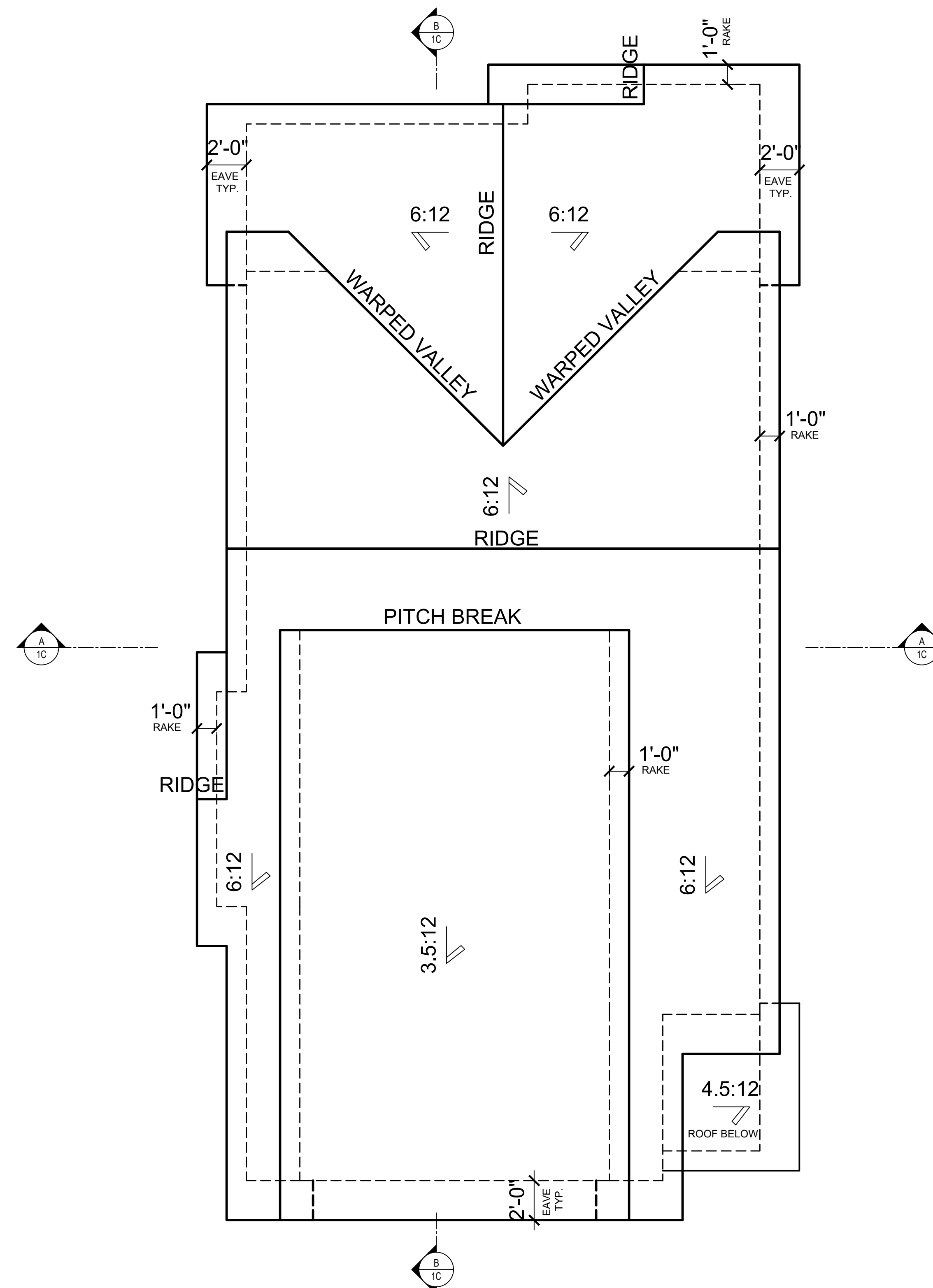
ELEVATIONS PLAN 1C - FARMHOUSE



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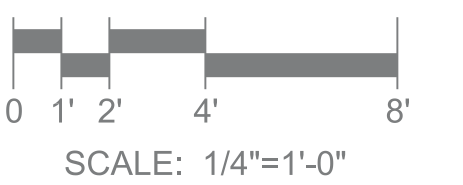
FARMHOUSE 'C'
COLOR SCHEME 3

FARMHOUSE 'B'
COLOR SCHEME 2

FARMHOUSE 'A'
COLOR SCHEME 1

VISTA COVE
VALLEJO, CALIFORNIA

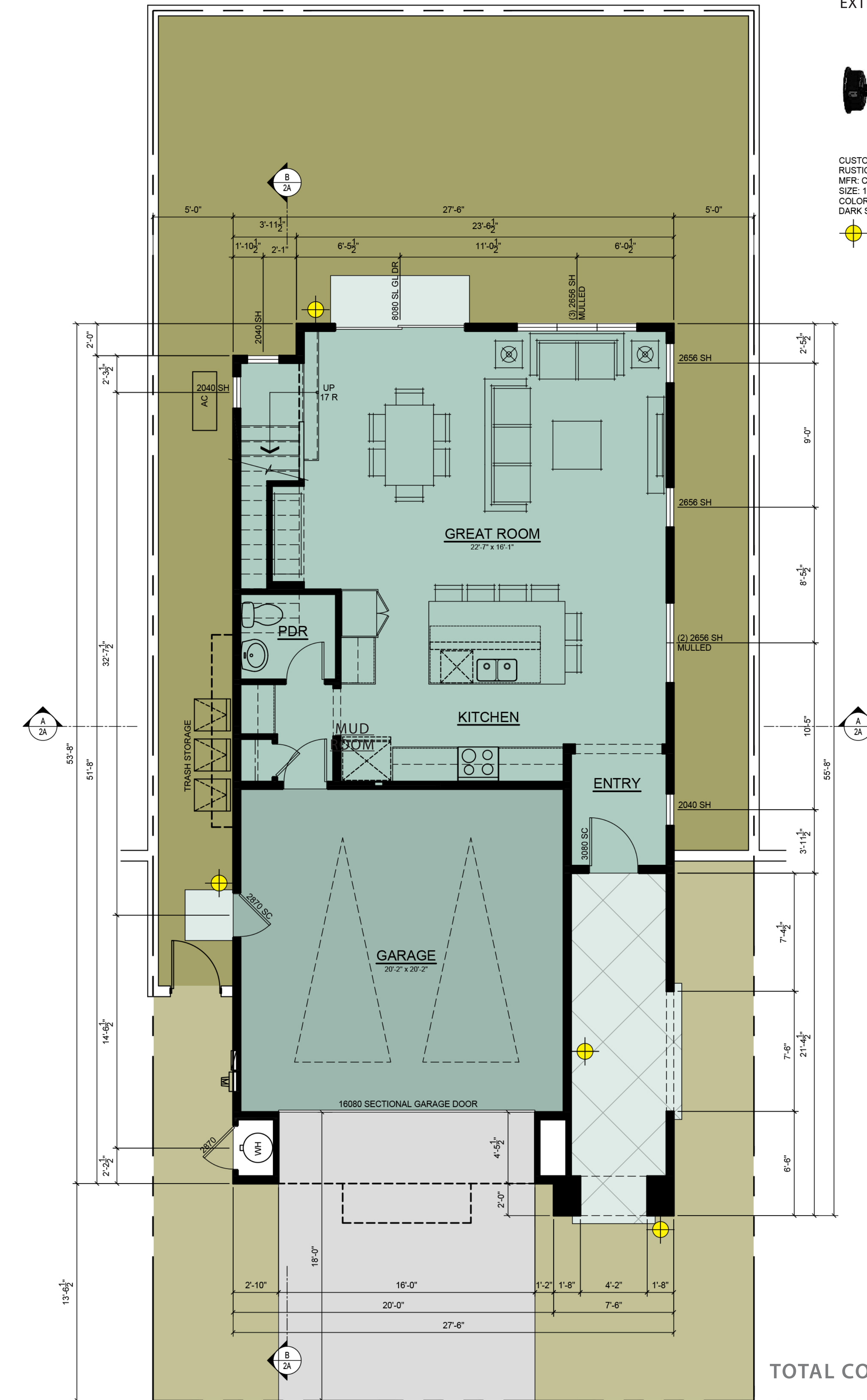
STREETSCENE
PLAN 1



SANCERRA

22029.01 04/21/23

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EXTERIOR LIGHT FIXTURE:



CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCCOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES
● = LOCATION OF LIGHT FIXTURE

4 BEDROOM, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

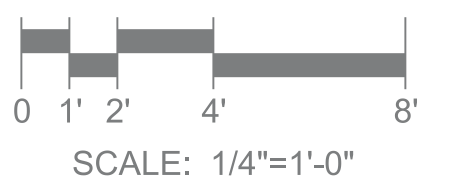
1st FLOOR = 827 sf
2nd FLOOR = 1,375 sf
TOTAL = 2,202 sf
GARAGE = 444 sf
TOTAL CONSTRUCTION AREA = 2,646 sf

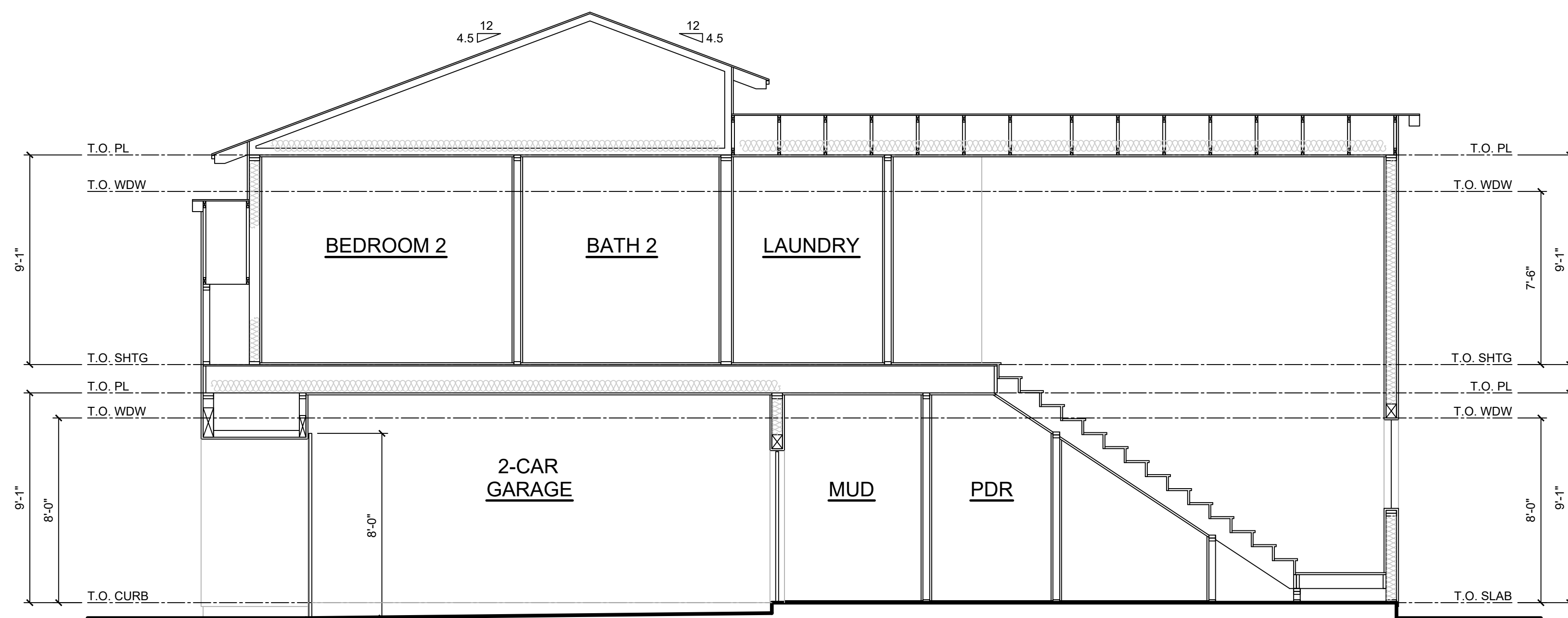
SECOND FLOOR
1,375 SF

FIRST FLOOR
827 SF

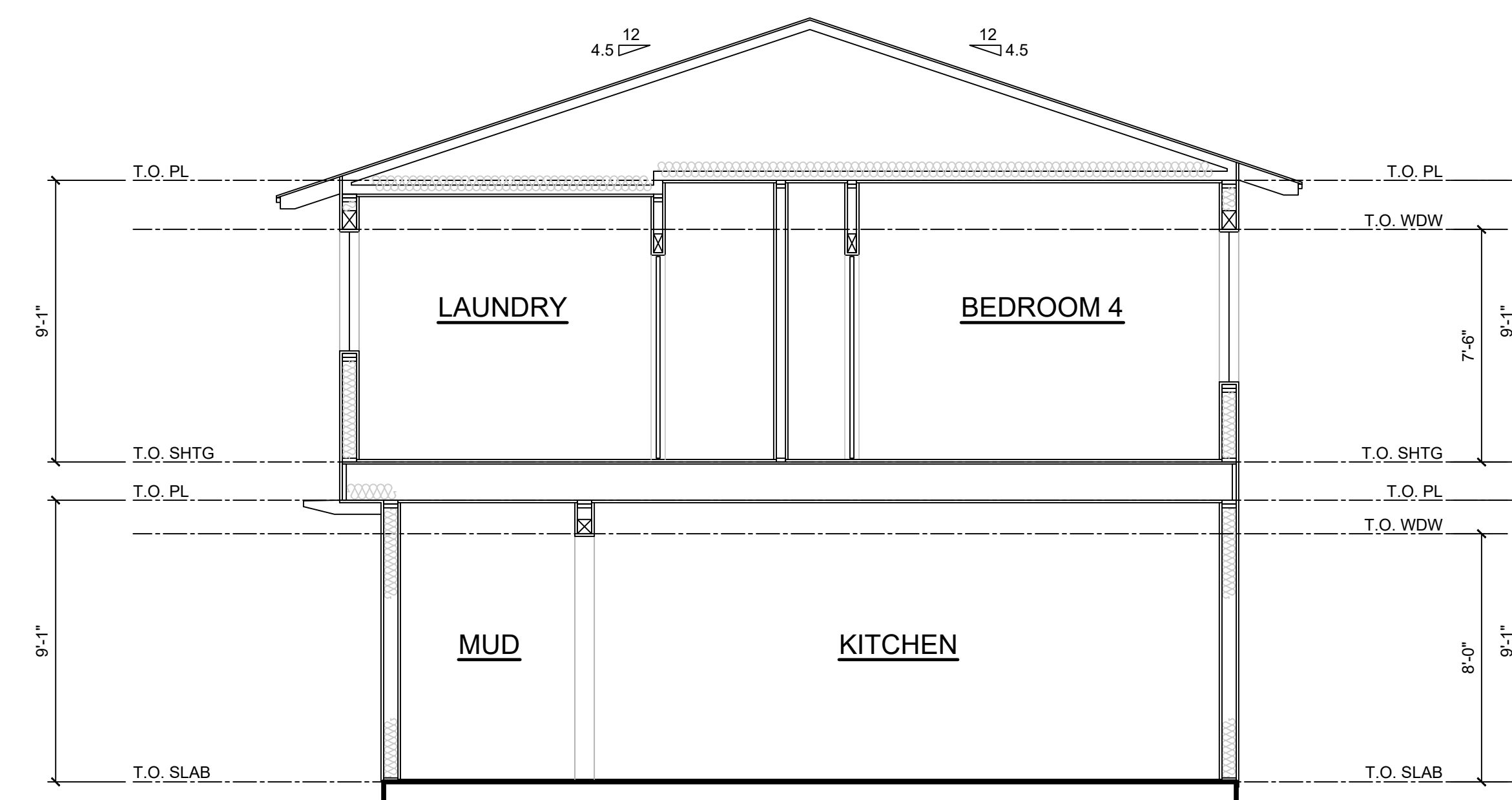
City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,499sf

FLOOR PLAN
PLAN 2A - 2,202 SF





SECTION B



SECTION A



LEFT



FRONT



RIGHT

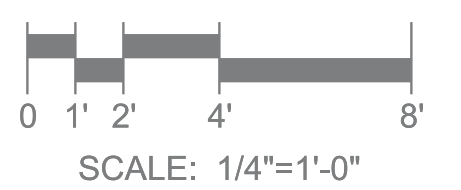


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

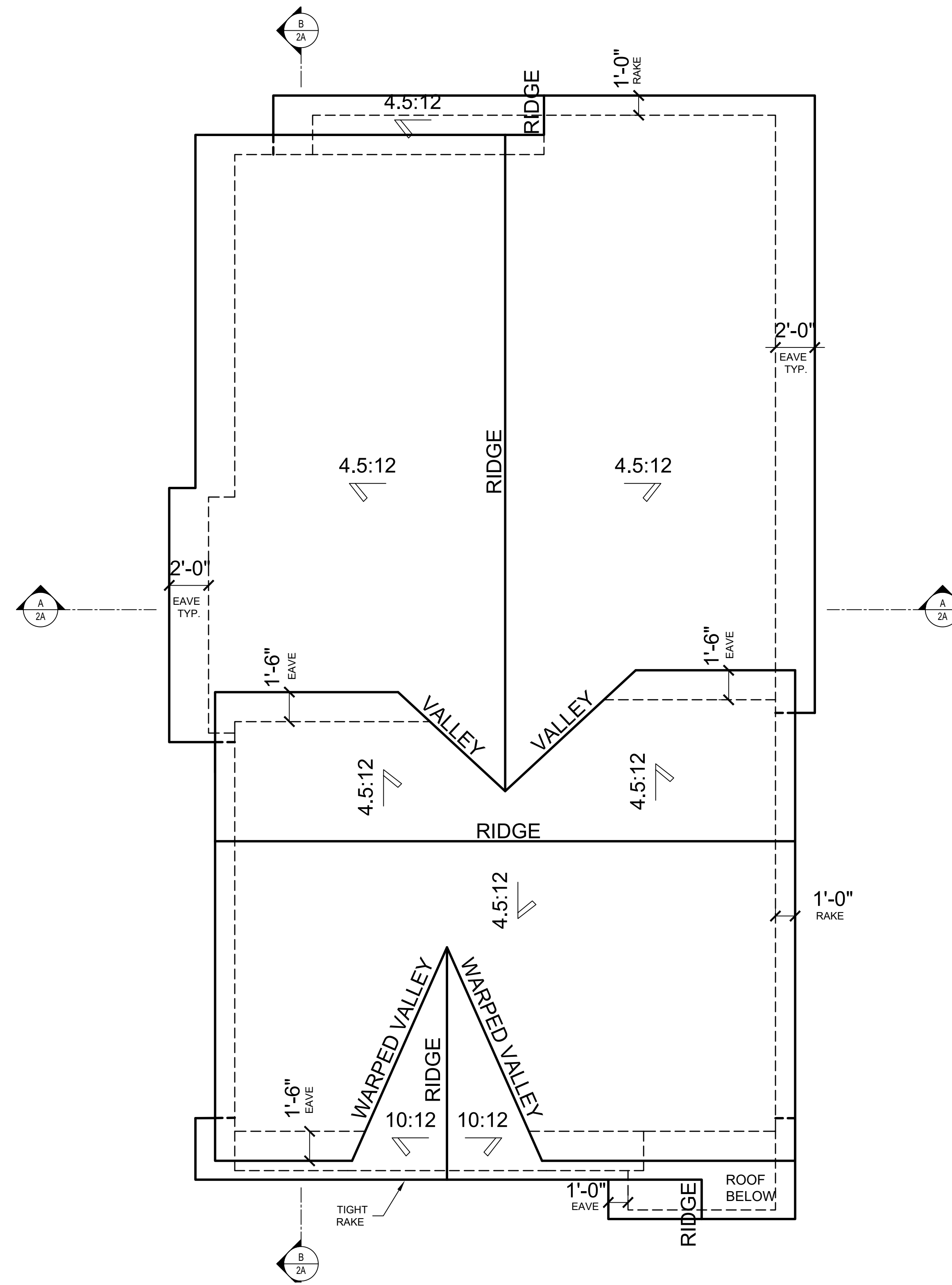
ELEVATIONS
PLAN 2A - FARMHOUSE

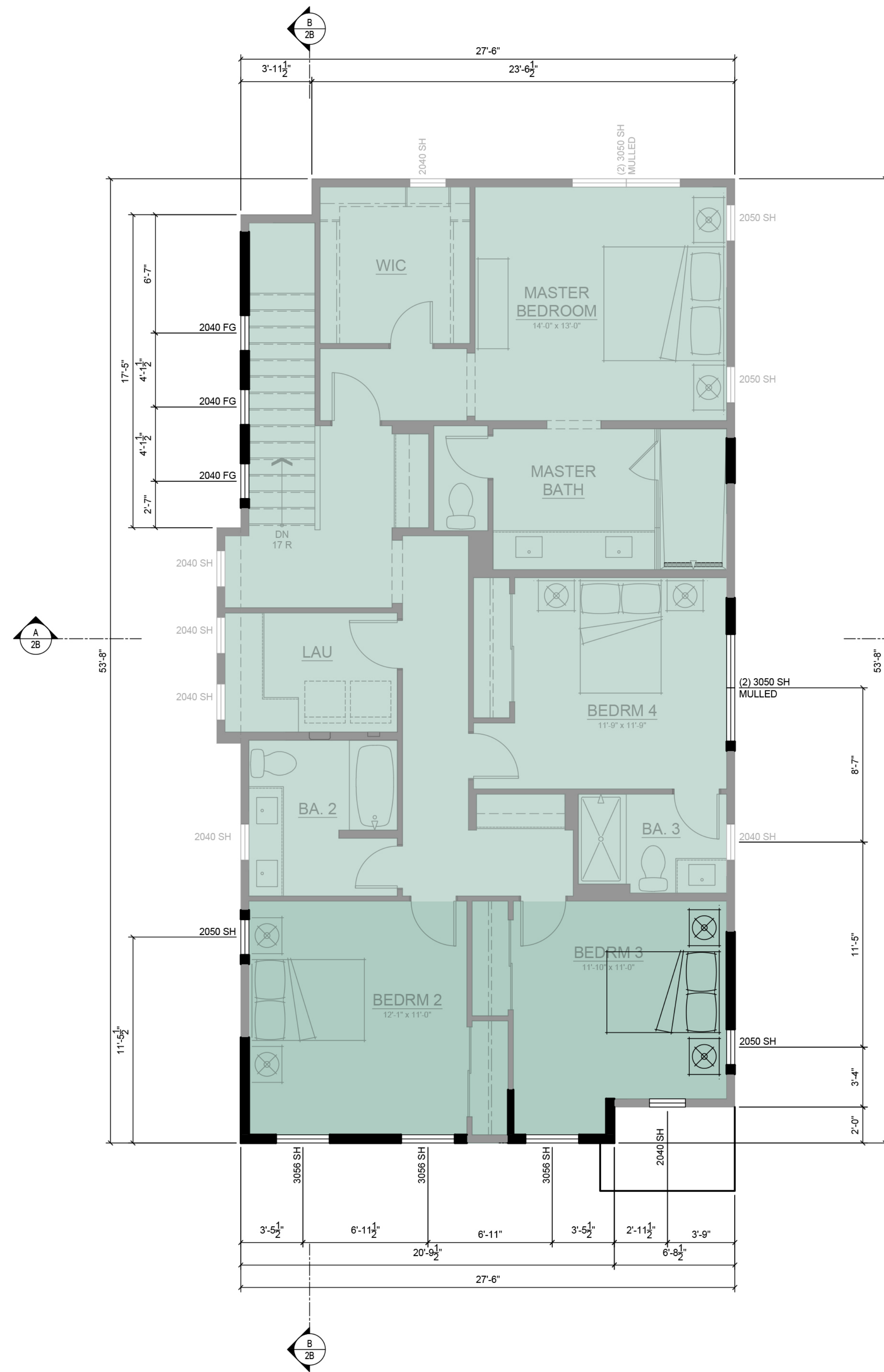


SANCERRA

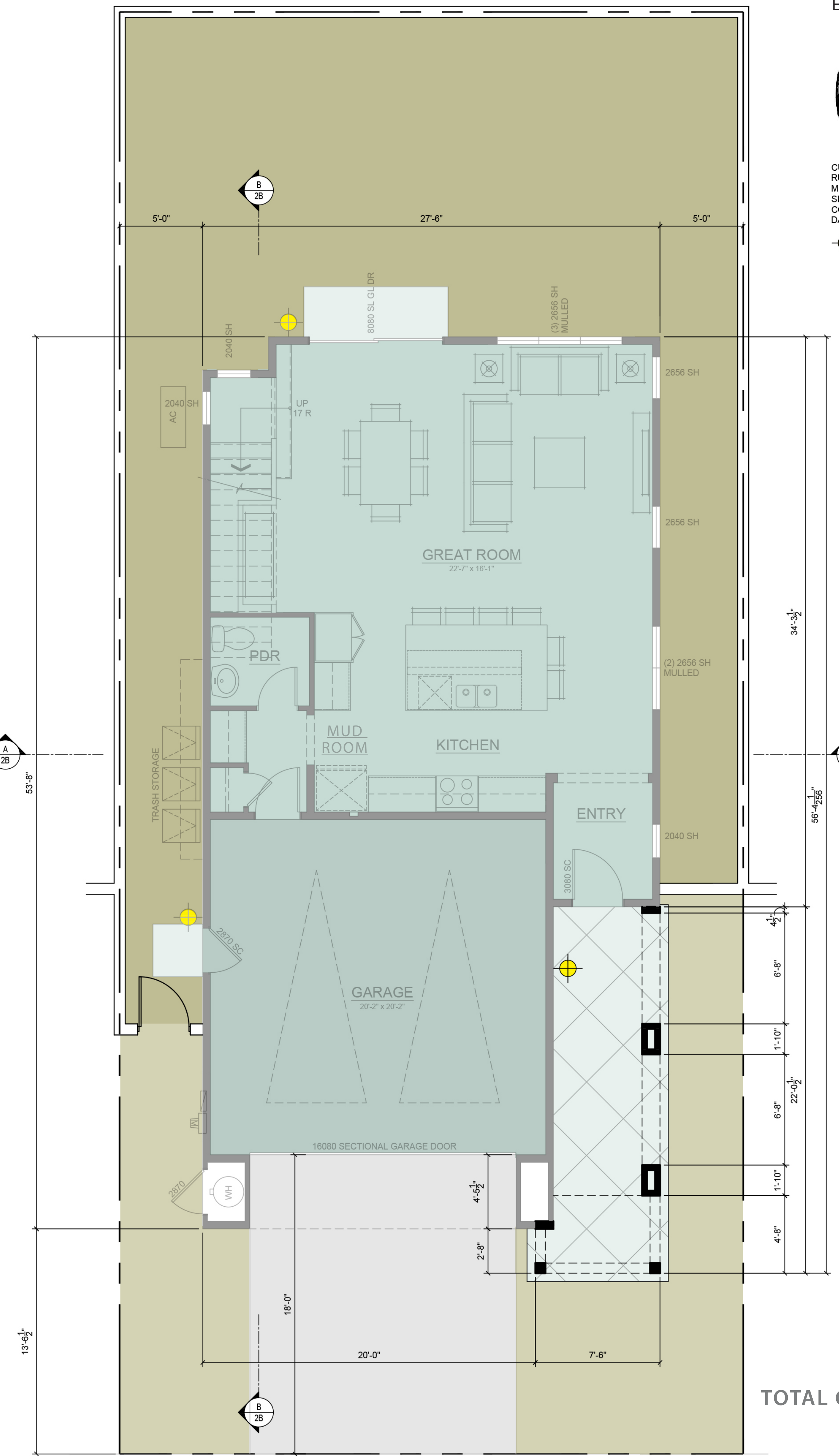
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SECOND FLOOR
1,399 SF



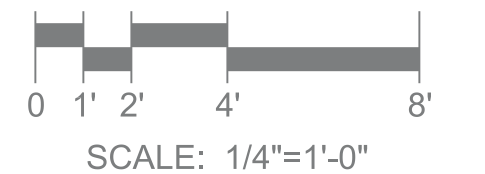
FIRST FLOOR
827 SF



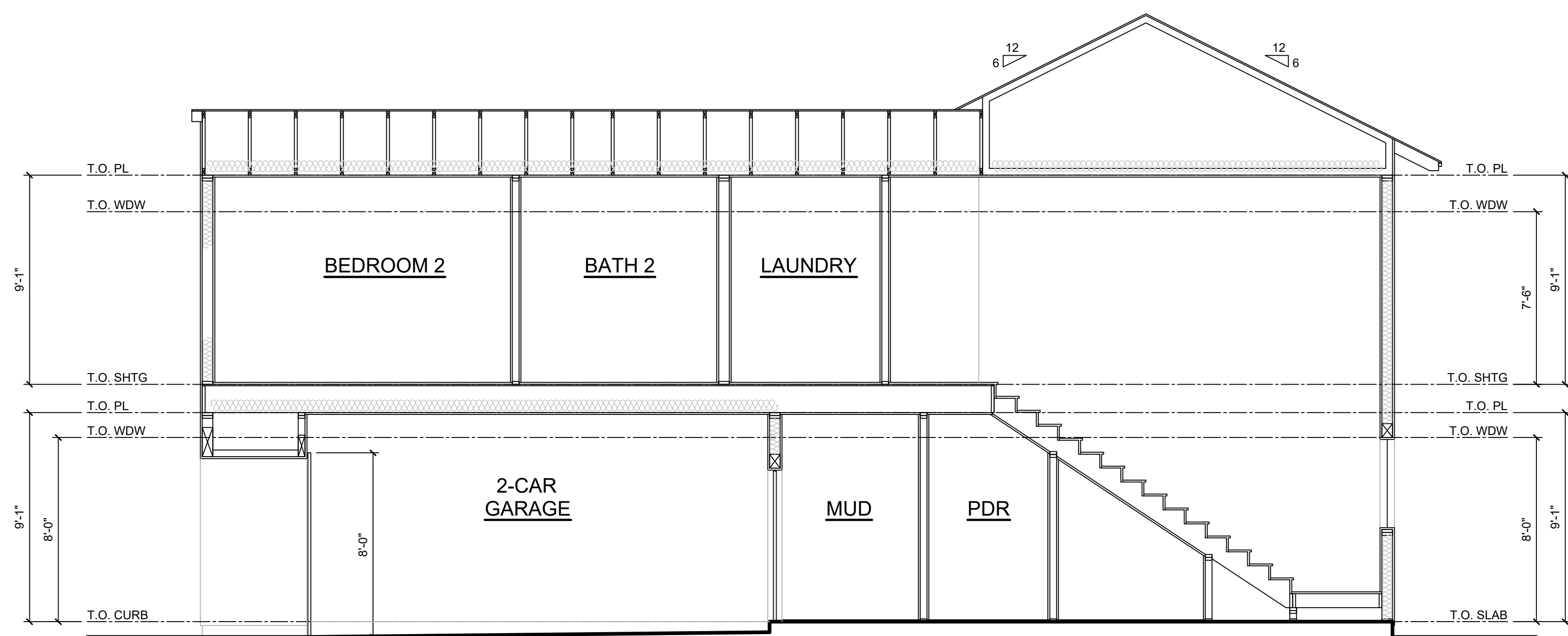
4 BEDROOM, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

1st FLOOR = 827 sf
2nd FLOOR = 1,399 sf
TOTAL = 2,226 sf
GARAGE = 444 sf
TOTAL CONSTRUCTION AREA = 2,670 sf

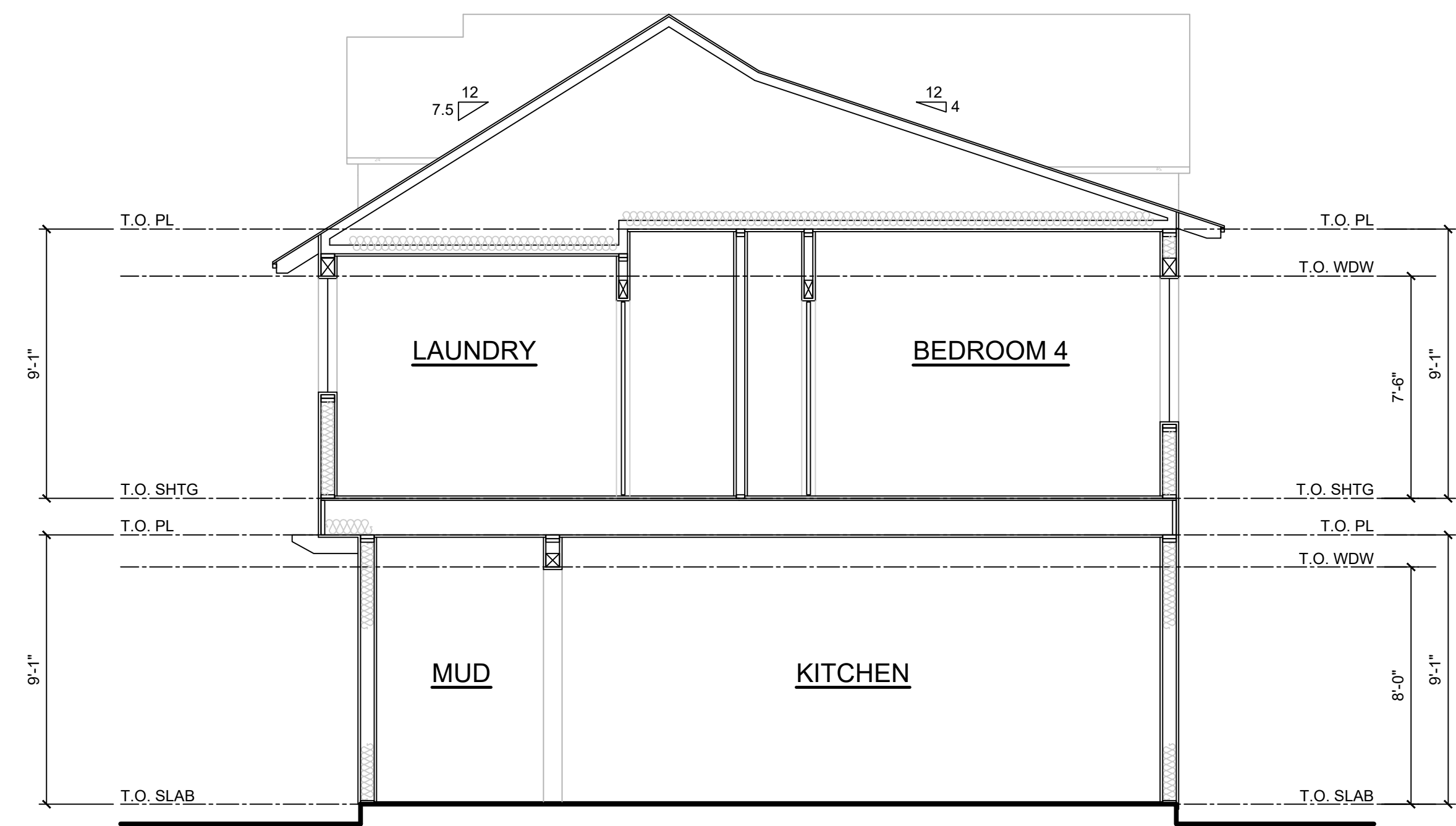
FLOOR PLAN
PLAN 2B - 2,226 SF



City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,499sf



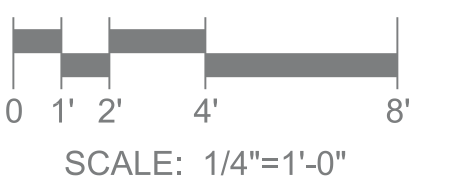
SECTION B



SECTION A

VISTA COVE
VALLEJO, CALIFORNIA

SECTIONS
PLAN 2B



SANCERRA

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LEFT



FRONT



RIGHT

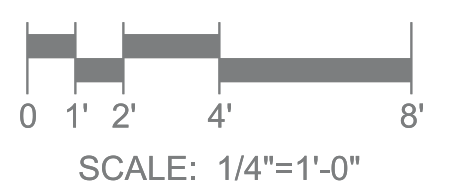


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

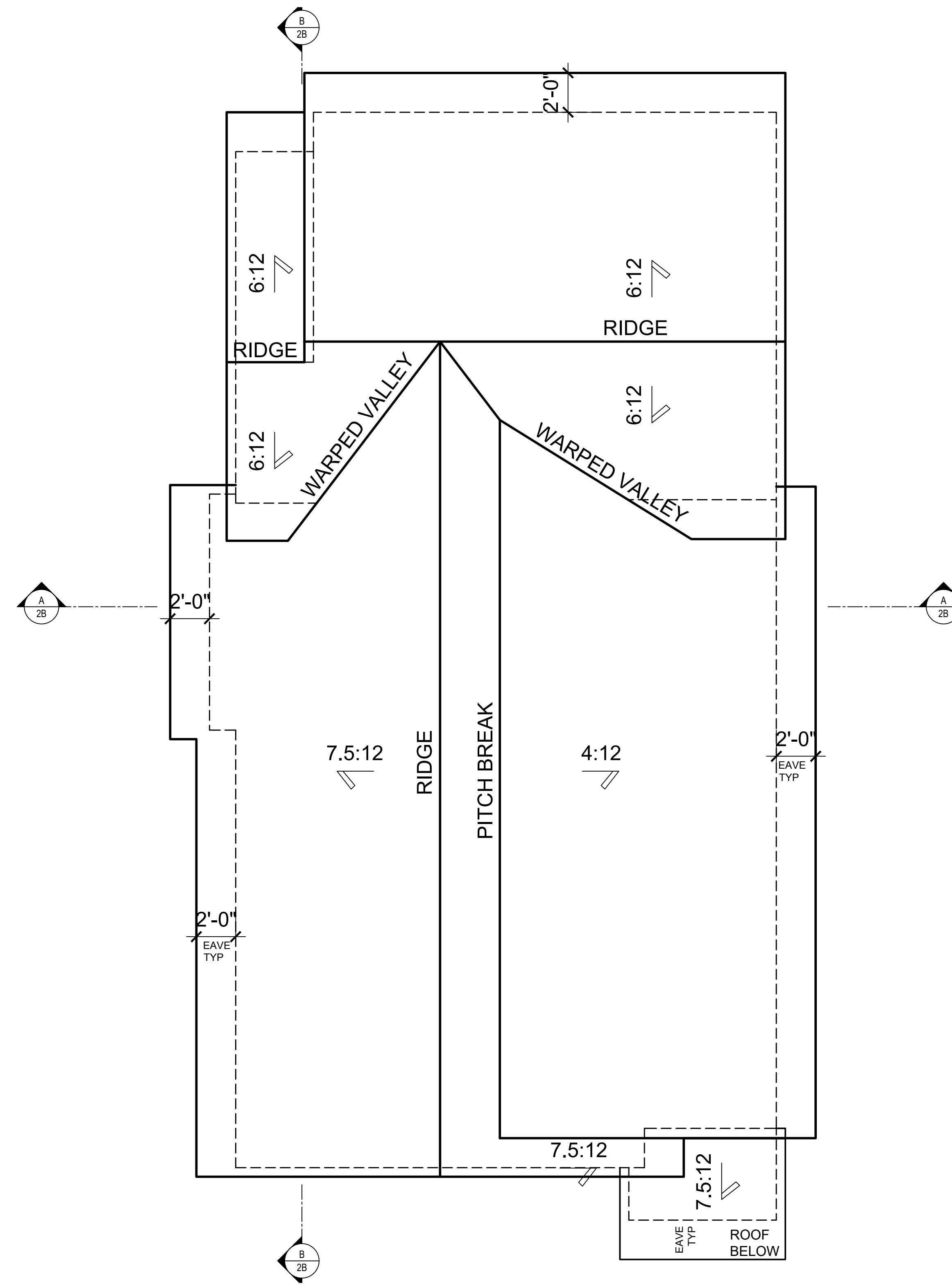
ELEVATIONS
PLAN 2B - FARMHOUSE

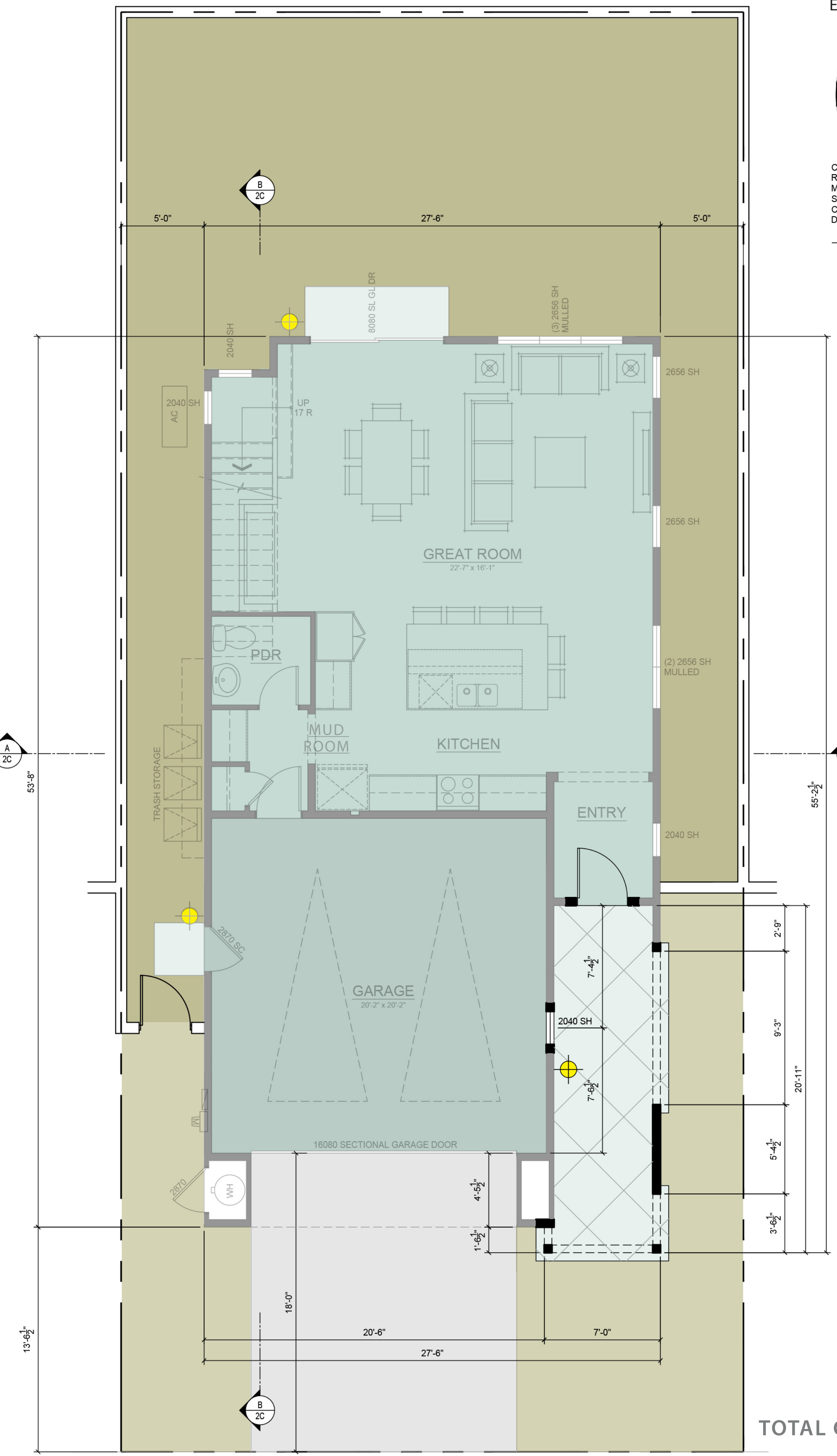
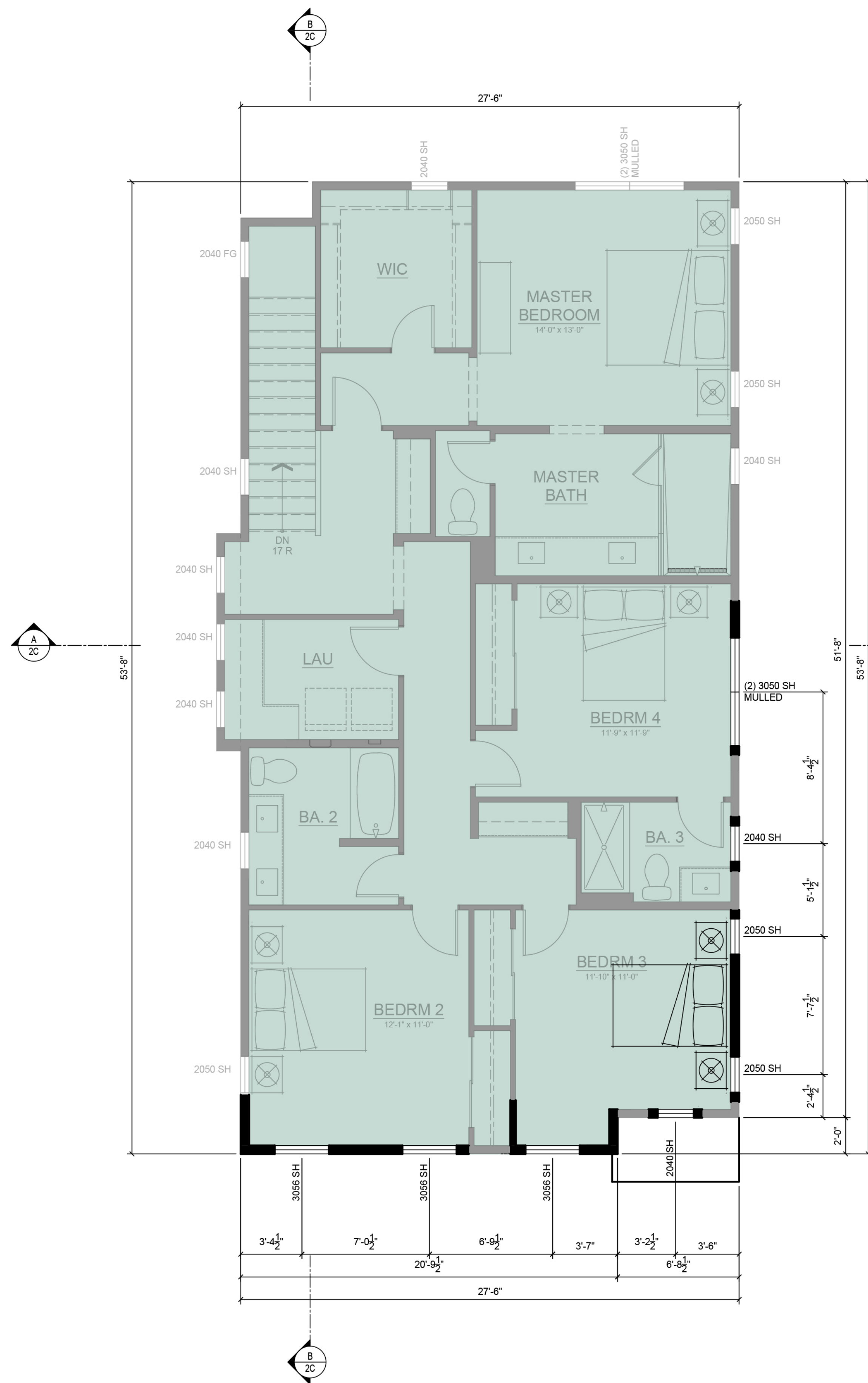


SANCERRA

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EXTERIOR LIGHT FIXTURE:

 CUSTOMIZABLE CALLA LED BARN LIGHT w/
 RUSTIC STYLE STEM
 MFR: COCOWEB
 SIZE: 12"
 COLOR: MATTE BLACK
 DARK SKY COMPLIANT: YES
 = LOCATION OF LIGHT FIXTURE

4 BEDROOM, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

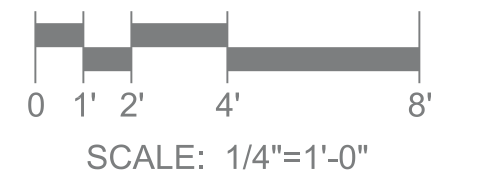
1st FLOOR = 827 sf
 2nd FLOOR = 1,399 sf
 TOTAL = 2,226 sf
 GARAGE = 444 sf
 TOTAL CONSTRUCTION AREA = 2,670 sf

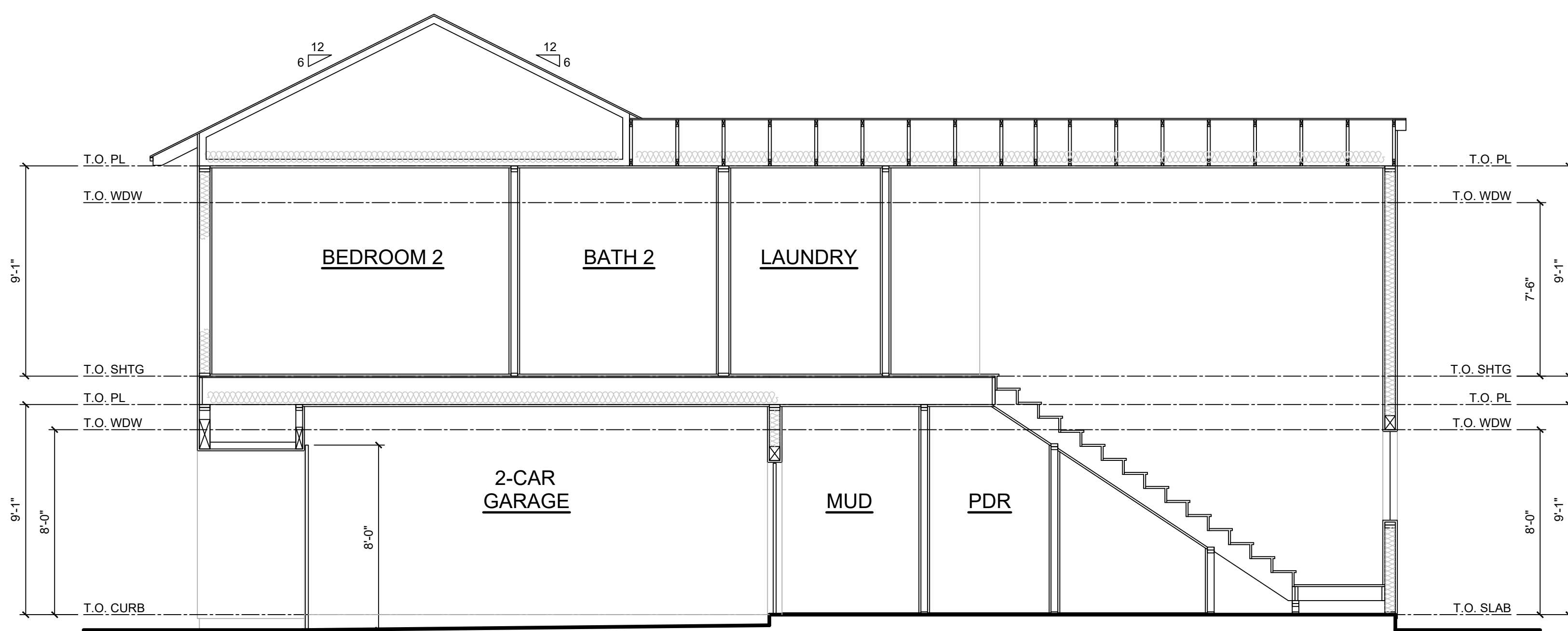
SECOND FLOOR
1,399 SF

FIRST FLOOR
827 SF

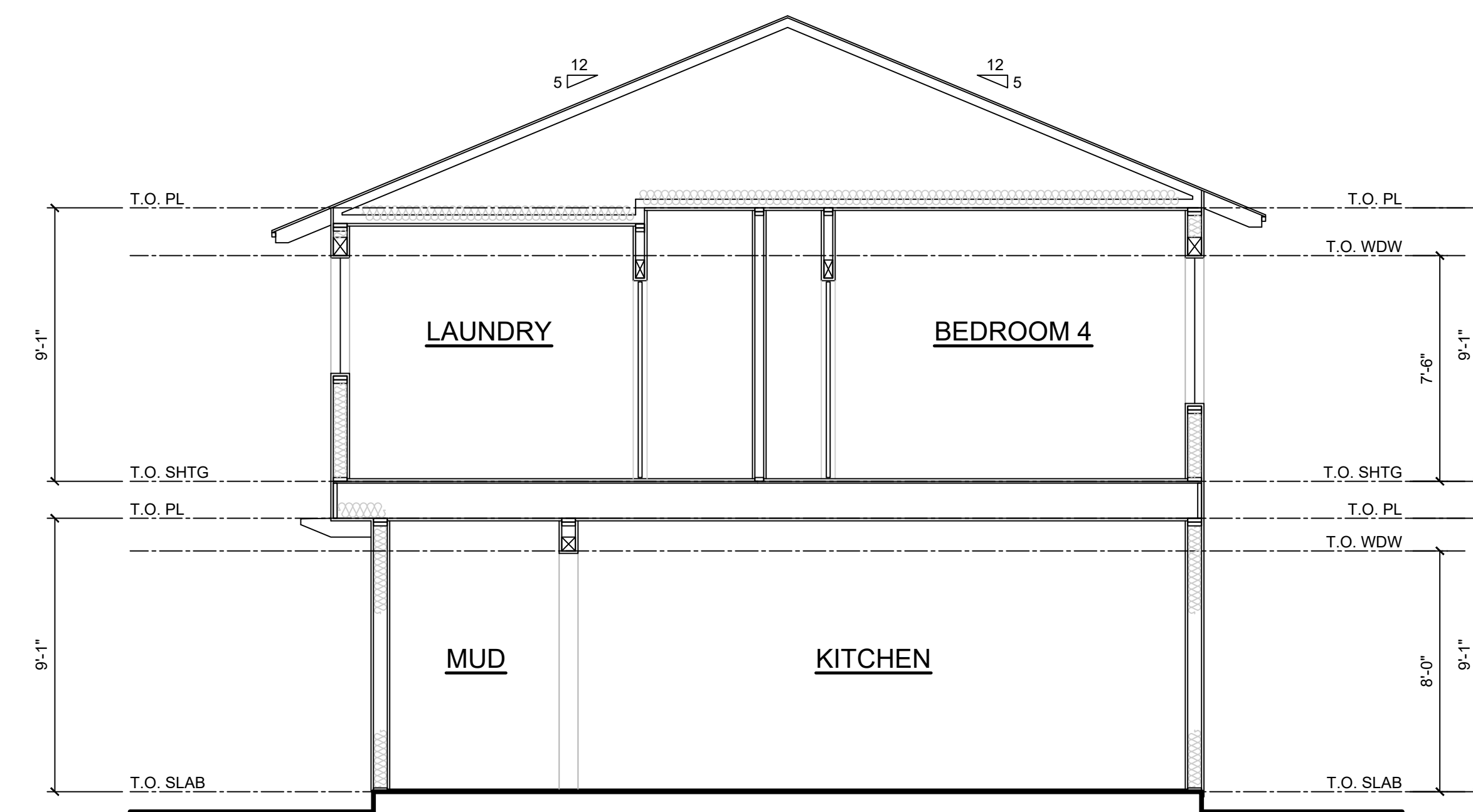
City of Vallejo Zoning Code
 Floor Area Calculation per 16.104
TOTAL = 2,499sf

FLOOR PLAN
 PLAN 2C - 2,226 SF





SECTION B



SECTION A



LEFT



FRONT



RIGHT

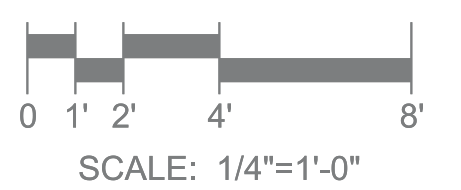


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

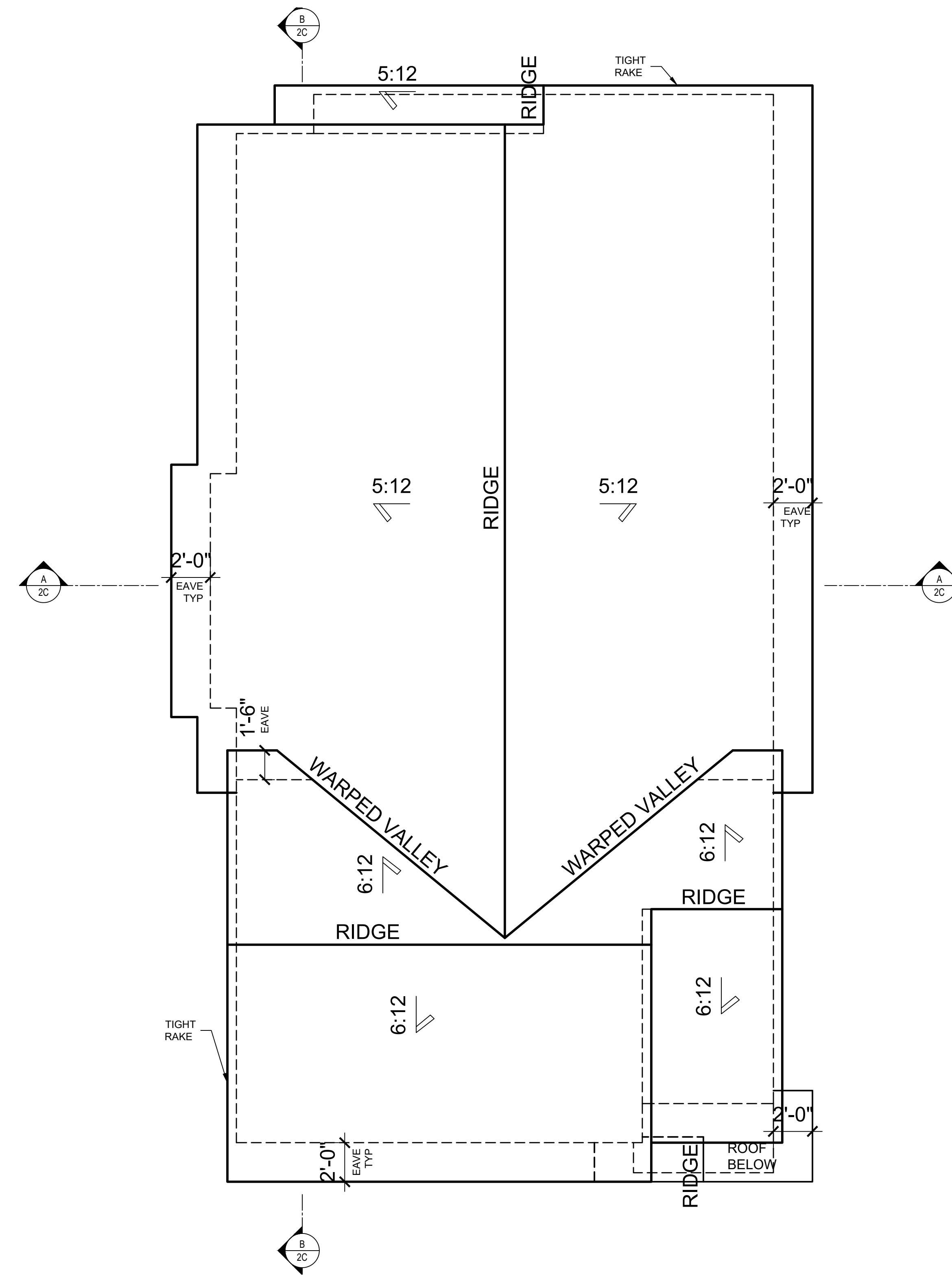
ELEVATIONS
PLAN 2C - FARMHOUSE



SANCERRA

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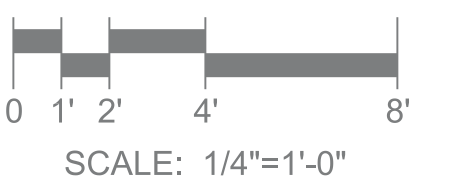
FARMHOUSE 'C'
COLOR SCHEME 6

FARMHOUSE 'B'
COLOR SCHEME 5

FARMHOUSE 'A'
COLOR SCHEME 4

VISTA COVE
VALLEJO, CALIFORNIA

STREETSCENE
PLAN 2



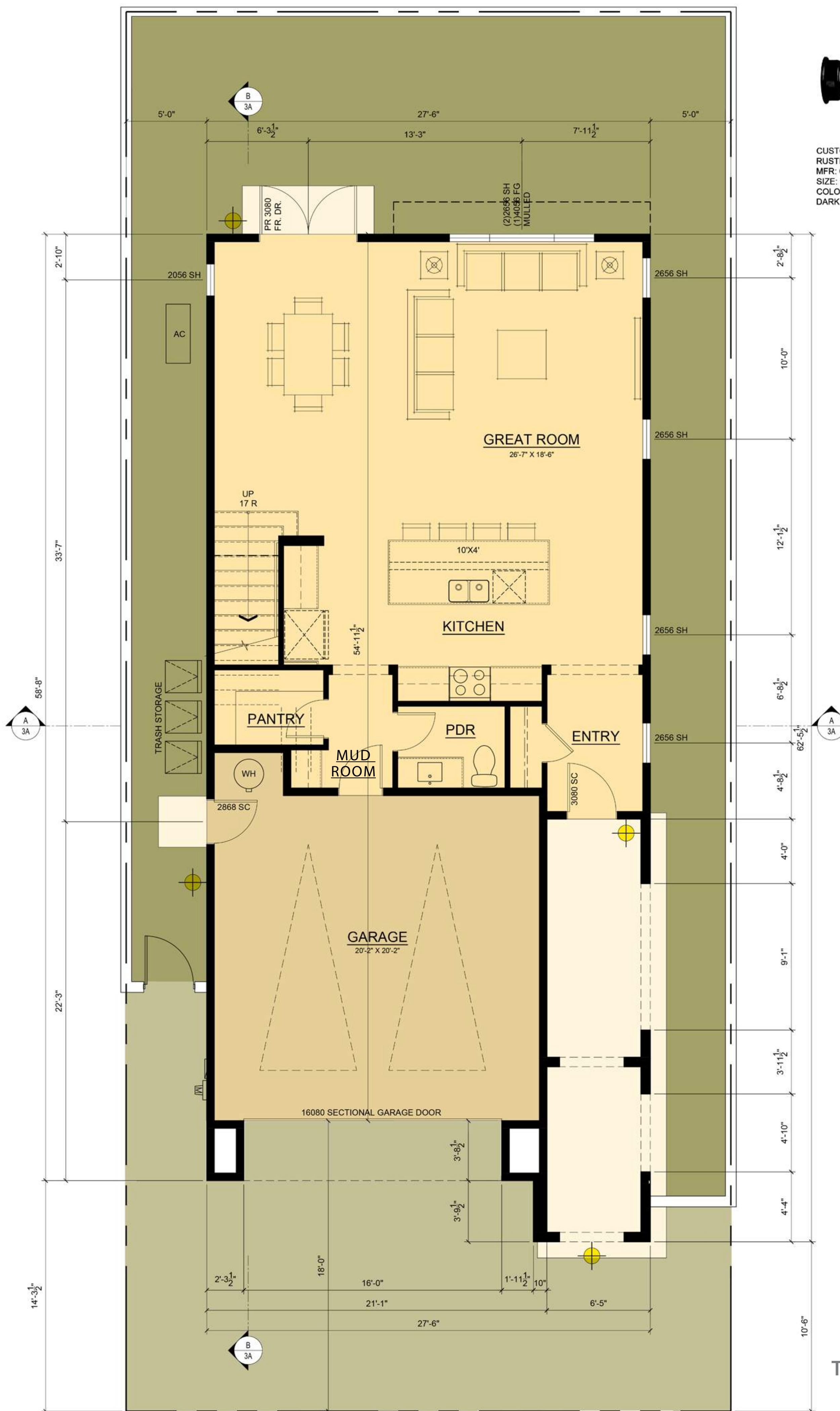
SANCERRA

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SECOND FLOOR
1,540 SF



FIRST FLOOR
954 SF

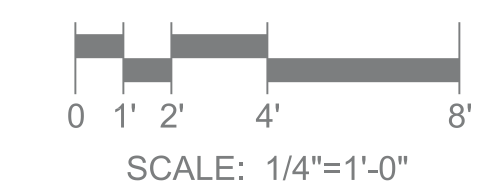
EXTERIOR LIGHT FIXTURE:

CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES

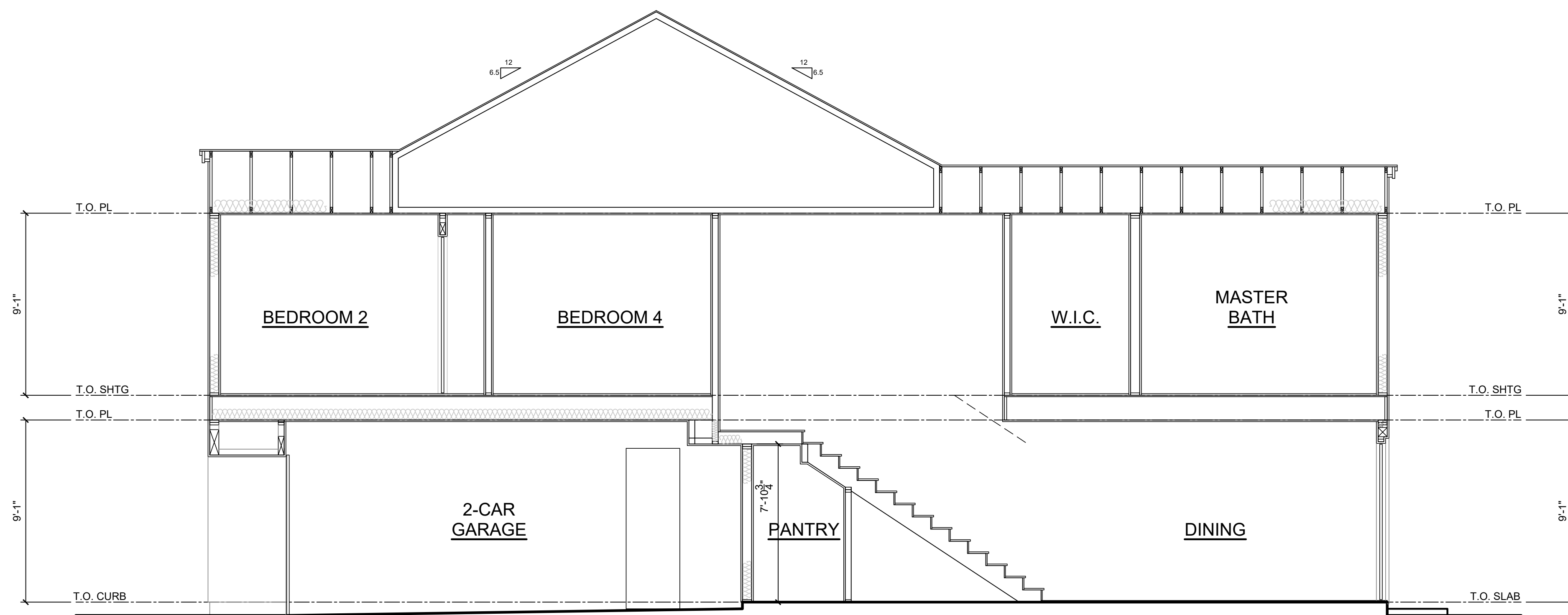
4 BED+LOFT, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

1st FLOOR = 954 sf
2nd FLOOR = 1,540 sf
TOTAL = 2,494 sf
GARAGE = 447 sf
TOTAL CONSTRUCTION AREA = 2,941 sf

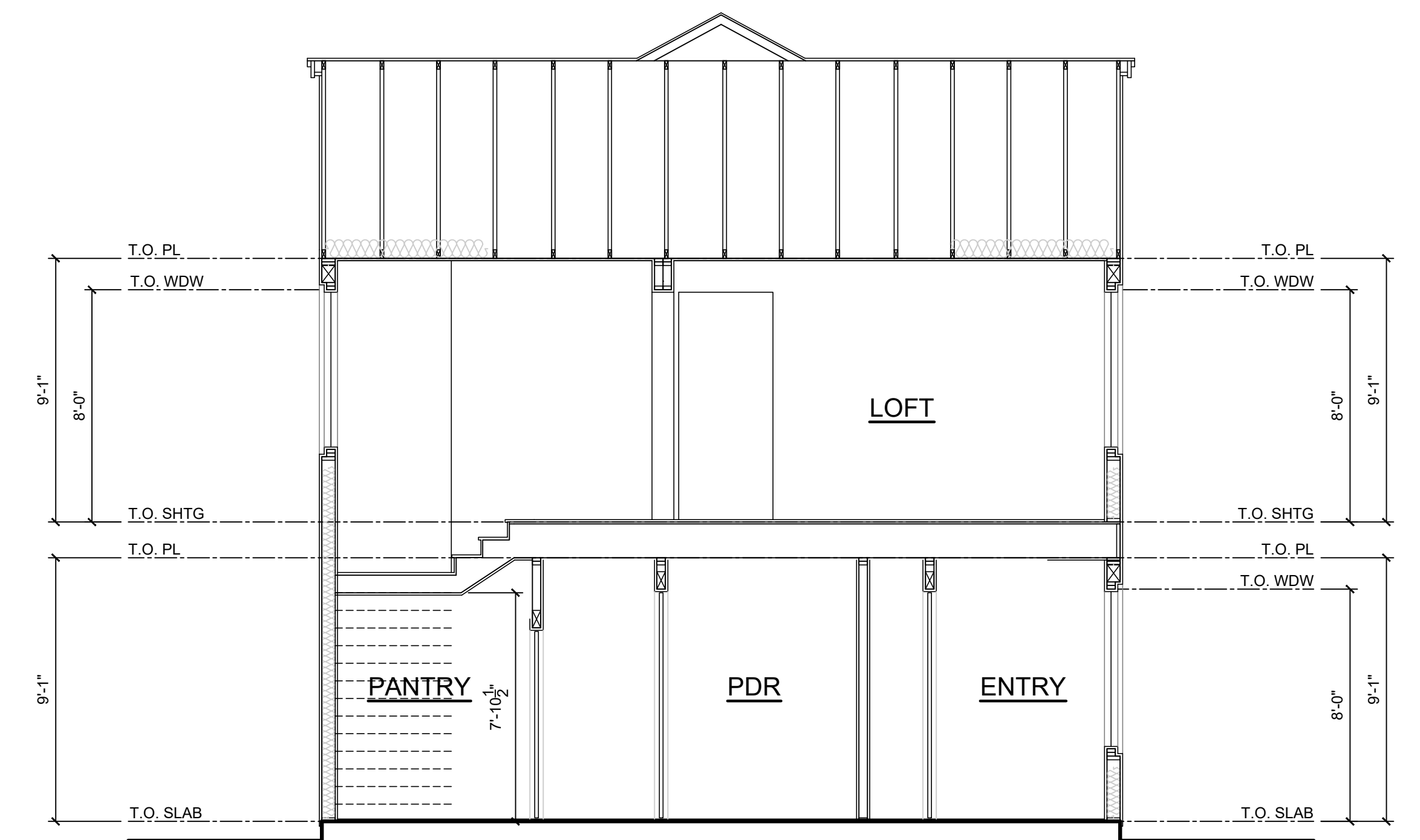
FLOOR PLAN
PLAN 3A - 2,494 SF



City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,792 sf



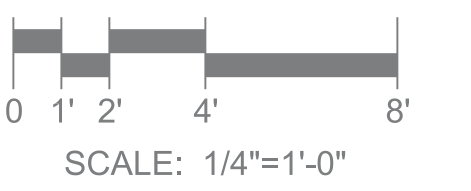
SECTION B



SECTION A

VISTA COVE
VALLEJO, CALIFORNIA

SECTIONS
PLAN 3A



SANCERRA

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LEFT



FRONT



RIGHT

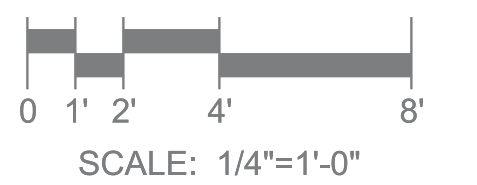


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

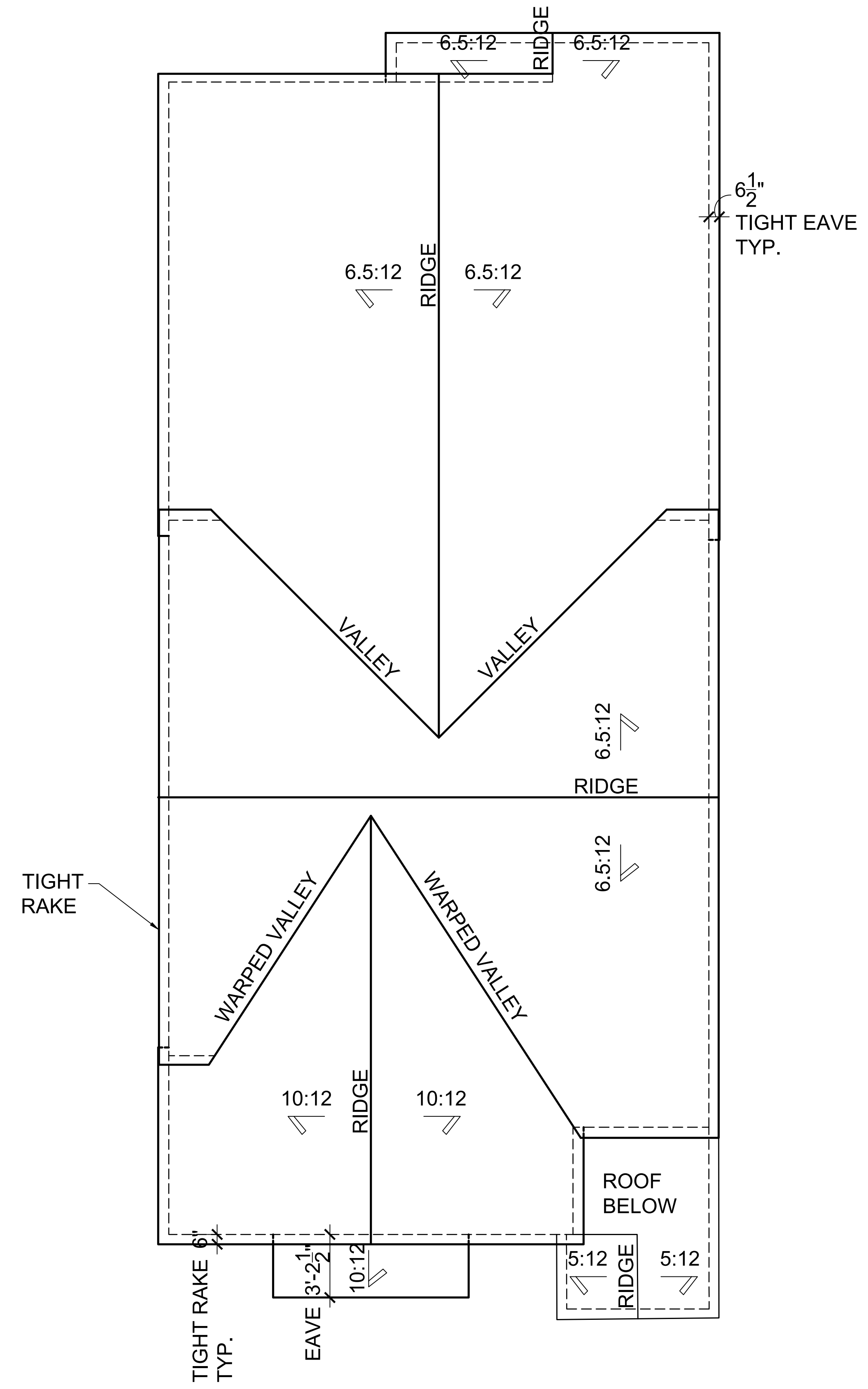
ELEVATIONS
PLAN 3A - FARMHOUSE



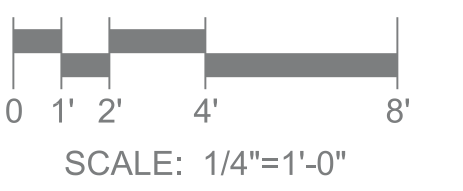
SANCERRA

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ROOF PLAN
PLAN 3A

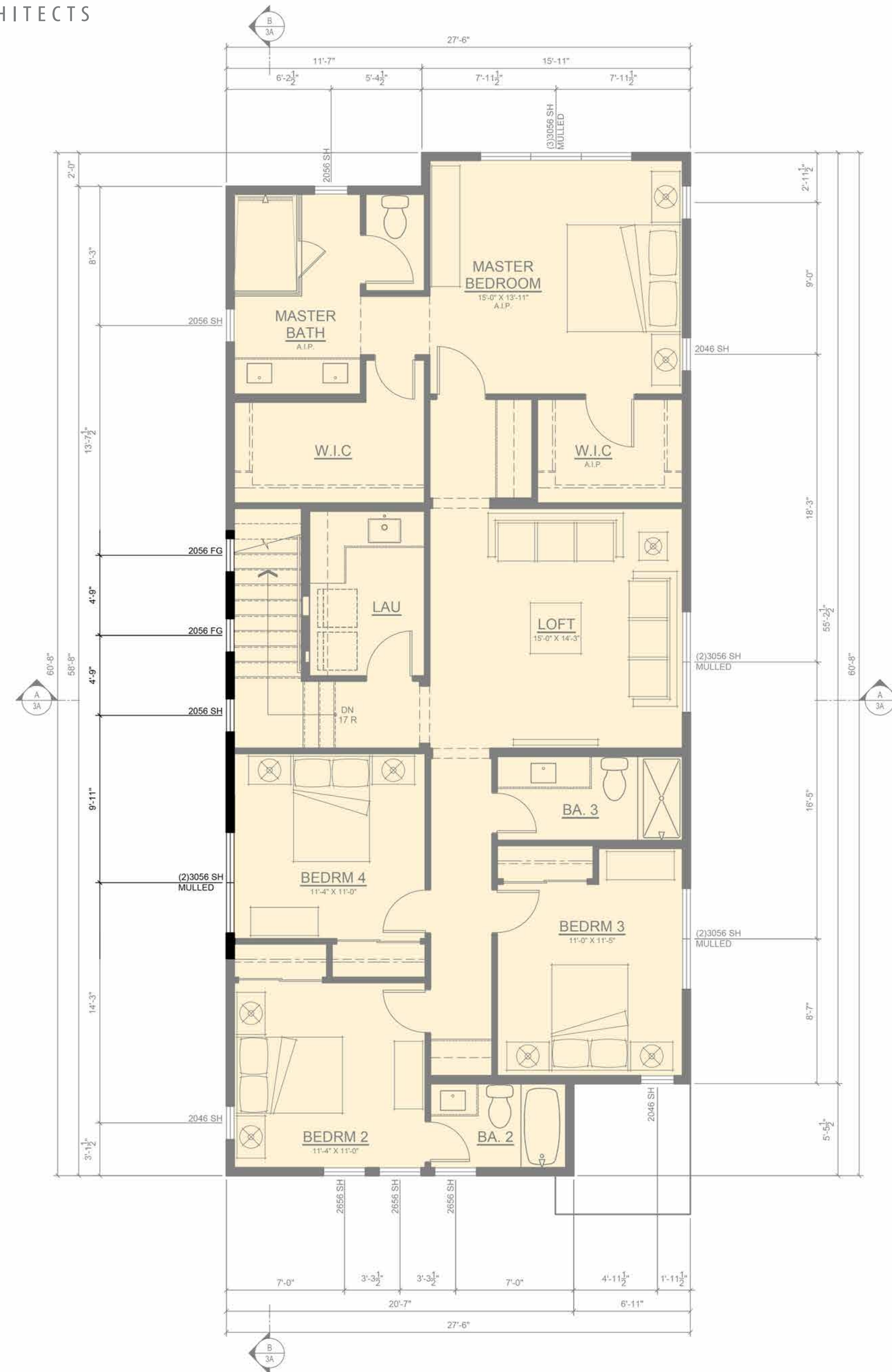


VISTA COVE
VALLEJO, CALIFORNIA

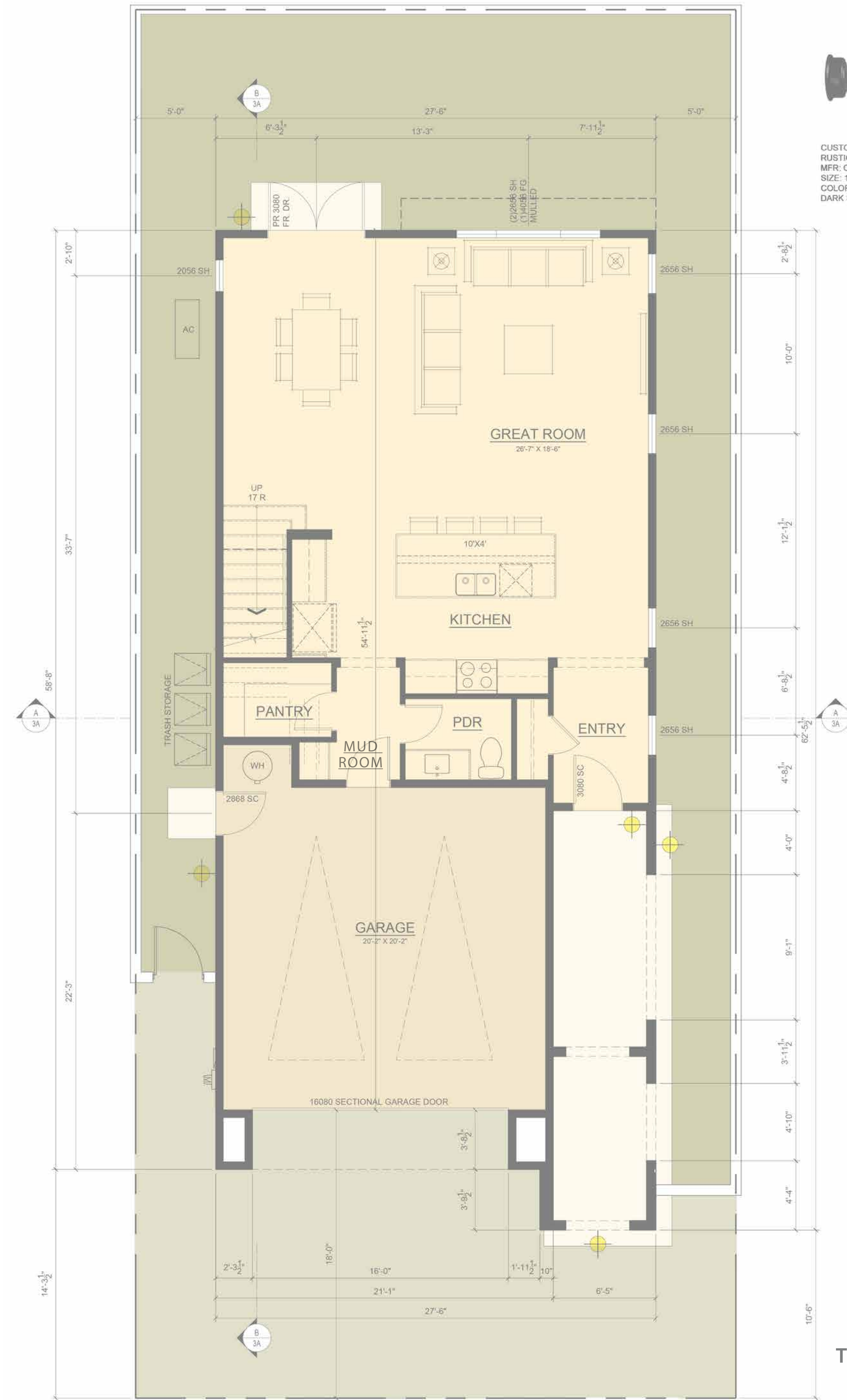
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SECOND FLOOR
1,540 SF



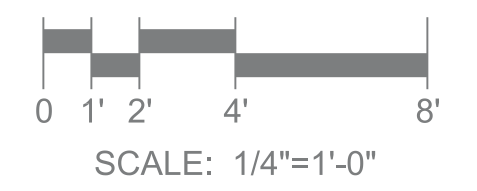
FIRST FLOOR
954 SF



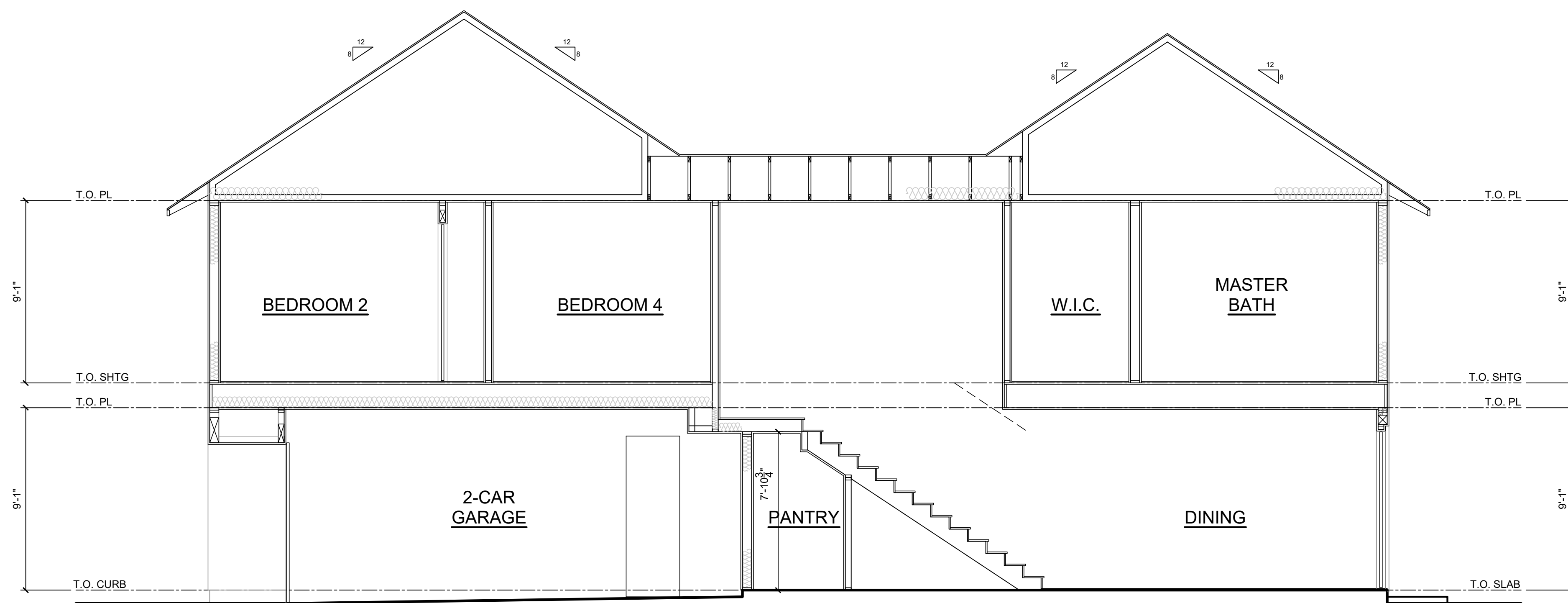
4 BED+LOFT, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

1st FLOOR = 954 sf
2nd FLOOR = 1,540 sf
TOTAL = 2,494 sf
GARAGE = 447 sf
TOTAL CONSTRUCTION AREA = 2,941 sf

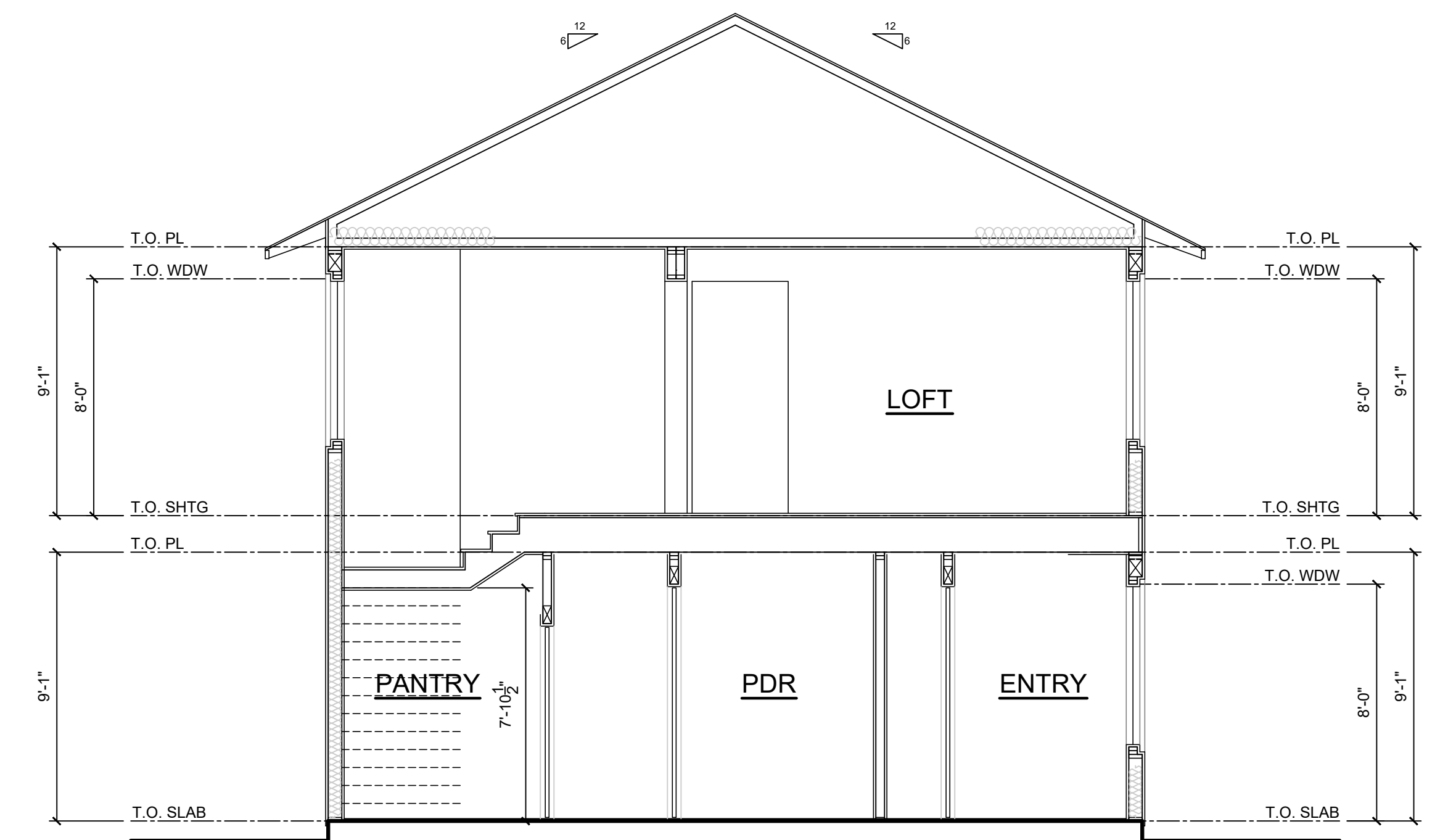
FLOOR PLAN
PLAN 3B - 2,494 SF



City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,792 sf



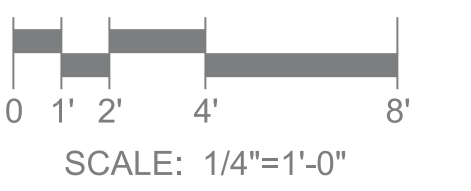
SECTION B



SECTION A

VISTA COVE
VALLEJO, CALIFORNIA

SECTIONS
PLAN 3B



SANCERRA

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A-33



LEFT



FRONT



RIGHT

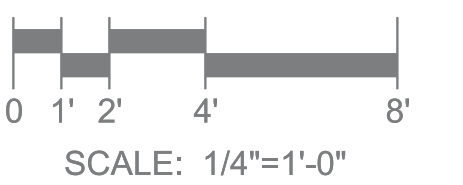


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

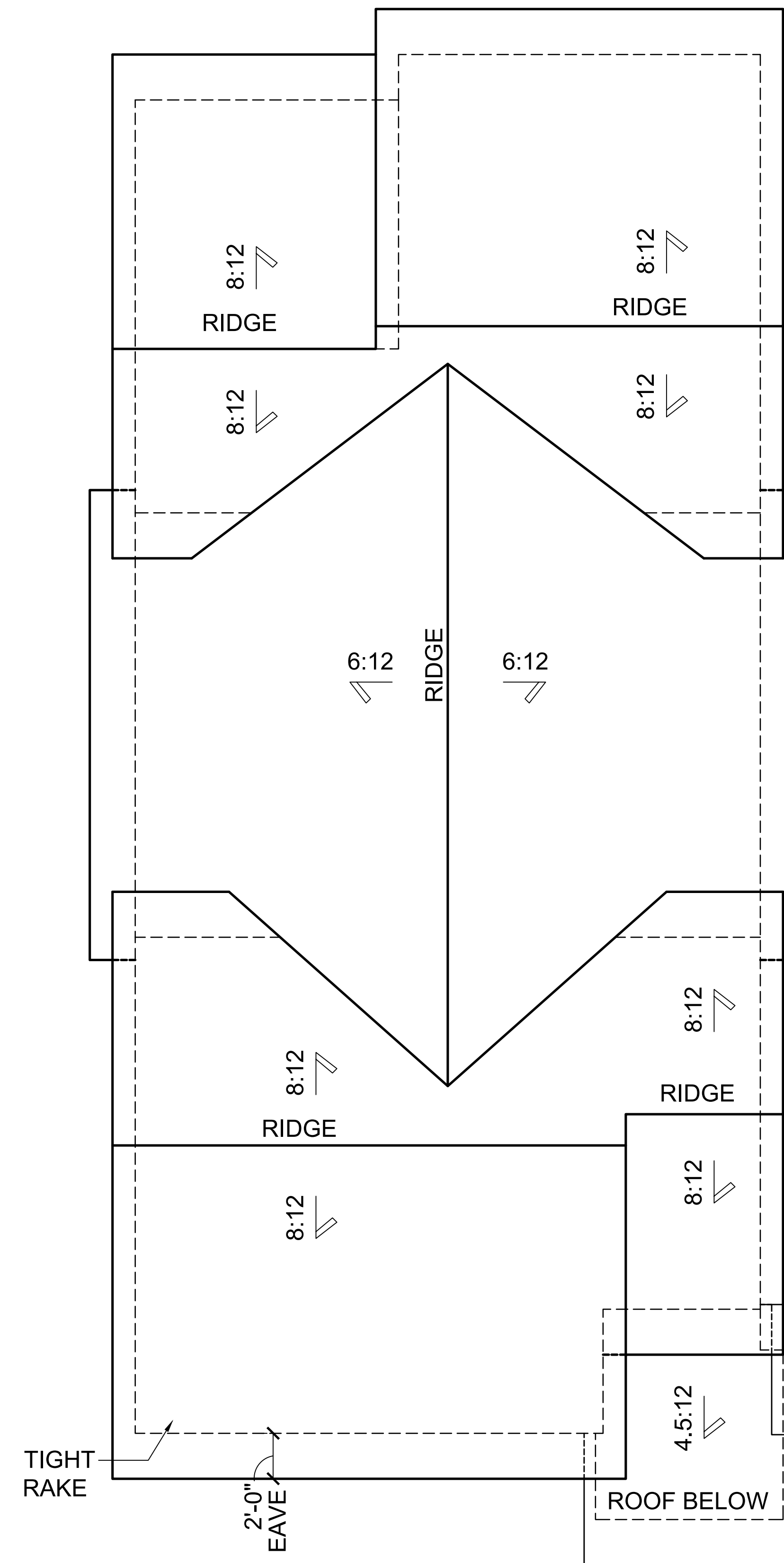
ELEVATIONS
PLAN 3B - FARMHOUSE



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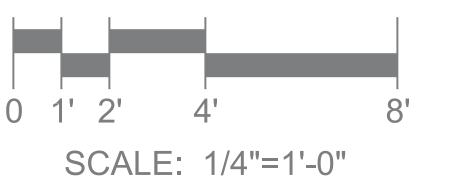


FARMHOUSE 'A'
COLOR SCHEME 1

FARMHOUSE 'B'
COLOR SCHEME 2

VISTA COVE
VALLEJO, CALIFORNIA

STREETSCENE
PLAN 3

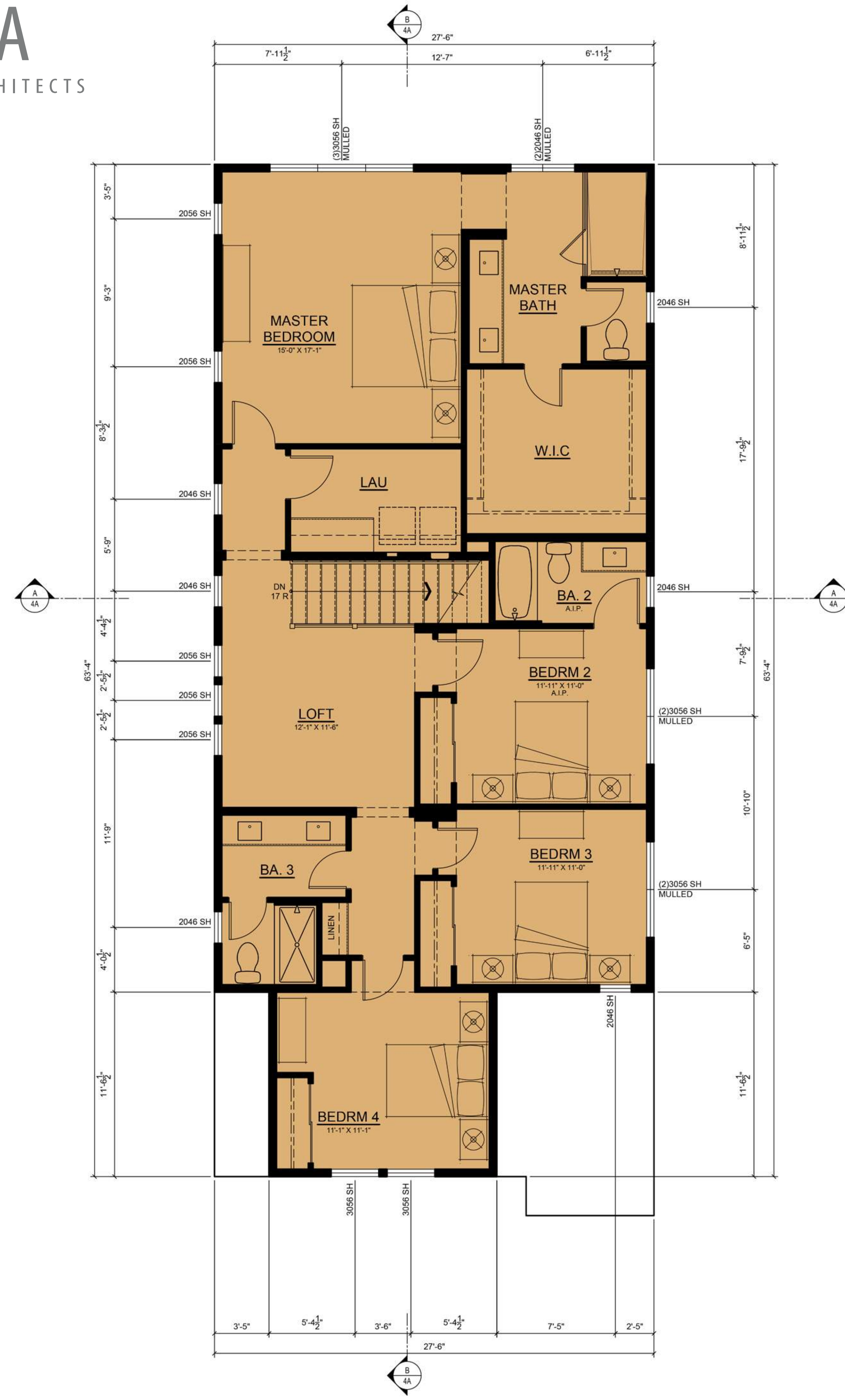


SCALE: 1/4"=1'-0"

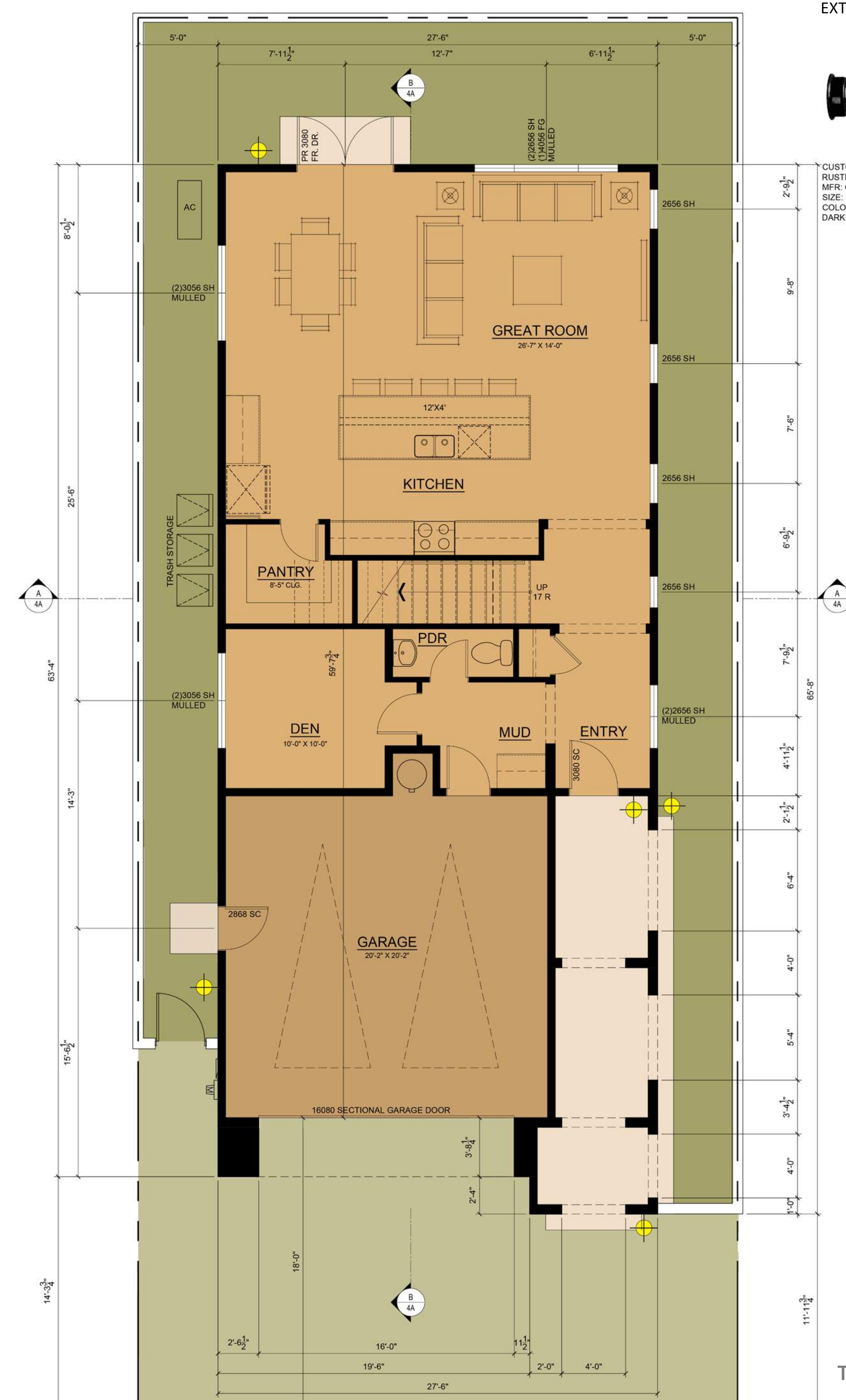
SANCERRA

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SECOND FLOOR
1,539 SF



FIRST FLOOR
1,079 SF

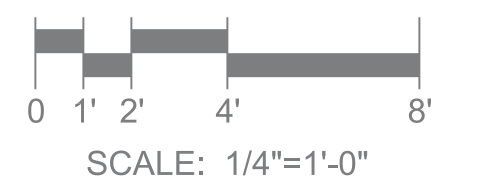


CUSTOMIZABLE CALLA LED BARN LIGHT w/
RUSTIC STYLE STEM
MFR: COCOWEB
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES

4 BED+LOFT, 3.5 BA
GREAT ROOM,
2-CAR GARAGE

1st FLOOR = 1,079 sf
2nd FLOOR = 1,539 sf
TOTAL = 2,618 sf
GARAGE = 441 sf
TOTAL CONSTRUCTION AREA = 3,059 sf

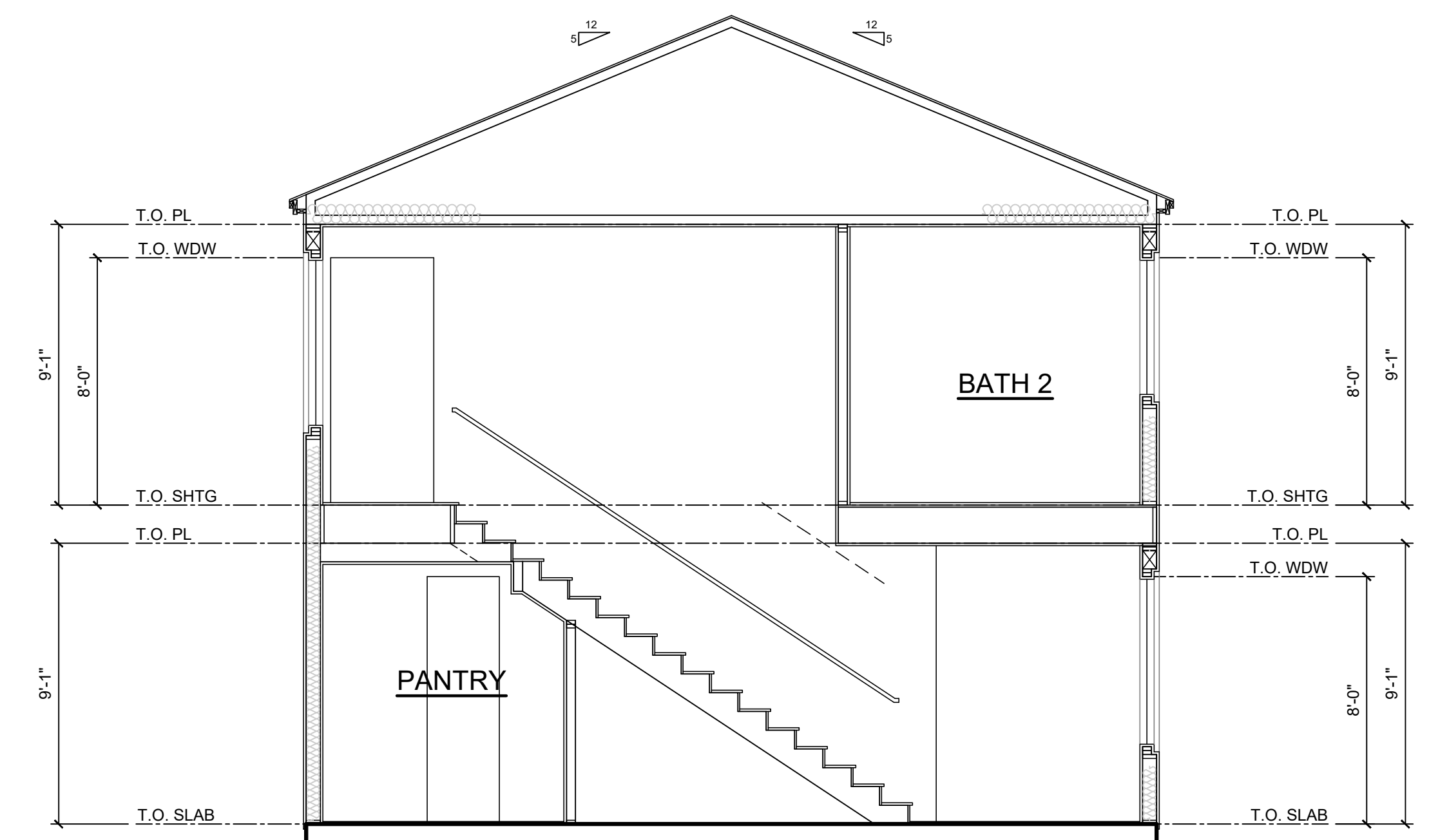
FLOOR PLAN
PLAN 4A - 3,059 SF



City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,898 sf



SECTION B



SECTION A



LEFT



FRONT



RIGHT

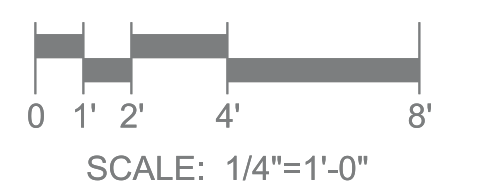


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

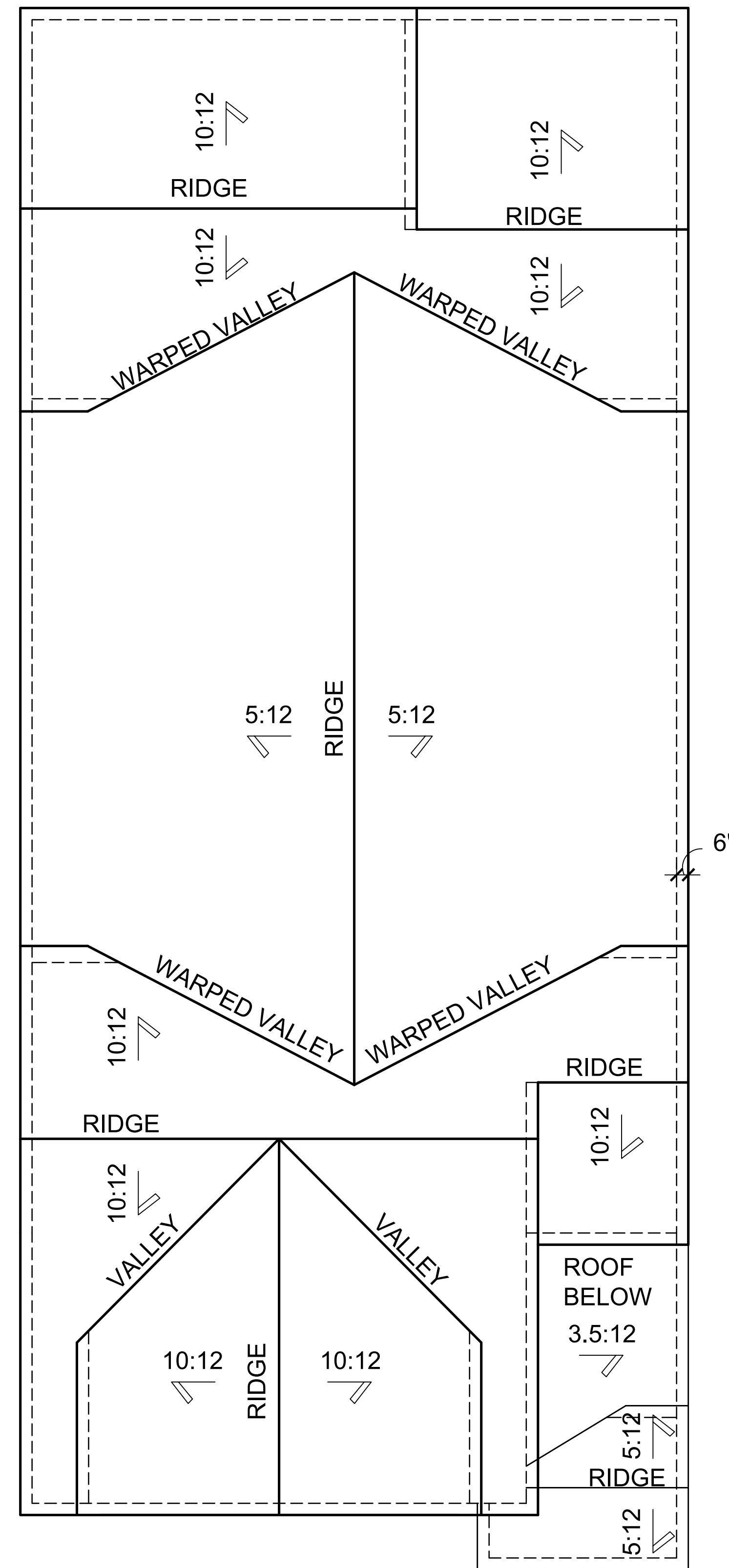
ELEVATIONS
PLAN 4A - FARMHOUSE

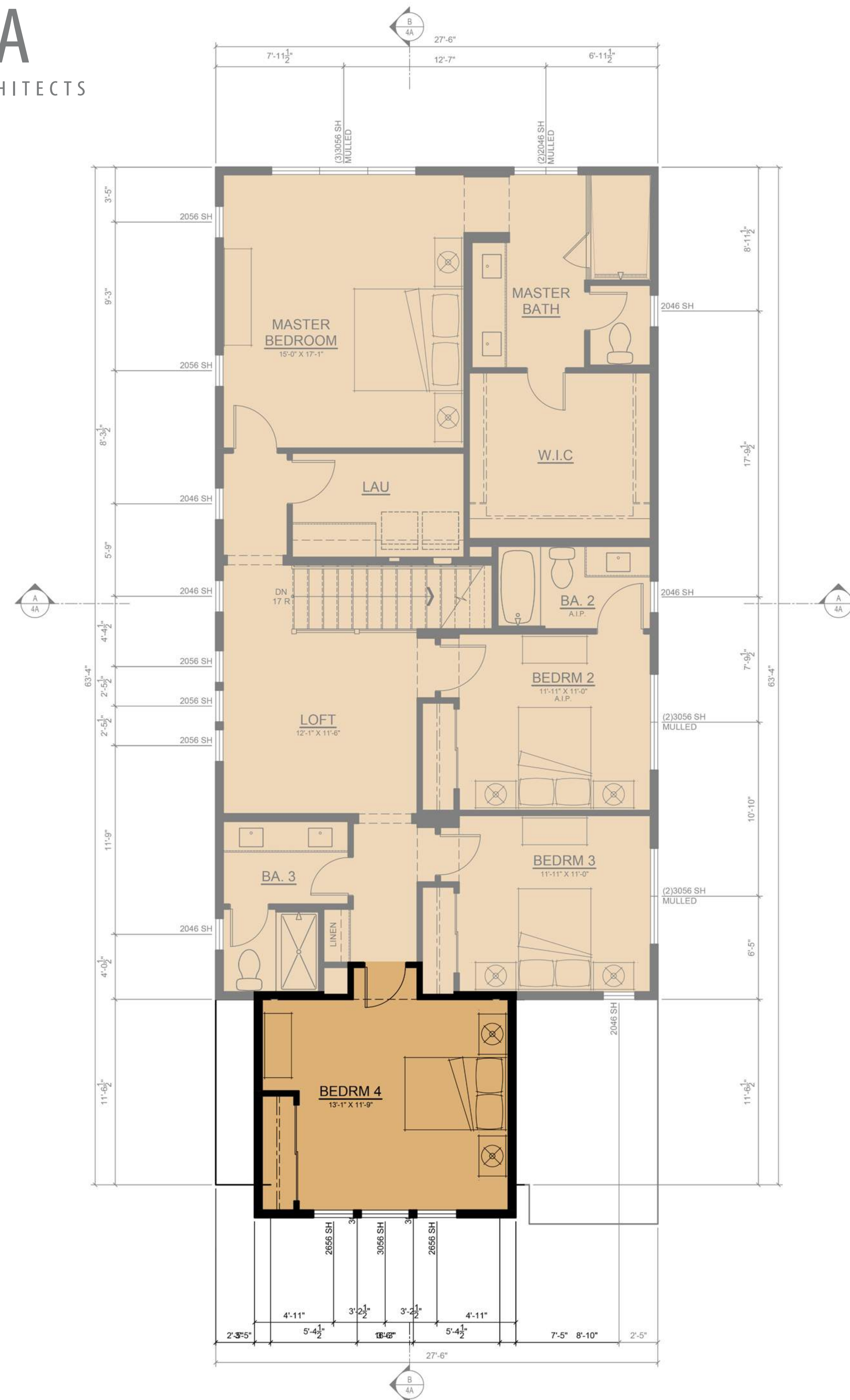


SANCERRA

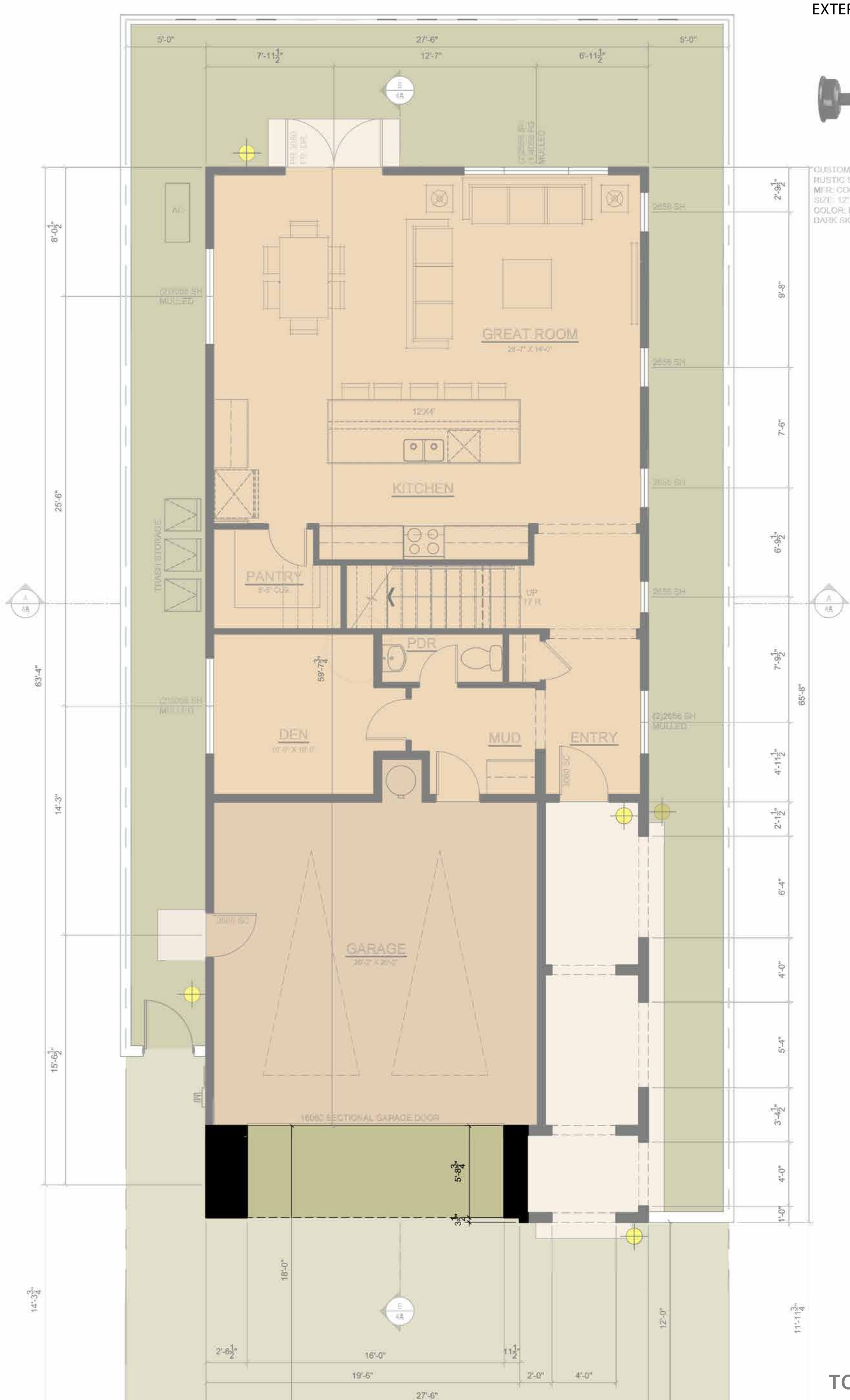
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SECOND FLOOR
1,399 SF



FIRST FLOOR
827 SF

City of Vallejo Zoning Code
Floor Area Calculation per 16.104
TOTAL = 2,952 sf

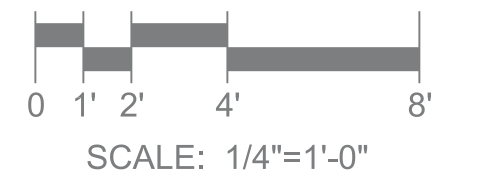


CUSTOMIZABLE GALLA LED BARN LIGHT W/
RUSTIC STYLE STEM
MIE: COCOBREW
SIZE: 12"
COLOR: MATTE BLACK
DARK SKY COMPLIANT: YES

**4 BED+LOFT, 3.5 BA
GREAT ROOM,
2-CAR GARAGE**

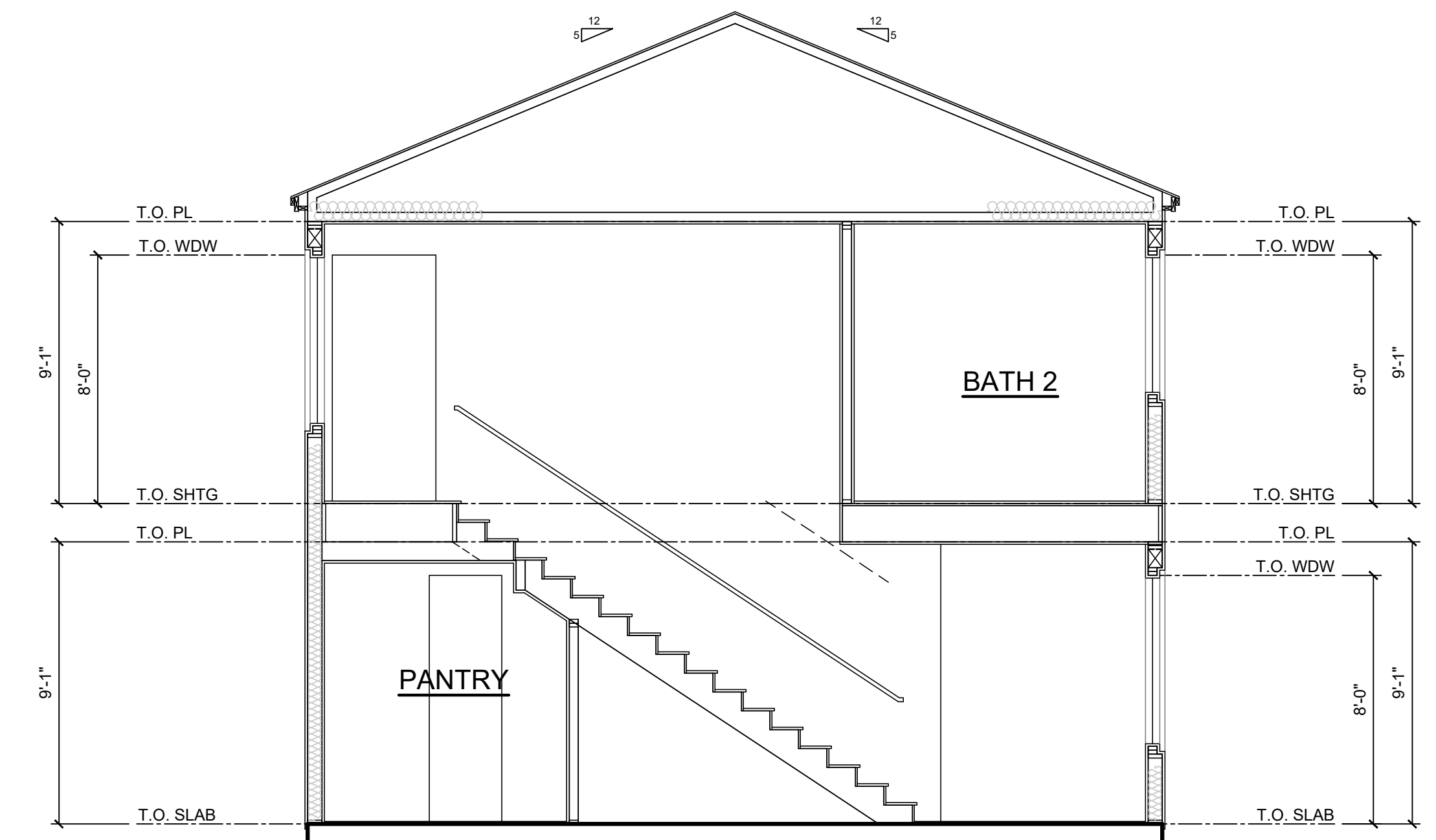
1st FLOOR = 1,079 sf
2nd FLOOR = 1,595 sf
TOTAL = 2,674 sf
GARAGE = 444 sf
TOTAL CONSTRUCTION AREA = 3,118 sf

**FLOOR PLAN
PLAN 4B - 2,674 SF**





SECTION B



SECTION A



LEFT



FRONT



RIGHT

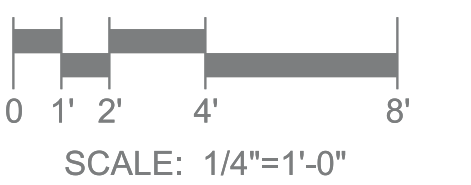


REAR

LEGEND	
1 COMPOSITION ROOF SHINGLES	8 WOOD TRIM
2 WOOD BARGE BOARDS	9 VINYL WINDOWS
3 WOOD RAFTER TAILS	10 STUCCO (FOAM) TRIM
4 WOOD POSTS / COLUMNS	11 STUCCO (FOAM) CORBELS
5 HORIZONTAL SIDING	12 SECTIONAL GARAGE DOOR
6 BOARD & BATTEN SIDING	13 WOOD BALCONY W/ CABLING
7 STUCCO	

VISTA COVE
VALLEJO, CALIFORNIA

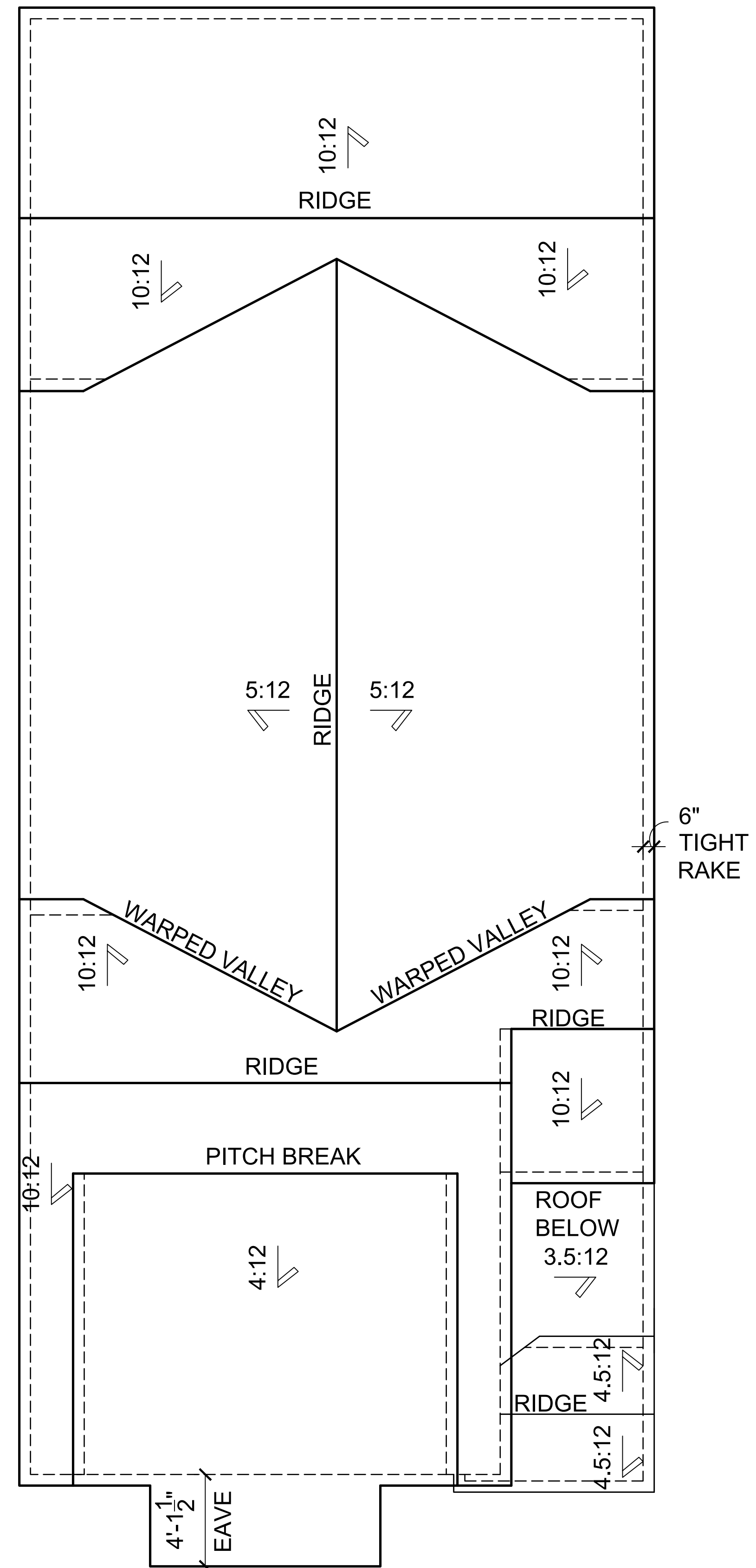
ELEVATIONS PLAN 4B - FARMHOUSE



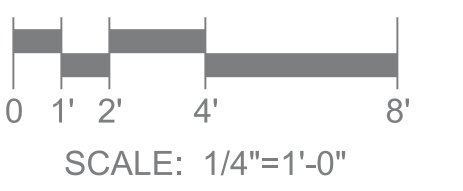
SANCERRA

22029.01 05/19/25

A-43



ROOF PLAN
PLAN 4B



VISTA COVE
VALLEJO, CALIFORNIA

SANCERRA

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A-44

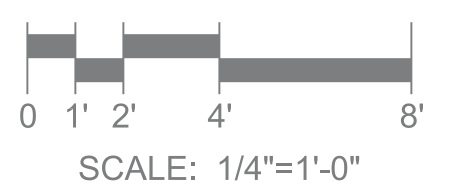


FARMHOUSE 'A'
COLOR SCHEME 3

FARMHOUSE 'B'
COLOR SCHEME 5

VISTA COVE
VALLEJO, CALIFORNIA

STREETSCENE
PLAN 4



SANCERRA

22029.01 05/19/25

A-45



February 22, 2023

Attn: Scott Covington
Sancerra
2618 San Miguel Drive, Suite 1223
Newport Beach, CA 92660

Re: Sancerra Vista Cove Development Project – Arborist Tree Survey and Report

Dear Scott Covington:

The purpose of this letter is to inform you of the results of an arborist survey performed on October 12, 2022, near the east end of Shady Lane in the City of Vallejo, Solano County, California, including Assessor Parcel Numbers (APN) 007-912-010, 007-917-117, and 007-917-118 (Study Area, see Figure 1 in the attachments). The survey was conducted by WRA's ISA-Certified Arborist (#WE-9541A) and Tree Risk Assessment Qualified (TRAQ) arborist Kevin Schwartz (Arborist) for the purpose of documenting all trees with a diameter at breast height (DBH) greater than 6 inches within the Study Area and outside of the riparian area (see Figure 2 in the attachments). The tree inventory and arborist report are provided as part of the planning process for the Vista Cove Development Project (Project) consistent with the City of Vallejo's Zoning Code Chapters 16.504.07 and 16.701.02 of Title 16. The proposed Project will require tree protection, removal, and replacement. Anticipated tree impacts presented in this report may be subject to change with further design development.

Regulatory Background

Title 16 of the City of Vallejo Zoning Code (Zoning Code) details protections, restrictions, permits, and violations surrounding the removal or disturbance of Significant Trees from any parcel of property in the City. Details of the Zoning Code can be found below:

16.701.02 LAND USE TERMS AND DEFINITIONS

Significant Tree. Any tree or stand of trees on private property having either a height of twenty-five feet measured above ground level, or a diameter of ten or more inches.

16.504.07 TREE PROTECTION

A. Preserving Trees During Construction. The following measures are required to protect trees during construction in addition to any that may be recommended by an arborist hired by the applicant and imposed as a condition of approval:



1. Tree Inventory. Identify trees to be preserved on a tree inventory plan with type of tree and condition prior to construction, or permit submittal or as part of entitlements, whichever is first.

2. Existing Trees. Existing mature trees shall be preserved in non-residential zoning districts if they are over 24 inches in diameter measured 4 feet 6 inches above natural grade. However, trees meeting the above criteria may be removed on a limited basis with the permission of the Director upon submittal of an Arborist's report which determines that the tree is in poor health and not likely to survive; if the trees constitute a high fire hazard or a threat to persons, structures, or property; or, if they impede public works projects. Trees to be removed shall be shown on the Landscaping and Irrigation Plan and detailed on a tree inventory chart. The Arborist's Report shall provide guidance on the following requirements:

- a. Construct fencing around the drip line of each tree or group of trees to be retained;
- b. No fill, grading, or construction shall be permitted within the drip line of any tree (or within 6 feet of the trunk, whichever is greater) designated for preservation except as may be recommended by an arborist or forester.
- c. Trenching shall be prohibited within the tree drip line, and any required utility line within the tree drip line shall be installed by boring or drilling through the soil. Where necessary for access in the vicinity of trees designated for preservation, paving within the drip line shall use porous materials such as gravel, loose boulders, cobbles, wood chips, or bark mulch.
- d. As an option, establish an incentive program in the construction contract to encourage workers, particularly bulldozer drivers, to maximize caution when working near trees (such as a fine for each damaged tree or subtract the fine from a bonus to be divided among all construction workers at the end of the project).
- e. Alternate methods to the standards above that are recommended by the Arborist may be implemented.

B. Removal of Trees. The Director may approve the removal of trees based on a determination that there is no feasible alternative design for developing the site and based on report and recommendation by a qualified arborist submitted by the applicant including information as to whether:

1. The tree is in poor health and cannot be saved;
2. The tree is a public nuisance, causing damage to public utilities or streets and sidewalks that cannot be mitigated by some other means (such as root barriers etc.);
3. The tree is in danger of falling and cannot be saved by some other means (such as pruning);
4. The tree is damaging existing private improvements on the lot (e.g., building foundation, wall, patio, deck, roof, retaining wall, etc.);
5. The tree species has been identified as fire prone including Blue gum eucalyptus (*Eucalyptus globulus*), Monterey pines (*Pinus radiata*), Juniper (Cupressaceous) Tree of



Heaven (*Ailanthus altissima*), Black acacia (*Acacia melanoxyton*), and bamboo and is located within 100 feet of structures; or

6. The tree species is known to develop weaknesses that affect its health or the safety of people and property (e.g., short-lived, weak-wooded and subject to limb breakage, shallow-rooted and subject to toppling).

C. Replacement of Significant Trees Required. Trees shall be replaced at a ratio of at least 3 new trees for every tree removed except for the fire-prone species identified above. The minimum size of a replacement tree shall be 15 gallons. Exception to this requirement may be approved by the Director when site conditions warrant. Replacement trees shall be planted in the following order of priority:

1. On the Study Area;
2. On any adjacent property subject to approval of the owner; or
3. In the public right-of-way adjacent to the property subject to approval of the Director of Public Works.

Methods

On October 12, 2022, the Study Area was traversed on foot by the Arborist to inventory all trees with a DBH of 6 inches or greater within the Study Area, not including the riparian protection zone (Figure 2). Relevant information was recorded for each surveyed tree, including:

- Tree Number – corresponds to a round aluminum tag affixed to each protected tree.
- Species – common and scientific name of the tree.
- Trunk DBH – was calculated for surveyed trees by measuring the trunk diameter at 4.5 feet (54 inches) above the ground on the high side of the trunk. For multi-trunk trees, DBH was calculated by measuring each individual trunk and calculating the sum of trunk diameters.
- Max Drip –Dripline radii were recorded to the nearest foot measuring from the center of the trunk to the edge of dripline mapped, approximating the maximum distance in feet from the trunk to the edge of the branches.
- Condition Rating – rated poor, fair, or good considering both the health and structure of the tree. A rating of fair-good or good indicates no significant condition concerns.
- Health Rating – rated poor, fair, or good considering the overall health of the tree. A rating of fair-good or good indicates no significant health concerns.
- Structure Rating – rated poor, fair, or good considering the structure of the tree. A rating of fair-good or good indicates no significant structure concerns.
- Health – specific comments contributing to the condition, health, and structure ratings were noted (e.g. major decay/dieback, dead, multiple dead trunks, poor growth form, lean, unknown abiotic disorder, lean, cankers).
- Comments – comments regarding the tree assessment, access, and whether the tree should be removed or not.

Surveyed tree locations within the Study Area were recorded using sub-meter accuracy GPS. Trees were tagged with aluminum tree tags with a unique identifying number. Two trees (#560 and



#563) were inaccessible to tag because the shrubs or Himalayan blackberry (*Rubus armeniacus*) were too dense to access the trunk. Anticipated tree impacts were determined based on a limit of work provided by DK Engineering on December 14, 2022. Final tree impacts may differ from the anticipated impacts presented in this report with further project design development.

This Arborist Tree Survey and Report includes the following figures and table as attachments:

- Figure 1, entitled “Study Area Regional Location Map” shows the project location.
- Figure 2, entitled “Tree Survey Study Area” contains the locations of the trees on an aerial image of the Study Area.
- Table A, entitled “Tree Evaluation”, summarizes the results of the tree evaluation for all surveyed trees.

Additional summary tables are provided in the following sections.

Summary of Tree Evaluation

Location, Species Makeup, Number of Trees, and Age:

The Study Area is located south of Interstate 780 off Shady Lane and Wildflower Avenue in the City of Vallejo, Solano County, California. The subject trees found were native and horticultural species. The horticultural species had been planted as part of the landscaping along Shady Lane and a few scattered fruit trees were found in the southern part of the Study Area. The native species were found scattered around the property.

A total of 83 trees were surveyed within the Study Area, of which 57 trees meet the Significant Tree definition under the local ordinance. Four non-native tree species were identified during the survey, including: two strawberry trees (*Arbutus* ‘Marina’), one apple tree (*Malus* sp.), three Monterey pines (*Pinus radiata*), and two cherry trees (*Prunus* sp.). Three native tree species were identified during the survey, including: one toyon (*Heteromeles arbutifolia*), 73 coast live oaks (*Quercus agrifolia*), and one valley oak (*Quercus lobata*). The diameters of surveyed trees ranged from 6 to 43.2 inches.

All tree numbers and their associated attributes are recorded in the Tree Evaluation Table (Table A in the attachments). The surveyed trees varied in age from young to mature.

Tree Condition, Health, and Structure:

The health of the trees was rated from poor to good. Most of the trees were in good condition, good health, and had good structure. Only one apple tree was in poor health having major decay and dieback. This apple tree was a small tree outside of the development footprint and poses no risk.



Root Protection Zones and Potential Impacts:

Using the max drip line, the Arborist estimated the area of root protection zone (RPZ) that would be impacted by the Project for each tree.

Of the 83 trees surveyed, a total of 69 trees are anticipated to require removal (0.76 acre of RPZ would be impacted for these 69 trees), three trees would not be removed but would have RPZ impacts (0.01 acre), and 11 trees would be entirely avoided (Table 1, below). The three trees with only RPZ impacts would have 24% to 38% of the RPZ impacted. Impacts to these three trees could be avoided with appropriate tree protection measures.

Of the 69 trees that are anticipated to require removal, 47 of these trees (≥ 10 " DBH) meet the Significant Tree definition (0.60 acre of RPZ would be impacted for these 47 Significant Trees). Of the three trees that would not be removed but would have RPZ impacts, two meet the Significant Tree definition (< 0.01 acre of RPZ).

Table 1. Tree Survey Summary

Description	Number of trees	RPZ Impact Area (Acre)
All Surveyed Trees (≥ 6" DBH)		
All Trees Surveyed	83	N/A
Trees Requiring Removal	69	0.76 acre
Trees Avoided but with RPZ Impacts	3	0.01 acre
Surveyed Trees Avoided	11	N/A
Significant Trees (≥ 10" DBH)		
Significant Trees Surveyed	57	N/A
Anticipated Significant Trees Requiring Removal	47	0.60 acre
Significant Trees Avoided but with RPZ Impacts	2	< 0.01 acre
Significant Trees Avoided	8	N/A

Replacement Tree Requirements

According to Title 16.504.07 of the Zoning Code of the City of Vallejo, replacement of Significant Trees shall be required at a ratio of at least three new trees for every tree removed. While Monterey pine is a fire-prone species it is more than 100 feet from buildings and, thus, may still require mitigation in the form of tree replacement. The minimum size of a replacement tree shall be 15 gallons. Exception to this requirement may be approved by the Director when site conditions warrant. Replacement trees shall be planted in the following order of priority:

1. On the Study Area;
2. On any adjacent property subject to approval of the owner; or



3. In the public right-of-way adjacent to the property subject to approval of the Director of Public Works.

Table 3, below, shows the number of replacement trees that may be required to compensate for the anticipated removal of 47 Significant Trees protected under the local ordinance. A total of 141 replacement trees may be required. Selection of replacement trees should be done with approval of the City of Vallejo Public Works Director and in accordance with Chapter 16.504.09 Water-Efficient Landscape Requirements, Section G. Specific Requirements for Landscape Documentation Package, 3. Landscape Design Plan a. Plant material:

a. **Plant material.** Any plant not within a “required landscaped area,” may be selected for the landscape, providing the estimated total water use in the landscape area does not exceed the maximum applied water allowance. Plants to be located within a required landscaped area must be of a drought tolerant variety. Methods to achieve water efficiency shall include one or more of the following:

- i. Protection and preservation of native species and natural vegetation;
- ii. Selection of water-conserving plant, tree and turf species, especially local native plants;
- iii. Selection of plants based on local climate suitability, disease and pest resistance;
- iv. Selection of street trees based on city of Vallejo approved street tree list and size at maturity as appropriate for the planting area;
- v. Selection of plants from local and regional landscape program plant lists.
- vi. Selection of plants from local Modification Plan Guidelines.

Table 3. Summary of Anticipated Replacement Plantings Required for Significant Tree Removal

Species	Number of Significant Trees Requiring Mitigation	Number of Replacement Trees Anticipated ²	Minimum Plant Size
strawberry tree	1	3	15 gallon pot
Monterey pine ¹	2	6	
plum or cherry	2	6	
coast live oak	42	126	
Total	47	141	

¹Monterey pine trees are a fire prone species that may not require replacement planting.

²Replacement tree species can be different from the tree species proposed for removal.

Limitations

- This assessment is based upon conditions observed during the date of the site visit. Tree conditions change over time and, as they change, this report may need to be revised.



- The result of the evaluations for trees for which more detailed examination and/or testing and risk assessment is recommended (including aerial inspection, decay mapping and/or root examination) is provisional, pending the outcome of these studies.
- Tree condition assessments were based on visual observations from the ground level.
- The Arborist did not conduct any root excavation, coring, or aerial inspection to assess above ground conditions. Arborists cannot detect every condition that could possibly contribute to the structural failure or decline in the health of a tree and therefore affect the appraised value.
- There is no warranty or guarantee, expressed or implied, that problems or deficiencies in surveyed trees may not arise in the future.
- This report does not include a tree protection plan describing construction-related tree avoidance and protection measures for trees selected for preservation.

Arborist Disclosure Statement

The following statement pertains to The Arborist work and this report:

- Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the Arborist, or to seek additional advice.
- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.
- Treatment, pruning and removal of trees may involve considerations beyond the scope of the Arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the Arborist. An Arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.
- Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk.

Certification of Performance

WRA, Inc. certifies:

- That we have personally inspected the tree(s) and/or the property referred to in this report and have stated our findings accurately. The extent of the evaluation is stated in this report;



- That we have no current or prospective interest in the vegetation, or the property, that is the subject of this report, and we have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are our own, and are based on current scientific procedures and facts;
- That our compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- That our analysis, opinions, and conclusions were developed, and this report has been prepared according to commonly accepted Arboricultural practices;
- That no one provided significant professional assistance to the consultant, except as indicated within the report.

Please feel free to contact me, or Patricia Valcarcel, Principal for the WRA Project, if you have any questions or concerns. We are available to provide additional arborist services such as tree preservation recommendations, monitoring, or other services as requested.

Sincerely yours,



Kevin Schwartz, Ph.D.
ISA Certified Arborist #9541A
ISA Qualified Tree Risk Assessor
Kevin.Schwartz@wra-ca.com

Attachments:

- Figure 1. Study Area Regional Location Map
- Figure 2. Tree Survey Study Area
- Table A. Tree Evaluation



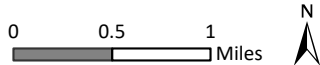


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Sources: National Geographic, WRA | Prepared By: rochelle, 1/10/2023

Figure 1. Study Area Regional Location Map

Sancerra Vista Cove
Vallejo, California



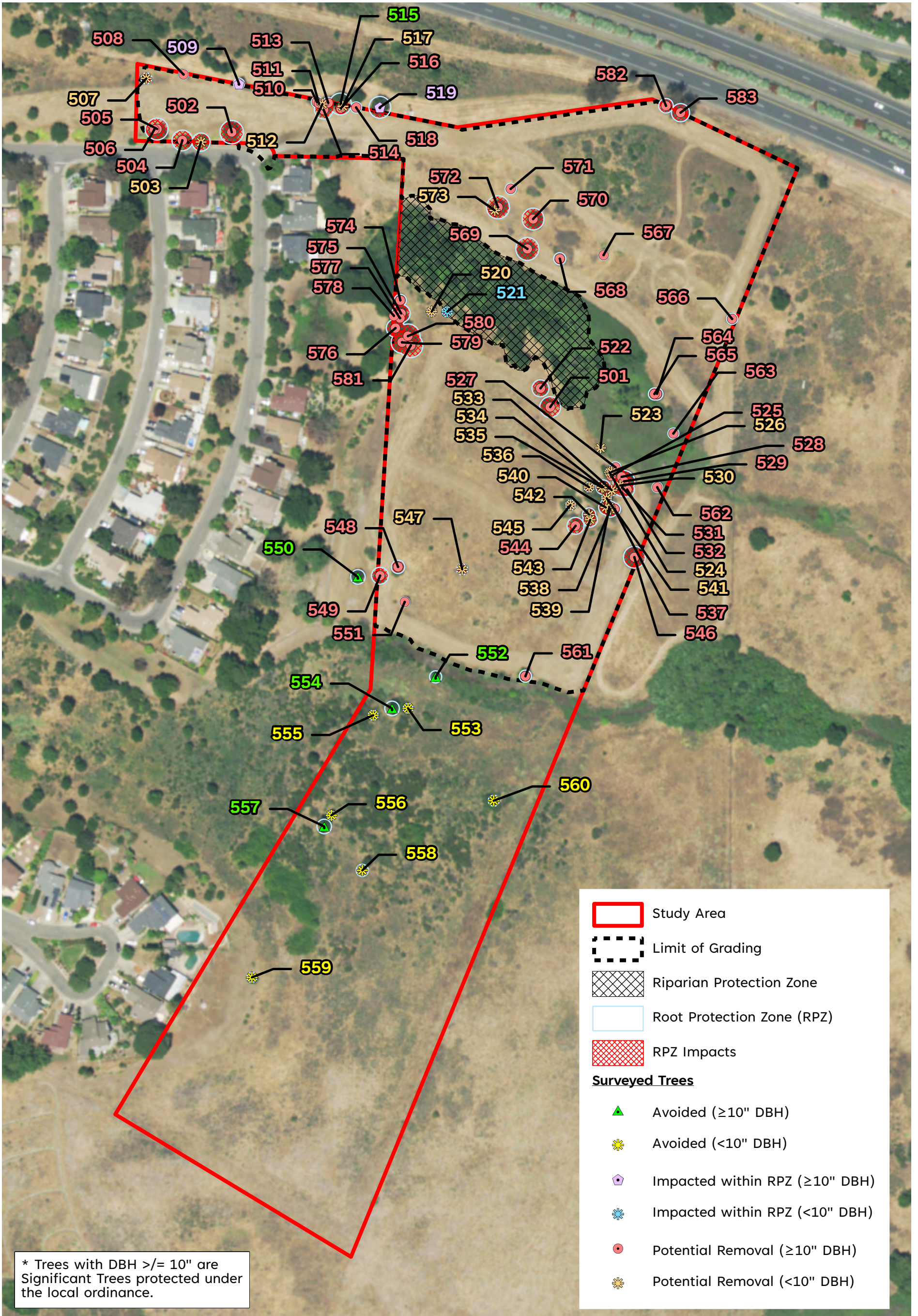


Figure 2. Tree Survey Study Area

Table A. Tree Evaluation

#	Tag_ID	Species	Common Name	Multistem	DBH_1	DBH_2	DBH_3	DBH_4	DBH_5	DBH (SUM)	Dripline_1	Dripline_2	RPZ_FT	RPZ (ac)	RPZ (sqft)	Impact (ac)	Impact (sqft)	Impact (%)	Condition	General Health	Structure	Health_1	Health_2	Comment
1	501	Quercus agrifolia	coast live oak	yes	11.6	7.1	0	0	0	18.7	13	17.2	17	0.02	929	0.021	929	100%	Good	Good	Good			
2	502	Quercus agrifolia	coast live oak	yes	12.2	13.6	7	10.4	0	43.2	19.3	13.8	19	0.03	1170	0.027	1170	100%	Good	Good	Good			
3	503	Arbutus 'Marina'	strawberry tree	no	9.5	0	0	0	0	9.5	14.8	15	15	0.02	707	0.016	707	100%	Good	Good	Good			
4	504	Arbutus 'Marina'	strawberry tree	no	11.3	0	0	0	0	11.3	17	15	17	0.02	908	0.021	908	100%	Good	Good	Good			
5	505	Quercus agrifolia	coast live oak	yes	8.3	11.4	7.7	7.6	6.2	41.2	18	15	18	0.02	1018	0.023	1018	100%	Good	Good	Good			
6	506	Quercus agrifolia	coast live oak	no	11	0	0	0	0	11	12	15	15	0.02	707	0.016	707	100%	Good	Good	Good			
7	507	Quercus agrifolia	coast live oak	yes	3	5	0	0	0	8	9	7	9	0.01	254	0.006	254	100%	Good	Good	Good			
8	508	Quercus agrifolia	coast live oak	yes	5.8	4	5	3.5	3	21.3	8	8	8	0.00	201	0.005	201	100%	Good	Good	Good			
9	509	Quercus agrifolia	coast live oak	yes	11	10	5	0	0	26	9	9	9	0.01	254	0.002	96	38%	Good	Good	Fair	included bark		
10	510	Quercus agrifolia	coast live oak	yes	8	7	0	0	0	15	8	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
11	511	Quercus agrifolia	coast live oak	yes	5.5	2.2	2.2	1.5	1.5	12.9	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
12	512	Quercus agrifolia	coast live oak	yes	5.5	3	0	0	0	8.5	7	6	7	0.00	154	0.004	154	100%	Good	Good	Good			
13	513	Quercus agrifolia	coast live oak	yes	9.3	4.3	0	0	0	13.6	9	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
14	514	Quercus agrifolia	coast live oak	yes	11	5	0	0	0	16	15	14	15	0.02	707	0.016	707	100%	Good	Good	Good			
15	515	Quercus agrifolia	coast live oak	yes	13	9	8	0	0	30	18	18	18	0.02	1018	0.000	0	0%	Good	Good	Good			
16	516	Quercus agrifolia	coast live oak	yes	5	5	4	4	1	19	8	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
17	517	Quercus agrifolia	coast live oak	yes	3	3	1	1	1	9	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
18	518	Quercus agrifolia	coast live oak	yes	8	4	0	0	0	12	9	9	9	0.01	254	0.006	254	100%	Good	Good	Fair	1 trunk growing thru fence		
19	519	Quercus agrifolia	coast live oak	yes	13	13	11	0	0	37	16	18	18	0.02	1018	0.006	249	24%	Good	Good	Good	trunk outside prprty boundary		
20	520	Quercus agrifolia	coast live oak	yes	2.8	2.2	2	1.5	1	9.5	7	7	7	0.00	154	0.004	154	100%	Fair	Fair	Good	minor decay/dieback	unk abiotic disorder	
21	521	Heteromeles arbutifolia	toyon	yes	2.1	2.2	2	2	1.5	9.8	8	7	8	0.00	201	0.002	70	35%	Fair	Fair	Fair	minor decay/dieback		
22	522	Quercus agrifolia	coast live oak	yes	6.7	10.7	0	0	0	17.4	13	14	14	0.01	616	0.014	616	100%	Good	Good	Good			
23	523	Quercus agrifolia	coast live oak	yes	3.5	1.5	1	1	1	8	4.5	5	5	0.00	79	0.002	79	100%	Good	Good	Good			
24	524	Quercus agrifolia	coast live oak	no	6	0	0	0	0	6	7	5	7	0.00	154	0.004	154	100%	Good	Good	Good			
25	525	Quercus agrifolia	coast live oak	yes	5.2	4.5	3.6	0	0	13.3	7	6	7	0.00	154	0.004	154	100%	Good	Good	Good			
26	526	Quercus agrifolia	coast live oak	no	6.6	0	0	0	0	6.6	9	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
27	527	Quercus agrifolia	coast live oak	yes	6.2	7.1	5	0	0	18.3	6	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
28	528	Quercus agrifolia	coast live oak	yes	8	2	0	0	0	10	9	12	12	0.01	452	0.010	452	100%	Good	Good	Good			
29	529	Quercus agrifolia	coast live oak	yes	12.5	8	4	3	3	30.5	15	18	18	0.02	1018	0.023	1018	100%	Good	Good	Good			
30	530	Quercus agrifolia	coast live oak	no	6.9	0	0	0	0	6.9	12	5	12	0.01	452	0.010	452	100%	Good	Good	Good			
31	531	Quercus agrifolia	coast live oak	yes	6.2	4.1	0	0	0	10.3	4	15	15	0.02	707	0.016	707	100%	Good	Good	Fair			
32	532	Quercus agrifolia	coast live oak	yes	8	6	4	0	0	18	12	10	12	0.01	452	0.010	452	100%	Good	Good	Good			
33	533	Quercus agrifolia	coast live oak	no	8	0	0	0	0	8	9	8	9	0.01	254	0.006	254	100%	Good	Good	Good			
34	534	Quercus agrifolia	coast live oak	no	9	0	0	0	0	9	12	10	12	0.01	452	0.010	452	100%	Good	Good	Good			
35	535	Quercus agrifolia	coast live oak	no	8	0	0	0	0	8	8	8	8	0.00	201	0.005	201	100%	Good	Good	Good			
36	536	Quercus agrifolia	coast live oak	no	6.1	0	0	0	0	6.1	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
37	537	Quercus agrifolia	coast live oak	yes	8.5	4.5	2	0	0	15	10	10	10	0.01	314	0.007	314	100%	Good	Good	Good			
38	538	Quercus agrifolia	coast live oak	no	9	0	0	0	0	9	13	9	13	0.01	531	0.012	531	100%	Good	Good	Good			
39	539	Quercus agrifolia	coast live oak	no	6.4	0	0	0	0	6.4	10	8	10	0.01	314	0.007	314	100%	Good	Good	Good			
40	540	Quercus agrifolia	coast live oak	no	9	0	0	0	0	9	10	12	12	0.01	452	0.010	452	100%	Good	Good	Good			
41	541	Quercus agrifolia	coast live oak	no	6.4	0	0	0	0	6.4	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
42	542	Quercus agrifolia	coast live oak	no	8.3	0	0	0	0	8.3	11	8	11	0.01	380	0.009	380	100%	Good	Good	Good			
43	543	Quercus agrifolia	coast live oak	no	9	0	0	0	0	9	10	12	12	0.01	452	0.010	452	100%	Good	Good	Good			
44	544	Quercus agrifolia	coast live oak	yes	13.5	6	4	0	0	23.5	14	12	14	0.01	616	0.014	616	100%	Good	Good	Good			
45	545	Quercus agrifolia	coast live oak	no	6.2	0	0	0	0	6.2	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
46	546	Quercus agrifolia	coast live oak	yes	12.7	9.8	11.8	9	9	52.3	15	18	18	0.02	1018	0.023	1018	100%	Good	Good	Good			
47	547	Pinus radiata	Monterey pine	no	9.1	0	0	0	0	9.1	9	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
48	548	Pinus radiata	Monterey pine	no	13.8	0	0	0	0	13.8	11	11	11	0.01	380	0.009	380	100%	Fair	Fair	Good	minor decay/dieback		
49	549	Quercus agrifolia	coast live oak	yes	6.2	7	6	5.5	3	27.7	14	13	14	0.01	616	0.014	616	100%	Good	Good	Good			
50	550	Quercus lobata	valley oak	no	11.2	0	0	0	0	11.2	12	12	12	0.01	452	0.000	0	0%	Good	Good	Good			
51	551	Pinus radiata	Monterey pine	yes	7.7	7	6.5	0	0	21.2	8	7	8	0.00	201	0.005	201	100%	Good	Good	Good			
52	552	Quercus agrifolia	coast live oak	no	10.2	0	0	0	0	10.2	10	8	10	0.01	314	0.000	0	0%	Good	Good	Good			
53	553	Quercus agrifolia	coast live oak	no	7.7	0	0	0	0	7.7	8	8	8	0.00	201	0.000	0	0%	Good	Good	Good			
54	554	Quercus agrifolia	coast live oak	no	10.5	0	0	0	0	10.5	12	10	12	0.01	452	0.000	0	0%	Good	Good	Good			
55	555	Quercus agrifolia	coast live oak	no	6.5	0	0	0	0	6.5	8	7	8	0.00	201	0.000	0	0%	Good	Good	Good			
56	556	Quercus agrifolia	coast live oak	yes	4.8	4.8	3.5	0	0	13.1	7	7	7	0.00	154	0.000	0	0%	Good	Good	Good			
57	557	Quercus agrifolia	coast live oak	no	14	0	0	0	0	14	12	12	12	0.01	452	0.000	0	0%	Good	Good	Good			
58	558	Quercus agrifolia	coast live oak	yes	8	7.7	0	0	0	15.7	10	8	10	0.01	314	0.000	0	0%	Good	Good	Good			
59	559	Malus sp.	apple	yes	4	4	3	3.6	3	17.6	7	8	8	0.00	201	0.000	0	0%	Fair	Poor	Good	major decay/dieback		
60	560	Quercus agrifolia	coast live oak	no	8	0	0	0	0	8	9	9	9	0.01	254	0.000	0	0%	Good	Good	Good			Too dense shrubs to tag
61	561	Prunus sp.	plum cherry	yes	8	6	5	5	4	28	10	8	10	0.01	314	0.007	314	100%	Fair	Good	Good	minor decay/dieback		
62	562	Quercus agrifolia	coast live oak	yes	7.5	6	0	0	0	13.5	7	8.5	9	0.01	227	0.005	227	100%	Good	Good	Good			
63	563	Quercus agrifolia	coast live oak	yes	8	5	0	0	0	13	9	9	9	0.01	254	0.006	254	100%	Good	Good	Good			inaccessible due to RUAR, no tag
64	564	Quercus agrifolia	coast live oak	yes	5.6	7	6	6	3	27.6	10	9	10	0.01	314	0.007	314	100%	Good	Good	Good			
65	565	Quercus agrifolia	coast live oak	yes	5.6	6	0	0	0	11.6	10	8	10	0.01	314	0.007	314	100%	Good	Good	Good			
66	566	Quercus agrifolia	coast live oak	yes	7.6	8	6.5	6.7	5.4	34.2	9	9	9	0.01	254	0.006	254	100%	Good	Good	Good			
67	567	Prunus sp.	plum cherry	yes	5.5	4.5	4	3.5	3	20.5	8	7	8	0.00	201	0.005	201	100%	Fair	Fair	Good	minor decay/dieback		
68	568	Quercus agrifolia	coast live oak	yes	9.7	7.6	0																	



CITY OF VALLEJO

NOTICE OF PUBLIC HEARING

THE VALLEJO **DESIGN REVIEW BOARD** WILL HOLD A PUBLIC HEARING TO RECOMMEND THE FOLLOWING:

Hearing Date, Time & Location	Thursday, July 10, 2025, at 7:00 p.m. Vallejo City Hall, 555 Santa Clara Street, Vallejo
Project Name & Application(s)	Vista Cove Residential Subdivision Design Review (DR23-0006) Landscape Review (LR23-0002) Development Review (DVR23-0018) Tentative Map (TM23-0001) Planned Development (PD24-0001)
Project Location & APN(s)	Vacant Site off Shady Lane and Wildflower Avenue APN:0079-171-170 & 0079-120-100
Applicant:	Sancerra Vista Cove, LLC
Property Owner(s):	Litton Chen, Tammy Dong, Terrence F. Wei, Thomas Chen, Tiffancy Chen Herrero, Timothy Wei, Tina T. Dong, Troy Chuang, Tyler C. Chung
Project Description:	<p>The proposed project includes subdivision of two vacant parcels, totaling 20.13-acres, into 57 new parcels for the construction of 51 detached single-family residences, open spaces, private roads/alleys, and bio-retention swells. The project includes construction of one new primary street and four alleyways, with associated improvements such as sidewalks, street lighting, and utilities. A total of four different floor plan types, ranging from 2,491 to 3,118 square feet, are proposed with a ‘Modern Farmhouse’ architectural style. Each residence would have two covered off-street parking spaces within a garage, and two uncovered parking spaces within the driveway. New landscaping, including street trees, shrubs and ground cover, is also proposed for installation within all new residence front yards.</p> <p>At this meeting, the Design Review Board will be asked to make a formal recommendation to the Planning Commission, regarding overall design, landscaping and signage for the project.</p>
City Staff Contact:	Cesar Orozco, Planning Manager – Current Development 707.648.5436; cesar.orozco@cityofvallejo.net
Application Information for Public Review:	City of Vallejo Planning and Development Services 555 Santa Clara Street, Vallejo, CA 94590 Open Monday through Thursday from 9 a.m. to 3 p.m. For questions about the proposal, to submit comments, or to make an appointment to view project information, please call or email the staff contact listed above, or visit the project webpage: https://www.cityofvallejo.net/cms/One.aspx?portalId=16925451&pageId=20675790

The applicant or any party adversely affected by the decision of the Design Review may, within ten days after the decision, appeal to the City Council by filing a written appeal with the Planning Division at 555 Santa Clara Street, second floor, Vallejo, CA. Such appeal shall state the reason or reasons for the appeal and why the appellant believes they are adversely affected by the decision of the Design Review. Such appeal shall not be timely filed unless it is received with the required filing fee, as noted in the master fee schedule, before close of business on the tenth calendar day after the decision of the Design Review. If such date falls on a weekend or City holiday, the deadline shall be extended until the next regular business day. The Council may affirm, reverse, or modify any decision which is appealed. The Council may also summarily reject any appeal upon determination that the appellant is not adversely affected by a decision under appeal.

