



VALLEJO PLANNING COMMISSION REGULAR MEETING 7:00 PM

OCTOBER 20, 2025

COMMISSIONERS

Eric Blind, (Chair)
Anthony Taylor, (Vice-Chair)
Donald Douglass
Wanda Madeiros
Tara Beasley-Stansberry
Phillip Balbuena
Chris White

HYBRID MEETING
www.Cityofvallejo.net

**Council Chambers
555 Santa Clara Street
Vallejo, CA 94590**

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom	City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.
PUBLIC COMMENT: Members of the Public may provide public comments during the City Council Meeting in person or via ZOOM (https://ZoomRegular.Cityofvallejo.net), or via phone, by dialing (669) 900-6833.	For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment
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Hybrid Options are available for members of the public to participate. To participate remotely	
<u>Option to Join by Computer</u> From your browser go to https://ZoomRegular.CityofVallejo.net to launch and join the zoom application. Meeting ID: 914 0075 0676# Meeting Password: 131313	<u>Option to Join by Phone</u> Dial (669) 900-6833 Enter Meeting ID: 914 0075 0676# Meeting Password: 131313 Press *9 to digitally raise your hand from the phone. Press *6 to unmute/mute
Any supplemental writing related to an agenda item for an open session of a regular meeting that is distributed to all or a majority of all members of the Commission less than 72 hours before the meeting will be posted concurrently on the City's website at www.cityofvallejo.net/agendas Written material distributed during the meeting, will be available at the meeting if prepared by the City or after the meeting if prepared by someone else. Such materials may be obtained from the Commission Secretary	
	Vallejo City Council Chambers is ADA compliant. Devices for the hearing impaired are available from the Staff Secretary. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the Staff Secretary's office by contacting via email Dalia.Vidor@cityofvallejo.net or via telephone at (707) 648-4326 no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof

AGENDA

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. OATH OF OFFICE OF NEWLY APPOINTED COMMISSIONER(S)**
- 4. ROLL CALL**

5. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

[SECTION_TEXT]

Consent Calendar items appear below, with the Secretary's or City Attorney's designation as such. Members of the public wishing to address the Commission on Consent Calendar items are asked to address the Secretary and submit a completed speaker card prior to the approval of the agenda. Such requests shall be granted, and items will be addressed in the order in which they appear in the agenda. After making any changes to the agenda, the agenda shall be approved. All matters are approved under one motion unless requested to be removed for discussion by a commissioner or any member of the public.

A. APPROVAL OF THE AGENDA

B. APPROVAL OF THE MINUTES

Recommendation: By motion, approve the October 6, 2025 - regular meeting minutes.

6. REPORT OF THE CITY COUNCIL LIAISON

7. COMMUNITY FORUM

[SECTION_TEXT]

Anyone wishing to address the Commission on any matter for which another opportunity to speak is not provided on the agenda, and which is within the jurisdiction of the Commission to resolve, is requested to submit a completed speaker card to the Secretary. When called upon, each speaker should step to the podium, state his/her name and address for the record. The conduct of the community forum shall follow those as the City Council and shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to three minutes pursuant to Vallejo Municipal Code Section 2.20.300. The Commission may take information but may not take action on any item not on the agenda.

8. PUBLIC HEARING

- A. HOLD A PUBLIC HEARING AND CONSIDER ADOPTING A RESOLUTION APPROVING A MAJOR USE PERMIT (PLN25-0098) TO ALLOW LATE-NIGHT HOURS OF OPERATION FOR THE PLANET FITNESS AT 42 SPRINGTOWNE CENTER AND FINDING THE PROJECT EXEMPT FROM CEQA PURSUANT TO CEQA GUIDELINES SECTION 15301 - EXISTING FACILITIES**

Project Summary: The project involves a request to increase operating hours from 6 a.m. to 12 a.m to 24 hours a day, seven days a week, for an existing 18,093 square-foot Planet Fitness. The business will have a total of two employees during the overnight hours.

Location: 42 Springstowne Center / APN:0071-061-460

Applicant: Vallejo East Fitness, LLC dba Planet Fitness
Owner: Ethan Conrad
General Plan Land Use Designation: Neighborhood Corridor (NC)
Zoning District: Neighborhood Mixed-Use (NMX)
CEQA: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1 – Existing Facilities), as it involves an expansion of the hours of operation but no physical alteration of the building.

9. **WRITTEN COMMUNICATIONS**
10. **REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE PLANNING COMMISSION**
 - A. **REPORT OF THE SECRETARY**
 - B. **CITY ATTORNEY'S REPORT**
 - C. **REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION**
 - D. **REPORT OF THE ADHOC SUBCOMMITTEES**
11. **ADJOURNMENT**

ADDITIONAL CITY INFORMATION

Members of the public can:

- Like us on Facebook and Instagram ([@cityofvallejo](#))
- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/subscribe)
- Sign up for emergency alerts at: alertsolan.com

I, Dalia Vidor, Staff Secretary do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to

Eric Blind, (Chair)
Anthony Taylor, (Vice-Chair)
Donald Douglass
Wanda Madeiros
Tara Beasley-Stansberry
Phillip Balbuena
Chris White

at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at
7:00 PM, 10/16/2025.

Dated: 10/16/2025

Dalia Vidor

Dalia Vidor, Staff Secretary

**CITY OF VALLEJO PLANNING COMMISSION
REGULAR MEETING MINUTES
COUNCIL CHAMBERS
October 6, 2025**

1. CALL TO ORDER

The meeting was called to order at 7:16 p.m.

2. PLEDGE OF ALLEGIANCE

3. OATH OF OFFICE OF NEWLY APPOINTED COMMISSIONER(S) – NONE (New Commissioner sick)

4. ROLL CALL

Present: Vice-Chair Taylor, Commissioners Madeiros, Douglass, and Balbuena

Absent: Chair Blind and Commissioner Beasley-Stansberry

Staff present: Assistant City Attorney Zagaroli, Planning and Development Services Director Pollot and Planning Manager Orozco

5. CONSENT CALENDAR AND APPROVAL OF AGENDA

A. APPROVAL OF THE AGENDA

Action: Commissioner Madeiros, Second by Commissioner Douglass, and carried unanimously (absent: Blind and Beasley-Stansberry) to approve the agenda.

B. APPROVAL OF Minutes

Action: Vice-Chari Madeiros, second by Commissioner Douglass, and carried unanimously (absent: Blind and Beasley-Stansberry) to approve the July 7, 2025 – regular meeting minutes.

6. REPORT OF THE CITY COUNCIL LIASION

Council Member Matulac thanked the commission for being at the meeting and reminded the commission to get a refresher on the General Plan, Specific Plans and the Zoning Code.

7. COMMUNITY FORUM – David Beliffe

8. PUBLIC HEARING

A.

PROJECT TITLE: Rollingwood Subdivision

RECOMMENDATION: Adopt a resolution making finding relating to an addendum to the certified Environmental Impact Report for the General Plan 2040 and approving Vesting Tentative Map (TM23-0003), Development Review (DVR23-0042), Exception (EXC24-0001), Minor Use Permit (MUP23-0019), Landscape Review (LR23-0013) and Design Review (DR23-0019) for the Development of 130 Single-Family Residences at 201 Rollingwood Drive (APNS:0072-170-050 & 0072-050-060)

The applicant has requested to continue the item due to continued conversation of water division conditions.

9. WRITTEN COMMUNICATIONS

Three written communications received regarding the action item.

10. REGULAR REPORTS

A. SECRETARY'S REPORT

Planning Manager Orozco provided an update on the project meeting memo attached to the secretary report on upcoming projects that will come before the Planning Commission. Additionally, Planning Manager Orozco will send the commission link to the VALUE list and to the General Plan, Zoning Code and Specific Plans.

B. CITY ATTORNEY'S REPORT - NONE

C. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE PLANNING COMMISSION

D. REPORT OF THE SUBCOMMITTEES – None

11. ADJOURNMENT

The meeting was adjourned at 7:40 p.m.

ATTEST:

ERIC BLIND, CHAIR

ATTEST:

Kristin Pollot, AICP
SECRETARY

DRAFT



STAFF REPORT – PLANNING

CITY OF VALLEJO

PLANNING COMMISSION

DATE: October 20, 2025
TO: Planning Commission
FROM: Donna Baarsch, Assistant Planner
SUBJECT: HOLD A PUBLIC HEARING AND CONSIDER ADOPTING A RESOLUTION APPROVING A MAJOR USE PERMIT (PLN25-0098) TO ALLOW LATE-NIGHT HOURS OF OPERATION FOR THE PLANET FITNESS AT 42 SPRINGTOWNE CENTER AND FINDING THE PROJECT EXEMPT FROM CEQA PURSUANT TO CEQA GUIDELINES SECTION 15301 - EXISTING FACILITIES

PROJECT INFORMATION

Project Summary: The project involves a request to increase operating hours from 6 a.m. to 12 a.m to 24 hours a day, seven days a week, for an existing 18,093 square-foot Planet Fitness. The business will have a total of two employees during the overnight hours.

Location: 42 Springtowne Center / APN:0071-061-460

Applicant: Vallejo East Fitness, LLC dba Planet Fitness

Owner: Ethan Conrad

General Plan Land Use Designation: Neighborhood Corridor (NC)

Zoning District: Neighborhood Mixed-Use (NMX)

CEQA: The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1 – Existing Facilities), as it involves an expansion of the hours of operation but no physical alteration of the building.

RECOMMENDATION

Hold a public hearing and consider adopting a resolution approving a major use permit (PLN25-0098) to allow late-night hours of operation for the planet fitness at 42 Springtowne Center and finding the project exempt from CEQA pursuant to CEQA Guidelines Section 15301 - Existing Facilities.

ATTACHMENTS

1.	Staff Report
2.	Proposed Resolution and Conditions Planet Fitness
3.	Major Use Permit Supplemental Information
4.	Planning Application
5.	Project Plans

CONTACT

Donna Baarsch, Assistant Planner (707) 648-4020
Donna.Baarsch@cityofvallejo.net

BACKGROUND AND DISCUSSION

Background:

On May 9, 2025, a building permit was finalized for a tenant improvement to establish a Planet Fitness within an existing 18,093 square foot building in the Springstowne Shopping Center. The use of a fitness center less than 25,000 square feet (classified in the zoning code as an 'Entertainment Facility, small-scale') is considered a permitted use at the location, so no use permit was required to establish the new business.

On May 15, 2025, the project applicant, Vallejo East Fitness, LLC dba Planet Fitness, submitted an application for a Major Use Permit to allow extended late-night hours of operation for an Entertainment Facility, small-scale (Planet Fitness), located at 42 Springstowne Center. After conversations regarding security measures, updated plans reflecting additional measures were resubmitted and subsequently determined to be complete by the City on September 4, 2025.

Location and Land Use Context:

The project site consists of one 1.71-acre parcel located south of Springs Road and is part of the Springstowne Shopping Center. The project site is currently developed with one approximately 18,093 square-foot single-story commercial building.

The immediate vicinity of the project site is characterized by existing commercial and residential uses. Immediately to the north is a parking lot that serves the shopping center with Springs Road just beyond, to the east is a vacant site with commercial buildings and residential uses beyond, to the south is an access alley way with residential uses beyond, and to the west are additional commercial buildings. Interstate 80 (I-80) is approximately 0.75 miles to the west of the project site, which provides regional access, while Springs Road and Oakwood Avenue provide direct access to the project site. The site's General Plan 2040 Land Use Designation is Neighborhood Commercial (NC) (B/LI), which is implemented by the Neighborhood Mixed-Use (NMU) Zoning District (see Figure 1).

Figure 1 – Location and Land Use Context Map

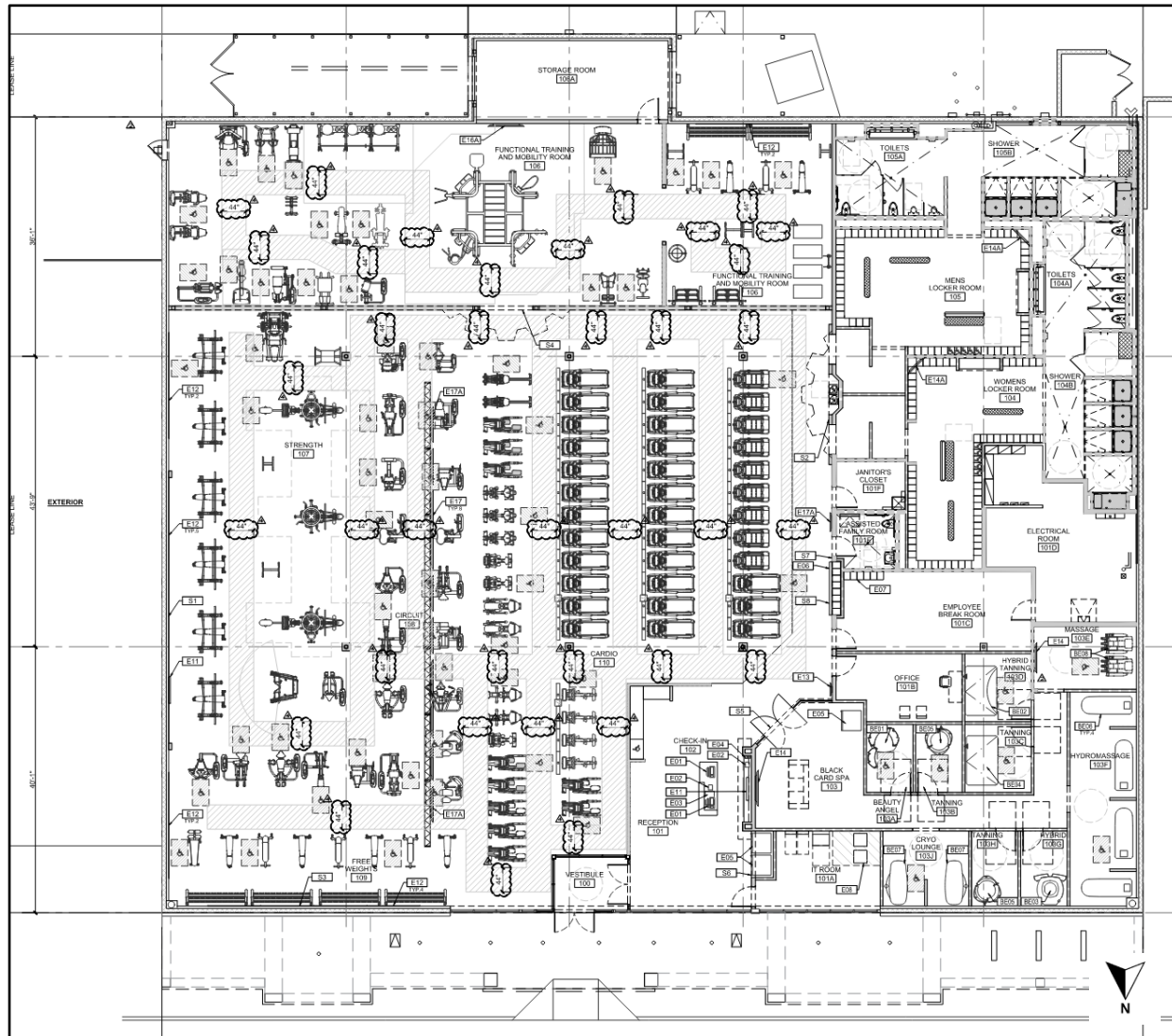


Project Description:

The project involves a request for a Major Use Permit to extend the facility's business hours from 6 a.m. to 12 a.m. to 24 hours per day, seven days a week, for the recently established Planet Fitness. As mentioned above, Planet Fitness occupies approximately 18,093 square feet (see Figure 2). Currently, Planet Fitness has a total of 6 full-time employees and 8 part-time employees. During the late-night hours of operation, between 12 a.m. and 6 a.m., two employees would be working.

Subject: HOLD A PUBLIC HEARING AND CONSIDER THE ADOPTION OF A RESOLUTION FINDING THE PROJECT EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A MAJOR USE PERMIT FOR LATE-NIGHT HOURS OF OPERATION FOR A PLANET FITNESS AT 42 SPRINGTOWN CENTER (APN:0071-061-460)

Figure 2 – Floor Plan



Required Entitlements

Use Permit: The Vallejo Municipal Code (VMC) Section 16.323.02 (A.1) "Major Use Permit Required" states that all late-night business operations located within three hundred feet of a residential zoning district and commenced on or after the effective date of the Zoning Code, shall require a major use permit, as prescribed in Chapter 16.606, Minor and Major Use Permits. As such, the Planning Commission is required to act on the Major Use Permit. The subject use is located approximately 43 feet away from a residential zoning district.

Subject: HOLD A PUBLIC HEARING AND CONSIDER THE ADOPTION OF A RESOLUTION FINDING THE PROJECT EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A MAJOR USE PERMIT FOR LATE-NIGHT HOURS OF OPERATION FOR A PLANET FITNESS AT 42 SPRINGTOWNE CENTER (APN:0071-061-460)

Required Findings

VMC Section 16.606.03 requires the review authority to make the following findings prior to granting a Major Use Permit (the findings are in bold, and staff's determination follows in italics):

- A. The proposed use is conditionally allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning Code and all other titles of the Vallejo Municipal Code.
- B. The proposed use is consistent with the general plan and any applicable specific plan or planned development and any other applicable plans.
- C. The subject parcel is physically suitable for the type of land use being proposed.
- D. The proposed use is compatible with existing and permissible land uses within the zoning district and the general area in which the proposed use is to be located which may include but not be limited to size, intensity, hours of operation, number of employees, or the nature of the operation.
- E. The physical location or placement of the use on the site is compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.
- F. The proposed use and related project features will not create any nuisances arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding ambient conditions and would not otherwise be detrimental to the public interest, health, safety, or general welfare.
- G. The project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.

CODE COMPLIANCE:

I. General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is Neighborhood Corridor (NC). The General Plan characterizes this designation as follows:

The NC designation is intended to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The maximum permitted FAR in the NC designation is 2.0, with minimum residential density of 18 dwelling units per acre up to 30 dwelling units per acre.

The project is consistent with the General Plan 2040 NC designation as it provides a small-scale indoor entertainment facility that offers fitness services to local residents. This use supports the NC designation's intent to provide neighborhood-oriented shops and services catering to the daily needs of the community. The proposed use is conducted entirely indoors, is compatible with the surrounding mixed-use environment, and contributes to the vitality and pedestrian-oriented character envisioned for Neighborhood Corridors. In addition, the project is consistent with applicable General Plan 2040 policies and actions, as illustrated in Table 1 below.

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Table 1 – General Plan 2040 Policies and Actions	
Policies and Actions	Staff's Analysis
Policy CP-1.4: Active Recreation Facilities. Ensure all Vallejo residents are served by convenient and safe active recreation facilities that meet the needs of all ages, abilities, and interest groups.	<i>The proposed 24-hour operation for Planet Fitness supports the City's adopted General Plan 2040 Goal CP-1: Healthy Community, which emphasizes providing convenient and safe active recreation facilities for all Vallejo residents. By offering extended hours, including overnight access, the project expands opportunities for residents, particularly those with non-traditional work hours, to engage in physical activity and maintain healthy lifestyles.</i>
Policy CP-1.5: Active Recreation Programming. Support and expand active recreation programs in Vallejo.	<i>The expansion of hours at Planet Fitness supports Policy CP-1.5 Active Recreation Programming by increasing opportunities for residents to participate in fitness activities beyond traditional hours. The project provides a safe, reliable indoor venue that complements community recreation programs and encourages participation, safety, and social cohesion.</i>
Policy EET-2.1: Economic Diversification. Attract employment- and tax generating businesses that support the economic diversity of the city.	<i>This project includes an existing fitness center that generates employment opportunities and contributes to the City's tax base. The expansion of hours will attract a broader customer base, support long-term business viability, and contribute to the economic diversity of the area by offering a health-oriented service distinct from nearby late-night food and retail establishments.</i>

II. **Zoning Code Compliance**

The project site is zoned Neighborhood Mixed-Use (NMX). The Zoning Code provides the following description for the RC Zoning District:

The NMX Zoning District is intended to create and establish regulations for neighborhood-serving mixed-use areas along the primary commercial corridors of Tennessee Street, Solano Avenue, Springs Road, Broadway, Sonoma Boulevard as well as other areas. Design and development standards will ensure that development at neighborhood nodes, as identified in the General Plan, is appropriately scaled to ensure the physical form relates to and does not overwhelm adjacent single-family residential neighborhoods.

The project is consistent with the NMX zoning district in that it provides a fitness center that serves the surrounding community, including residents with diverse scheduling needs, by offering around-the-clock access to health and wellness services.

STAFF ANALYSIS:

Staff believes that the required findings as listed above can be made for the proposed project. A summary of staff's analysis is included below, with specific analysis associated with each required finding, including a recommended

**Subject: HOLD A PUBLIC HEARING AND CONSIDER THE ADOPTION OF A RESOLUTION
FINDING THE PROJECT EXEMPT FROM CALIFORNIA ENVIRONMENTAL
QUALITY ACT (CEQA) AND APPROVING A MAJOR USE PERMIT FOR LATE-
NIGHT HOURS OF OPERATION FOR A PLANET FITNESS AT 42 SPRINGTOWNE
CENTER (APN:0071-061-460)**

statement of fact, incorporated into the attached resolution.

Late Night Hours of Operation

The proposed hours of operation for the fitness center are 24 hours a day, seven days a week. VMC Section 16.323.01 states that “any business operating between the hours of 12 midnight and 6:00 a.m. [is] subject to the requirements of this [Late Night Business Operations] Chapter,” and Section 16.323.02(A) states that, “All late-night business operations, located within three hundred feet of a residential zoning district, and commenced on or after the effective date of the Zoning Code (July 22, 2021), shall require a major use permit.” The subject property is adjacent to the Residential Medium Density (RMD) zoning district to the east and within 300 feet of the RMD zoning district to the west.

As part of staff’s review of the proposed late-night business operation, an analysis was prepared to compare the hours of operation of businesses within 0.5 miles from the subject site against the project proposal (see Table 2 below):

Table 2 – Hours of Operation Comparison			
	Business Name	Site Address	Days and Hours of Operation
1.	McDonald’s	2565 Springs Rd	Monday – Thursday & Sunday: 6 a.m. to 10 p.m. Friday – Saturday: Open 24 hours
2.	7-Eleven	2580 Springs Rd	Every day – Open 24 hours
3.	Popeyes Louisiana Kitchen	2631 Springs Rd	Every day: 10:30 a.m. to 11 p.m.
4.	PhilHouse	1028 Oakwood Ave	Every day: 7:30 a.m. to 8 p.m.

Additionally, as part of the staff’s review of the proposed late-night business operation, an analysis was prepared to compare the hours of operation of other gym businesses within city limits (see Table 3 below):

Table 3 – Other Gym Hours of Operation Comparison in Vallejo			
	Business Name	Site Address	Days and Hours of Operation
1.	Planet Fitness	3505 Sonoma Blvd Unit 40	Monday – Thursday: Open 24 hours Friday: 12 a.m. to 10 p.m. Saturday & Sunday:

Subject: HOLD A PUBLIC HEARING AND CONSIDER THE ADOPTION OF A RESOLUTION FINDIND THE RPROJECT EXEMEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND APPROVING A MAJOR USE PERMIT FOR LATE-NIGHT HOURS OF OPERATION FOR A PLANET FITNESS AT 42 SPRINGTOWNE CENTER (APN:0071-061-460)

			7 a.m. to 7 p.m.
2.	In-Shape Fitness	124 Lincoln Rd E	Monday – Thursday: 4 a.m. to 11 p.m. Friday: 4 a.m. to 10 p.m. Saturday & Sunday: 6 a.m. to 8 p.m.
3.	City Sports Club	105 Plaza Dr	Monday – Thursday: 5 a.m. to 11 p.m. Friday: 5 a.m. to 10 p.m. Saturday & Sunday: 8 a.m. to 8 p.m.

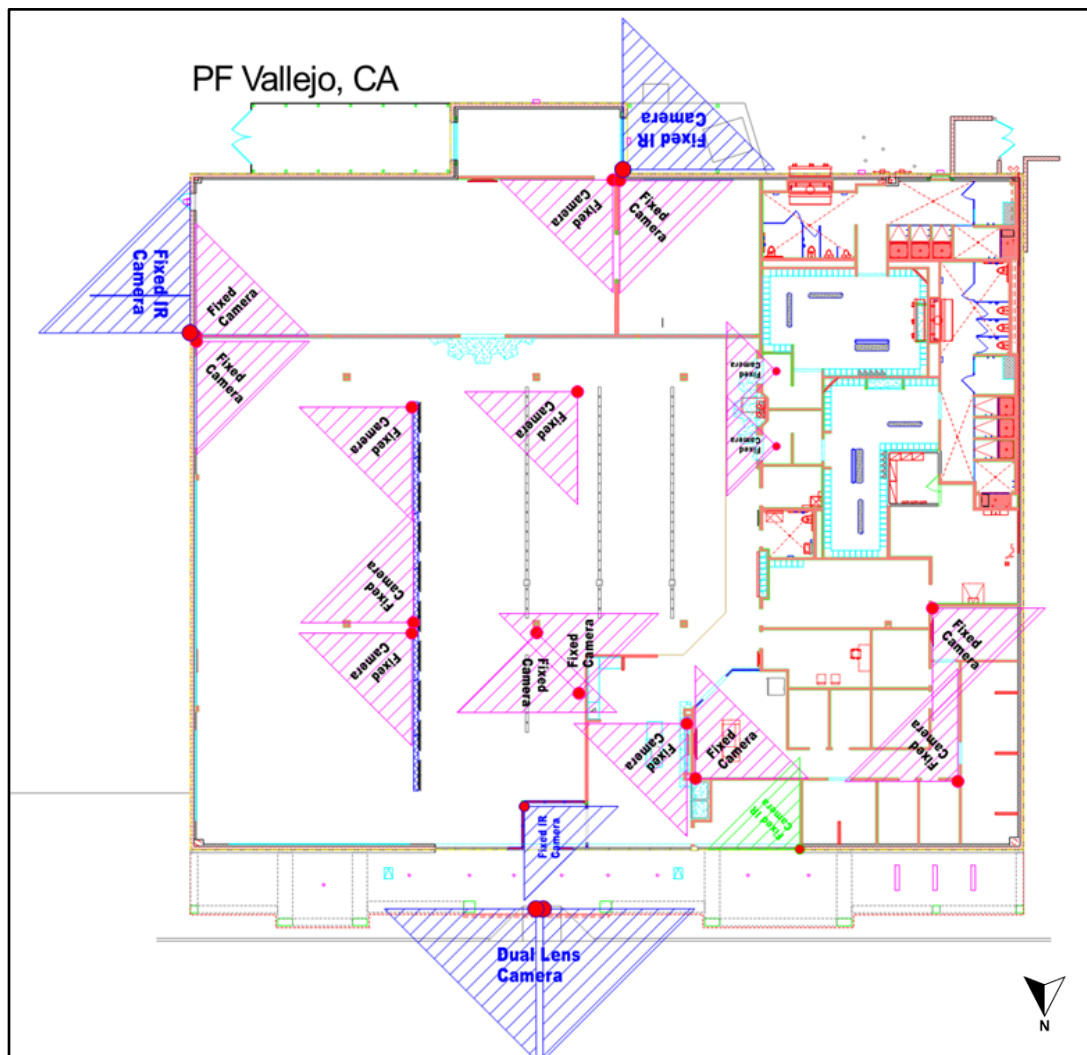
There are a few select businesses around this Planet Fitness location that operate late-night hours, while other nearby businesses with extended or 24-hour operations are primarily fast-food restaurants and convenience stores. The proposed use differs in that it promotes health and wellness by providing a fitness option to residents with diverse schedules.

Based on the analysis above, it can be concluded that the request does not significantly go beyond the typical operating pattern of nearby gyms. It is also worth noting that another Planet Fitness location at 3505 Sonoma Boulevard, on the opposite side of Vallejo, currently operates 24 hours Monday through Thursday, demonstrating that extended fitness hours can successfully function elsewhere in the city. Therefore, the use of a gym with late-night hours is not out of character within the City of Vallejo.

In accordance with standard review procedures, the project plans were routed to the Vallejo Police Department (VPD) for comment. The Police Department initially raised safety concerns related to customer and property security during overnight hours. Following a meeting with City staff, the applicant, and VPD representatives, the applicant agreed to incorporate additional safety measures, including enhanced exterior lighting and security cameras, to mitigate these concerns (See Figure 3).

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Figure 3 – Proposed Camera Plan



The applicant has also agreed to conditions of approval requiring improved lighting and security cameras at building entrances, exits, and key outdoor areas to address safety concerns identified by the Vallejo Police Department. With these measures in place, staff find that the proposed 24-hour fitness use can be considered compatible with surrounding uses and supportive of the community's broader health and wellness needs.

ENVIRONMENTAL REVIEW

Under the California Environmental Quality Act, the State has identified a list of classes of projects which have been determined to not have a significant effect on the environment and are therefore exempt from the requirements of CEQA. The proposed project is exempt under CEQA Guidelines, Section 15301(a) (Class 1 "Existing Facilities") due to the project involves no physical expansion of the building and only a minor alteration in the hours of operation.

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Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

NOTICE AND COMMENTS

On August 28, 2025, pursuant to VMC Section 16.602.08, a notice of this hearing was published in the Times Herald. On August 29, 2025 a notice of this public hearing was mailed to all active neighborhood groups, the property owner, all property owners within 500 feet of the subject property, and any other interested parties, Vallejo City Unified School District, local agencies expected to provide water, wastewater treatment, and/or other essential facilities or services to the project and electronically mailed to members of the Planning Commission and the applicant.

Staff has not received any comments or questions from the public on the application as of writing this staff report.

CONCLUSION

Based on the analysis contained in this staff report and the project's consistency with General Plan 2040 and the Vallejo Municipal Code, staff recommends that the Planning Commission find the project exempt from environmental review under CEQA pursuant to Guidelines Section 15301 and approve Major Use Permit (PLN25-0098), subject to the Conditions of Approval provided as Exhibit A to the Resolution.

EXPIRATION

Pursuant to VMC Section 16.602.12 (A.2), the approval of the Major Use Permit (PLN25-0098) shall automatically expire two years after approval, unless authorized construction has commenced prior to the expiration date (October 20, 2027; if approved at this meeting and not appealed).

APPEAL PROCEDURE

Pursuant to VMC Section 16.602.14, the applicant, or any party adversely affected by the decision of the Planning Commission may, within ten days after the rendering of the decision of the Planning Commission, appeal in writing to the City Council by filing a written appeal with a fee as prescribed in the Master Fee Schedule with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the project boundary. The Council may affirm, reverse, or modify any decision of the Planning Commission that is appealed.

**Subject: HOLD A PUBLIC HEARING AND CONSIDER THE ADOPTION OF A RESOLUTION
FINDING THE PROJECT EXEMPT FROM CALIFORNIA ENVIRONMENTAL
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NIGHT HOURS OF OPERATION FOR A PLANET FITNESS AT 42 SPRINGTOWNE
CENTER (APN:0071-061-460)**

LEVINE ACT: GOVERNMENT CODE 84308

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$500 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$500 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$500 made to the City Officers, such as the Mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$500 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

CITY OF VALLEJO PLANNING COMMISSION

RESOLUTION NO. PC 25-XX

**A RESOLUTION OF THE PLANNING COMMISSION APPROVING A MAJOR USE PERMIT
(PLN25-0098) TO ALLOW LATE-NIGHT HOURS OF OPERATION FOR THE PLANET
FITNESS LOCATED AT 42 SPRINGTOWNE CENTER AND FINDING THE PROJECT EXEMPT
FROM CALIFORNIA ENVIRONMENT QUALITY ACT (CEQA) PURSUANT TO CEQA
GUIDELINES SECTION 15301 – EXISTING FACILITIES**

(APN: 0071-061-460)

WHEREAS, on August 29, 2017, the City Council adopted General Plan 2040; and

WHEREAS, on June 22, 2021, the City Council adopted a new Zoning Code and Zoning Map; and

WHEREAS, on May 9, 2025, a building permit was finalized for a tenant improvement to establish a Planet Fitness within an existing 18,093 square foot building in the Springtowne Shopping Center, located at 42 Springtowne Center. The use of a fitness center less than 25,000 square feet (classified in the Zoning Code as an 'Entertainment Facility, small-scale') is considered a permitted use at the location, so no use permit was required to establish the new business; and

WHEREAS, on May 15, 2025, the project applicant, Vallejo East Fitness, LLC dba Planet Fitness, submitted an application for a Major Use Permit to allow extended late-night hours of operation for the existing Entertainment Facility, small-scale (Planet Fitness), located at 42 Springtowne Center (the "Project"); and

WHEREAS, on September 4, 2025, the Project was determined to be complete for processing; and

WHEREAS, the subject property has a General Plan 2040 land use designation of Neighborhood Corridor (NC) and is located in the Neighborhood Mixed-Use (NMX) Zoning District; and

WHEREAS, on September 28, 2025, pursuant to Vallejo Municipal Code Section 16.602.08(A), notice of the Planning Commission hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property, the Vallejo City Unified School District and any other local agency expected to provide water, wastewater treatment, streets, roads, schools, or other essential facilities or services to the project, and electronically mailed to the members of the Planning Commission, the property owner, and to the Project applicant; and

WHEREAS, on October 20, 2025, at 7 p.m., the City of Vallejo Planning Commission, after giving all public notices required by State law and the City of Vallejo Municipal Code, conducted a duly noticed public hearing regarding the Project.

NOW, THEREFORE, LET IT BE RESOLVED that the Planning Commission hereby finds, determines and resolves as follows:

Section 1. Recitals.

The foregoing recitals are true and correct, and the same are incorporated herein by reference.

Section 2. Record

The Record of Proceedings ("Record") upon which the Planning Commission decision includes, but is not limited to: the application, including all designs, plans, studies, data and correspondence submitted to the City in connection with the Project; all staff reports, other documentation and information produced by or on behalf of the City in connection with the Project; all documentary and oral evidence received at the public hearings regarding the Project; all matters of common knowledge and all official enactments and acts of the City, including without limitation: (a) the City of Vallejo General Plan 2040 and its related EIR; (b) the 2021 Zoning Code and its Initial Study and Mitigated Negative Declaration; (c) the Vallejo Municipal Code; (d) all designs, plans, studies, data and correspondence submitted to the City in connection with the Project; (e) all documentary and oral evidence received at the public hearing regarding the Project; (f) other applicable City of Vallejo policies and regulations; and (g) all applicable state and federal laws, rules, regulations, reports, records and projections related to development within the City of Vallejo and its surrounding areas.

The Custodian of Record is the Director of the Planning and Development Services of the City of Vallejo, 555 Santa Clara Street, Vallejo, California 94590.

Section 3. California Environmental Quality Act Findings

Under the California Environmental Quality Act, the State has identified a list of classes of projects which have been determined to not have a significant effect on the environment and are therefore exempt from the requirements of CEQA. The proposed project is exempt under CEQA Guidelines Section 15301(a) (Class 1, "Existing Facilities") because it would allow the existing fitness center to operate 24 hours per day from its existing hours of 6 a.m. to 12:00 a.m. and does not involve any interior or exterior modifications of the building.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

Section 4. Major Use Permit Findings

- 1. The proposed use is conditionally allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning Code and all other titles of the Vallejo Municipal Code.**

Facts in Support: The proposed request aligns with the Neighborhood Mixed Use (NMX) zoning district regulations outlined in Vallejo Municipal Code (VMC) Table 16.301-A, which permits an Entertainment Facility, small scale (less than 25,000 square feet). VMC Section 16.323.02 (A) Major Use Permit Required states, "all late-night business operations, located within three hundred feet of a residential zoning district, and commenced on or after the effective date of the Zoning Code (July 22, 2021), shall require a major use permit, as prescribed in Chapter 16.606, Minor and Major Use Permits." The project complies with Title 16 and all other applicable provisions of the Zoning Code and VMC, including requirements related to parking, access, and operations. With the inclusion of conditions requiring exterior lighting and security cameras to address public safety during late-night operations, the proposed use remains consistent with the intent and standards of the NMX district.

2. The proposed use is consistent with the General Plan and any applicable Specific Plan or Planned Development and any other applicable plans.

Facts in Support: The subject parcel has a General Plan land use designation of Neighborhood Commercial (NC). The NC designation promotes pedestrian-oriented neighborhood “main streets” with an emphasis on services catering to local residents. Permitted uses include retail, personal services, and other indoor uses compatible with a neighborhood-oriented mixed-use environment. The existing Small-scale Indoor Entertainment Facility, small-scale (less than 25,000 square feet) is consistent with the NC designation, as it provides a service use conducted entirely indoors that supports community health and wellness. With conditions of approval requiring enhanced exterior lighting and security measures, the use will remain compatible with the surrounding mixed-use and residential context. Furthermore, this project is consistent with the following general plan policies:

- CP-1.4 ensuring convenient and safe active recreation facilities serve all Vallejo residents.
- CP-1.5 supports and expands active recreation programs in Vallejo.
- EET-2.1 attracting employment- and tax-generating businesses, economic diversification.

There is no Specific Plan or Planned Development applicable to the proposed Project.

3. The subject parcel is physically suitable for the type of land use being proposed.

Facts in Support: The subject parcel, located at 42 Springstowne Center within the NMX zoning district, is physically suitable for the proposed late-night business operations. The site is developed with an existing commercial building that accommodates the fitness center and provides adequate infrastructure, including parking, vehicular access, and utility services.

No additional construction or physical modification of the site is required to accommodate the proposed extended hours.

4. The proposed use is compatible with existing and permissible land uses within the zoning district and the general area in which the proposed use is to be located which may include but not be limited to size, intensity, hours of operation, number of employees, or the nature of the operation.

Facts in Support: The proposed late-night use is located within the NMX zoning district and is surrounded by other NMX and Residential Medium Density (RMD) zones. While the request for extended hours represents a higher intensity of use compared to nearby residential and commercial operations, the proposed use can be considered compatible with surrounding land uses subject to the required conditions of approval.

Specifically, the applicant will maintain adequate lighting at all points of entry and exit and provide security cameras for public safety. These measures will help address concerns related to crime and customer safety during late-night operations, thereby ensuring that the proposed use remains consistent with the intent of the NMX district and compatible with adjacent residential and commercial uses

5. The physical location or placement of the use on the site is compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.

Facts in Support: The proposed Entertainment Facility, small-scale, with extended late-night hours is located within the NMX zoning district and surrounded by other NMX and RMD zones.

While extended hours represent a higher intensity compared to some nearby uses, the proposed use is considered compatible with surrounding land uses subject to conditions of approval. Specifically, the applicant must maintain adequate lighting at all entry and exit points and provide security cameras for public safety. These measures address concerns related to crime and customer safety during late-night operations, ensuring compatibility with adjacent residential and commercial uses.

- 6. The proposed use and related project features will not create any nuisances arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding ambient conditions and would not otherwise be detrimental to the public interest, health, safety, or general welfare.**

Facts in Support: The proposed late-night hours will not generate odors, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding ambient conditions. As proposed and conditioned, the use will not be detrimental to the public interest, health, safety, or general welfare.

- 7. The project has been reviewed in compliance with the California Environmental Quality Act (CEQA), if applicable, and the requirements of this Chapter.**

Facts in Support: See Section 3 above.

Section 5. Decision

BE IT FURTHER RESOLVED that the Planning Commission hereby approves Major Use Permit (PLN25-0098) based on the above findings and subject to the conditions of approval set forth in Exhibit A, attached hereto, and the time limitations and indemnity below.

Section 6. Time Limitations & Indemnity

- a) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees from any claim, action, or proceeding brought against the City or its agents, officers, attorneys, or employees to attack, set aside, void, or annul the action(s) at issue herein. This indemnification shall include damages or fees awarded against the City, if any, costs of suit, attorneys' fees, and other costs and expenses incurred in connection with such action whether incurred by the Applicant, the City, and/or parties initiating or bringing such action.
- b) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees for all costs incurred in additional investigation of or study of, or for supplementing, preparing, redrafting, revising, or amending any document, if made necessary by said legal action and the Applicant desires to pursue securing such approvals, after initiation of such litigation, which are conditioned on the approval of such documents in a form and under conditions approved by the City Attorney.
- c) In the event that a claim, action, or proceeding described in paragraphs a. or b. above is brought, the City shall promptly notify the Applicant of the existence of the claim, action, or proceeding, and the City will cooperate fully in the defense of such claim, action, or proceeding. Nothing herein shall prohibit the City from participating in the defense of any claim, action, or proceeding; the City shall retain the right to: (1) approve the counsel to so defend the City; (ii) approve all significant decisions concerning the manner in which the defense is conducted; and (iii) approve any and all settlements, which approval shall not be unreasonably withheld. The City shall also have the right not to participate in said

defense, except that the City agrees to cooperate with the Applicant in the defense of said claim, action, or proceeding. If the City chooses to have counsel of its own to defend any claim, action, or proceeding where the Applicant has already retained counsel to defend the City in such matters, the fees and expenses of the counsel selected by the City shall be paid by the City. Notwithstanding the immediately preceding sentence, if the City Attorney's Office participates in the defense, all City Attorney fees and expenses shall be paid by the Applicant.

- d) The Applicant, property owner and/or any successor(s) in interest, whether in whole or in part, to either of them, indemnifies the City for the City's costs, fees, and damages which the City incurs in enforcing the above indemnification provisions.
- e) Pursuant to VMC Section 16.602.14, the Applicant, or any party adversely affected by the decision of the Planning Commission may, within ten days after the rendering of the decision of the Planning Commission, appeal in writing to the City Council by filing a written appeal with a fee as prescribed in the Master Fee Schedule with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Vallejo, State of California, on the 20th day of October 2025 by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

ERIC BLIND, CHAIRPERSON
City of Vallejo Planning Commission

Attest:

KRISTIN POLLOT, AICP, SECRETARY
City of Vallejo Planning Commission

Exhibits: Ex. A - Conditions of Approval

EXHIBIT "A"
CONDITIONS OF APPROVAL
MAJOR USE PERMIT (PLN25-0098)
42 SPRINGTOWNE CENTER
(APN: 0071-061-460)

PERMIT DESCRIPTION: The project consists of a Major Use Permit request for late-night business (24-hours, seven days a week) hours of operation for Planet Fitness. (APN: 0071-061-460).

A. PLANNING DIVISION

Staff contact: Donna Baarsch, Assistant Planner
Donna.Baarsch@cityofvallejo.net | 707.648.4020

Project Specific Conditions

1. **Exterior Lighting.** The applicant shall maintain adequate exterior lighting at all points of building entry and exit, and within adjacent parking areas, to ensure visibility and promote public safety during all hours of operation. Lighting shall be designed and maintained to prevent glare or spillover onto adjacent residential properties.
2. **Security Cameras.** The applicant shall install and maintain a security camera system providing continuous video coverage of all building entrances, exits, and parking areas. The system shall retain recordings for a minimum of 30 days and make them available to the Vallejo Police Department upon request.
3. The business operator shall be responsible for maintaining the peace and order on the premises. Should the business experience loitering, noise, public disturbances or incidents of violence, and in the event that the business necessitates an increased police presence, the Chief of Police may require the business operator to provide additional public safety measures, including but not limited to, additional video cameras, additional exterior lighting, hiring licensed and bonded security guards approved by the Police Department, or such other measures as determined necessary by the Chief of Police. Any such required additional measures shall be at the business operator's sole expense.

Lighting

4. Lighting shall be designed, located, and installed to be directed downward or toward structures, be shielded or fully shielded, and shall be well-maintained in order to prevent glare, light trespass (unwanted light on adjacent lots and public rights-of-way), and light pollution to the maximum extent feasible. No permanently installed lighting shall blink, flash, or be of unusually high intensity or brightness, as determined by the Director. (VMC Section 16.506.04 (B))
5. **Maximum Height.** Outdoor light standards shall not exceed 170 feet when a non-residential zoning district is within 20 feet of a residential zoning district.
6. **Timing.** All outdoor lighting in non-residential zoning districts shall be turned off during daylight hours and during any hours when the building is not in use and the lighting is not required for security. Time clocks or photo-sensor systems may be required as a condition of approval of a discretionary permit. (VMC Section 16.506.04 (D))
7. **Energy Efficiency.** Outdoor lighting shall use energy-efficient fixtures/lamps.

8. For safety and security, during business hours, all areas having frequent vehicular and pedestrian traffic shall be equipped with a lighting device providing a minimum one-foot candle of light at ground level during the hours of darkness.
9. Maintenance. Fixtures and lighting shall be maintained in good working order and in a manner that serves the original design intent.
 - a. Burnt out and broken light bulbs shall be replaced.
 - b. Lighting fixtures shall be periodically cleaned and refinished or repainted so as to be free of graffiti and rust, with surfaces free of chipping and peeling.

General Requirements

10. The entitlement of Major Use Permit shall automatically expire within two years of the effective date of this approval, on October 20, 2027, unless the use is exercised or extended (VMC Section 16.602.12 (A)).
11. The Director may approve a one-year extension of any permit or approval granted for a residential or non-residential project under the Zoning Code upon receipt of a written application and fees received fifteen calendar days before the expiration date with the required fee prior to expiration of the permit. (VMC Section 16.602.11 (C.1))
12. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

Major Use Permit Supplemental Information

If you are applying for the sale of alcoholic beverages, you must also complete "Off-Site Sale of Alcohol Supplemental Questionnaire".

PROJECT INFORMATION

PROPERTY ADDRESS 42 Springtowne Center

ASSESSOR'S PARCEL NO. 0071061460

PURPOSED USE

DESCRIPTION OF PROPOSED USE (include products/services provided, alcohol sales, etc.)
Fitness center to be operated 24-hours per day

Additional Licenses/Approvals Required: State: N/A Regional N/A

BUILDINGS

Existing Gross Floor Area 18,093 Portions Thereof to be Used 100% New Construction 0 sf

PARKING Current Spaces approx. 563 Proposed Spaces same
shared with tenants in center

TYPICAL OPERATION – Complete for all uses, as applicable.

Days of Operation 7 Hours of Operation 24 hour

Number of Full-time Employees 6 Number of Part-Time Employees 8

Outdoor Activities (storage, work areas, etc.) N/A

Hazardous or Volatile Materials N/A

SUPPLEMENTAL INFORMATION FOR SELECTED USES

Medical Services: # of Full-time Practitioners N/A # of Additional Full-time Employees

Religious Assembly: Number of Fixed Seats (20" of pew = 1 seat) or Gross Floor Area w/o seats

Day Care: Name & Address of Agency of Licenses Operator & Facility
N/A

Maximum Number of Persons to be cared for Under the License N/A

Number of Persons Residing Full-time in the Facility N/A



www.cityofvallejo.net

Central Permit Center • 555 Santa Clara Street • Vallejo • CA • 94590

Business License
707.648.4357

Building
707.648.4374

Planning
707.648.4326

Public Works/Engineering
707.651.7151

PLANNING APPLICATION

Date Accepted: _____
Intake Planner: _____

- | | | | |
|---|--|--|---|
| ☐ Certificate of Appropriateness | ☐ Exception | ☐ Planned Development | ☐ Zoning Amendment |
| ☐ Certificate of Compliance | ☐ General Plan Amendment | ☐ Preliminary Review | ☐ Zoning Compliance |
| ☐ Certificate of Conformity | ☐ Landscape Review | ☐ Specific Plan | ☐ Zoning Verification Letter |
| ☐ Design Review | ☐ Lot Line Adjustment | ☐ Temp. Use Permit | ☐ Other _____ |
| ☐ Development Agreement | ☒ Major/Minor Use Permit | ☐ Tentative Map | |
| ☐ Development Review | ☐ Parcel Map | ☐ Variance | |

PROJECT SUMMARY

(Please complete detailed supplemental page)

Project Address/Location 42 Springtowne Center		Assessor's Parcel Number (APN) 0071061460
General Plan Designation Neighborhood Corridor	Zoning District Neighborhood Mixed Use	Historic District N/A
Project Description: Fitness center to be operated 24-hours per day		

APPLICANT INFORMATION

OWNER INFORMATION

Applicant Name EKN Engineering c/o Andrew Davies			Owner Name Ethan Conrad		
Applicant Address 17780 Fitch			Owner Address 1300 National Drive, STE. 100		
City Irvine	State CA	Zip 92618	City Sacramento	State CA	Zip 95834
Phone		Cell 714.398.7150	Phone 916-779-1000		Cell
Email adavies@ekengineering.com			Email ethan@ethanconradprop.com		

I hereby certify the truth of this application and acknowledge that any inaccuracies in it shall, at the City's option, result in automatic invalidation of the action based thereon and that final approval is dependent on compliance with the City's requirements.

Signature of Owner: _____ Date: 05/12/2025

Signature of Applicant: _____ Date: 5/12/25

FOR PLANNING DIVISION USE ONLY	PROJECT TYPE	ESTIMATED FEES
APPLICATION NAME/NUMBER:		
PLANNER:		
ASSOCIATED FILES:		

(Please see Reverse)

Indemnification Agreement

42 Springtowne Center

Project Address

The applicant agrees, as part of the application, to defend, indemnify, and hold harmless the City, its City Council members, boards and commissions, officers, officials, appointees, consultants, agents, and employees (collectively, "City Indemnitees") from and against any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City indemnitees to attack, set aside, void, or annul:

- a. Any approval of the application(s) by any City indemnitee; and/or
- b. An action taken to provide environmental clearance under the California Environmental Quality Act ("CEQA") by any City indemnitee.

Said obligation to indemnify City Indemnitees includes but is not limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City, and/or the parties initiating or bringing such proceeding. The applicant further agrees to indemnify the City for all of the City's costs, fees, and damages which the City incurs in enforcing this Agreement.

The applicant further agrees to defend, indemnify and hold harmless the City indemnitees for all costs incurred in additional investigation of or study of, or for supplementing, redrafting, revising, or amending any document (such as an EIR, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue securing such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

I have read and agree with all of the above.

Andrew Davies

Applicant (please print name)



Applicant signature

5/12/25

Date

Ethan Conrad

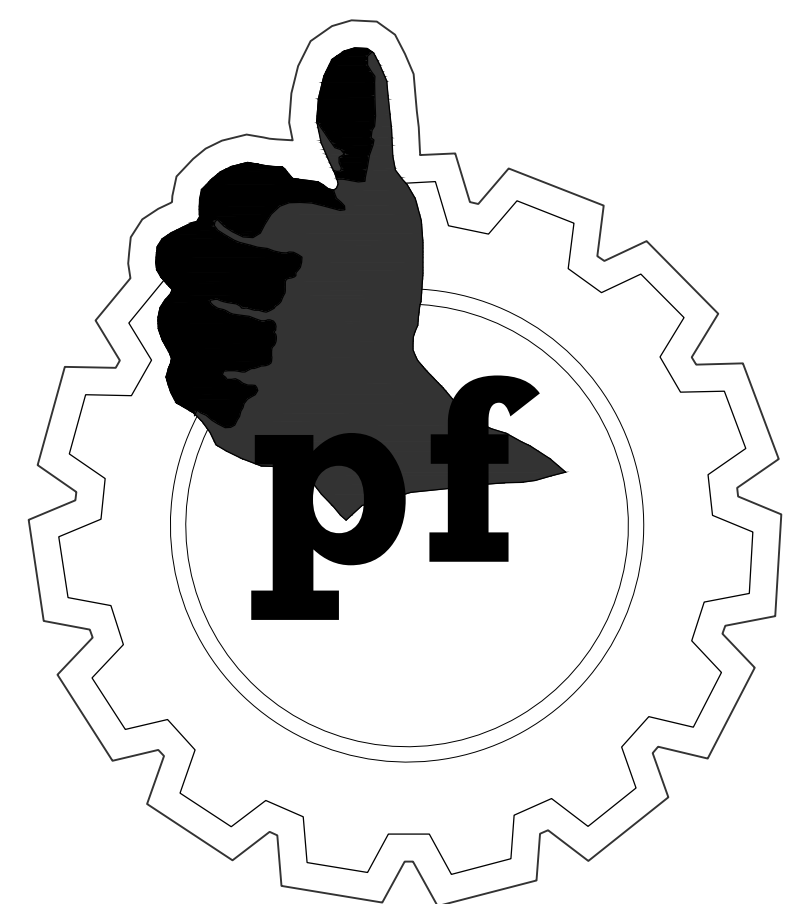
Property owner name (if different from the applicant)



Property owner signature (if different from the applicant)

05/12/2025

Date



planet fitness

VALLEJO, CA

LOCATION NUMBER: 5205

CLIENT REVIEW08.26.2024

ISSUE FOR PERMIT08.29.2024

CLARIFICATIONS REV109.03.2024

SITE CONDITIONS REV210.31.2024

PLUMBING CLARIFICATION REV311.26.2024

BUILDING DEPARTMENT COMMENTS REV412.30.2024

PLUMBING CLARIFICATION REV501.14.2025

42 Springtowne Center, Vallejo, CA 94591

(SARGENTI ARCHITECTS) PROJECT NUMBER: 11329-24

TENANT
Taymax Group Acquisition, LLC
a Planet Fitness Franchisee
16 Via Toscana, Suite 302
Salem, NH 03079
Attn: Randy Adam
Position: Senior Construction Project Manager
T: 210-428-5708
E: radam@taymaxgroup.com

ARCHITECT
SARGENTI ARCHITECTS
461 From Road, Second Floor
Paramus, NJ 07652
Attn: Andreia Gomes
Position: Senior Project Manager
T: 201-280-5462
E: agomes@sargarch.com
Attn: Issel Garcia
Position: Project Manager
T: 551-302-5612
E: igarcia@sargarch.com

MEP ENGINEER
SCHNACKEL ENGINEERS, INC.
127 W 30th Street, 9th Floor
New York, NY 1001
Attn: Jae Lee
Position: Project Manager
T: 646-952-7008
E: jlee@schnackel.com

STRUCTURAL ENGINEER
STRIVEENGINEERING GROUP, INC.
6330 Amherst Court, Suite 220
NorCross, GA 30092
Attn: Brandon Humeston, P.E.
Position: Senior Project Manager
T: 951-537-8572
E: bhumeston@striveeng.com

LANDLORD
Ethan Conrad Properties
1300 National Drive, Suite 100
Sacramento, CA. 95834
Attn: Chris Campbell
T: 916-779-1000
E: chris.cambell@cbre.com

BUILDING DEPARTMENT
City of Vallejo, CA.
555 Santa Clara St.
Vallejo, CA. 94590
T: 707-648-4328
E: -@vallejo.gov



THIS DOCUMENT IS THE PROPERTY OF THE OWNER AND IS NOT TO BE USED WITHOUT THEIR WRITTEN PERMISSION.

Architect Seal / Signature

Engineer Seal / Signature

Date	Description
08/26/24	CLIENT REVIEW
08/29/24	ISSUE FOR PERMIT

01/14/25	PLUMBING CLARIFICATION
12/30/24	BD COMMENTS
11/26/24	PLUMBING CLARIFICATION
10/31/24	SITE CONDITIONS
09/03/24	CLARIFICATIONS

Project Name
VALLEJO, CA

Total Square Footage
18,093 SQ.FT.

Project Number
11329-24

Description
COVER SHEET

Scale: AS NOTED

G-000

1. FINAL LOCATION AND NUMBER OF PORTABLE FIRE EXTINGUISHERS TO BE APPROVED BY THE FIRE MARSHALL. THE G.C. SHALL VERIFY REQUIREMENTS WITH THE LOCAL AUTHORITIES PRIOR TO PLACEMENT.
2. ALL FIRE EXTINGUISHERS TO BE MINIMUM 2A:10B:C.

1. MAINTAIN 44" CLEAR AISLE MINIMUM ALONG ALL EGRESS PATHS.

27" MIN.

4" MAX.

NEW FIRE EXTINGUISHER. G.C. TO VERIFY SHALL VERIFY REQUIREMENTS WITH LOCAL AUTHORITIES PRIOR TO PLACEMENT

	COLUMN TAG		PORTABLE WALL/CABINET MOUNTED FIRE EXTINGUISHER
	ACCESSIBLE AREA OR EXIT		DIRECTIONAL EXIT SIGN
	EXIT SIGN		BATTERY BACK-UP EMERGENCY LIGHTING
----	LINE OF CEILING / HEADER ABOVE (SEE PLANS)		SMOKE DETECTOR
	GLAZED AREA		SPEAKER
	EXISTING DOOR		NEW DOOR
	DIRECTION OF EGRESS TRAVEL (MINIMUM 44" WIDE)		AREA NOT IN CONTRACT (N.I.C.)
XX →	DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANCY LOAD		EXIT CAPACITY ALLOWABLE

(11B-703.7.2.5 TOILET AND BATHING FACILITIES GEOMETRIC SYMBOLS)

- | | |
|---|--|
| 1 | G.C. TO PROVIDE A TRIANGLE SYMBOL SHALL BE LOCATED AT ENTRANCES TO MEN'S AND WOMEN'S LOCKER ROOM ENTRY @ SHOWERS AND BATHING FACILITIES. THE TRIANGLE SHALL BE BLUE OR EQUIVALENT COLOR. THE TRIANGLE SHALL BE 12 INCHES (305 MM) LONG AND A VERTEX POINTING UPWARD. THE COLOR OF THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE COLOR OF THE DOOR OR SURFACE ON WHICH THE TRIANGLE SYMBOL IS MOUNTED, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. |
| 2 | G.C. TO ENSURE THE USE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH FIGURE 11B-703.7.2.1. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE PS 15090 IN FEDERAL STANDARD 595C. THE SYMBOL SHALL BE 18 INCHES (457 MM) LONG AND 18 INCHES (457 MM) WIDE. THE MINIMUM REQUIRED ADJACENT SYMBOL OF ACCESSIBILITY DIMENSION. SEE DETAIL G-200. |
| 3 | A SIGN STATING EXIT IN VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH DETAIL 11B-703.7 AND 11B-703.11.7.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY OR RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE. |
| 4 | G.C. TO PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGNAGE AS PER 2022 CBC SECTION 1013.4 COMPLYING WITH 2022 CBC 11B-703.4.2 AT LOCATIONS |
| 5 | A SIGN STATING THE MAXIMUM OCCUPANCY LOAD OF THE OPEN GYM WITH VISUAL CHARACTERS, RAISED CHARACTERS AND CHARACTERS THAT CONTRAST WITH THE BACKGROUND COMPLYING WITH CFC 1004.3 SHALL BE PLACED IN A CONSPICUOUS PLACE NEAR THE ENTRANCE TO THE GYMNASIUM. |

(PER CBC TABLE 1004.5)

ROOM NUMBER	ROOM NAME	AREA	OCCUPANCY	OCCUPANCY FACTOR	ROOM CAPACITY
100	VESTIBULE	101 SF	B	150	4
101	RECEPTION	580 SF	B	150	1
101A	IT ROOM	218 SF	S	300	1
101B	OFFICE	192 SF	B	150	2
101C	EMPLOYEE BREAK ROOM	363 SF	B	150	3
101D	ELECTRICAL ROOM	468 SF	U	300	1
101E	ASSISTED FAMILY ROOM	94 SF	B	150	2
101F	JANITOR'S CLOSET	85 SF	B	150	1
102	CHECK IN	13 SF	B	150	1
103	BLACK CARD SPA	1,822 SF	B	150	13
104	WOMEN'S LOCKER ROOM	599 SF	A-3	50	12
104A	WOMEN'S TOILETS	289 SF	B	150	2
104B	WOMEN'S SHOWERS	377 SF	B	150	3
105	MEN'S LOCKER ROOM	627 SF	A-3	50	13
105A	MEN'S TOILETS	332 SF	B	150	3
105B	MEN'S SHOWERS	430 SF	B	150	3
106	FUNC. TRAINING AND MOBILITY ROOM	2,891 SF	A-3	50	58
106A	STORAGE ROOM	514 SF	S	300	2
107, 108, 109, 110	STRENGTH CIRCUIT, FREE WEIGHTS, CARDIO	8,139 SF	A, A-3	50	163
GRAND TOTAL		18,093 SF			288

FLOOR AREA IN SQUARE FEET PER OCCUPANCY TYPE:

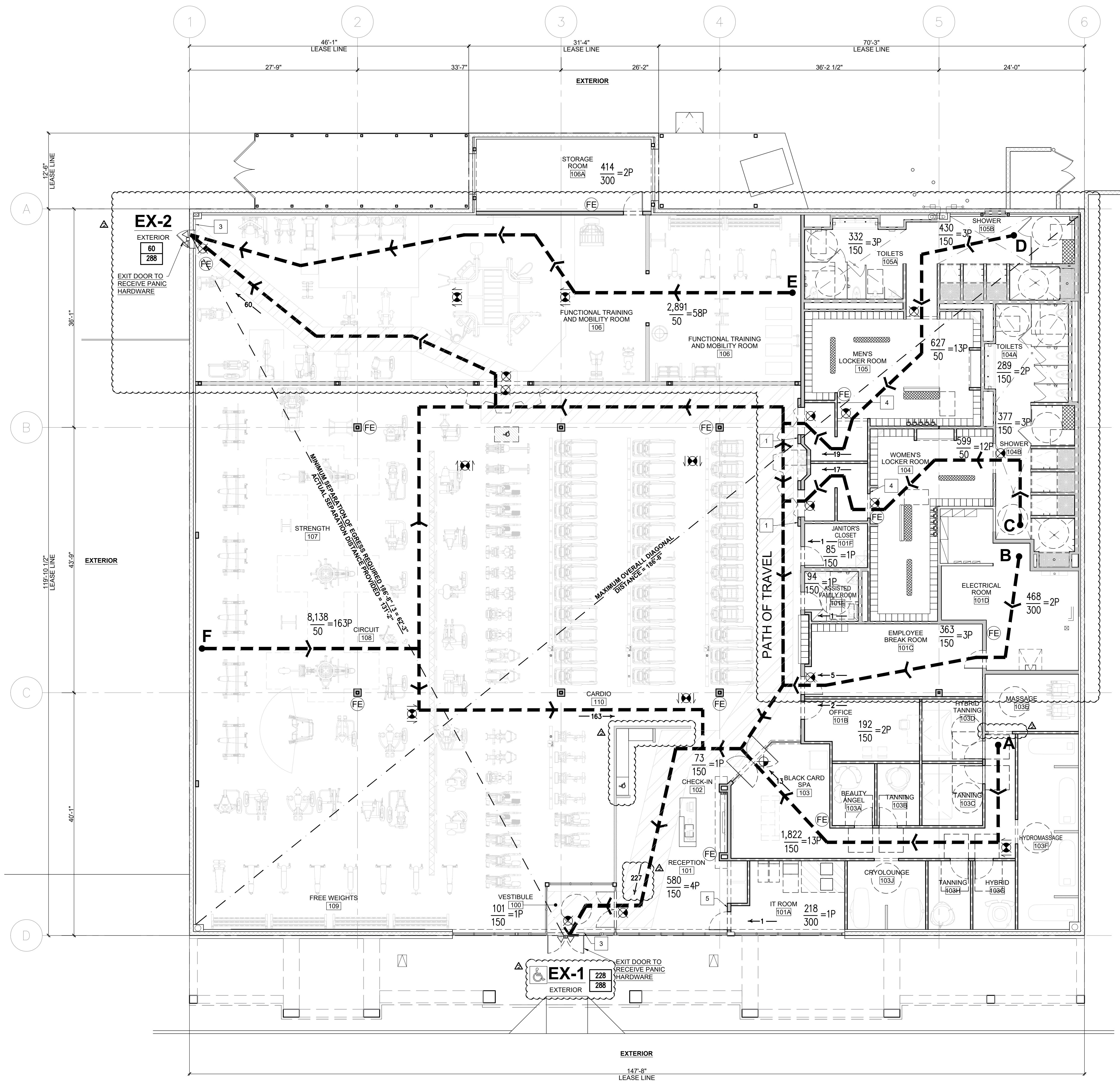
(B) BUSINESS = 150 GROSS S.F. / PERSON.
(A-3) EXERCISE EQUIPMENT ROOM = 50 GROSS S.F. / PERSON.
(S) STORAGE = 300 GROSS S.F. / PERSON.
(U) UTILITY AND MISCELLANEOUS = 300 GROSS S.F. / PERSON

MEANS OF EGRESS REQ:
 MAX. TRAVEL DISTANCE: 250' FT (WITH SPRINKLER SYSTEM) PER TABLE 1017.2
 MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE : 75 FT FOR SPACES SERVING LESS
 THAN 50 OCCUPANTS PER TABLE 1030.8, EXCEPTION 1.
MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANCY (TABLE 1004.5):
 PROPOSED TENANT AREA 18,093 GROSS S.F.
 DIAGONAL DISTANCE: 186'-8"
 MIN. REQ. SEPARATION = 1/3 DIAGONAL = (1/3) / (186'-8") = 62'-3"
 PROVIDED SEPARATION: 131'-2"

- ▲ CBC TABLE 1006.2.1:
 NUMBER OF EXITS REQUIRED = 2
 ▲ EGRESS CAPACITY, EGRESS WIDTH/EGRESS UNIT: (AVAILABLE DOORS = 1@ 72" AND 1 @ 36" = 108" / 0.2 PER PERSON) = 540 OCCUPANTS
 ▲ NUMBER OF EXITS PROVIDED = 2
 EXIT 1
 (AVAILABLE DOORS = 1 @ 72" / 0.2 PER PERSON) = 360 OCCUPANTS
 ASSIGNED = 228 PERSONS
 EXIT 2
 (AVAILABLE DOORS = 1 @ 36" / 0.2 PER PERSON) = 180 OCCUPANTS
 ASSIGNED = 60 PERSONS

DEAD-END CORRIDOR LIMIT : 20 FT WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED. (IBC SECTION 1020.5)

STARTING POINT	EXIT #1	EXIT #2		DISTANCE TO COMMON PATH OF EGRESS	NOTES
A	117'-2"	-			
B	118'-3"	-			
C	153'-10"	185'-0"		"59'-1"	
D	172'-1"	177'-6"		"64'-6"	
E	-	105'-6"			
F	144'-8"	151'-3"			

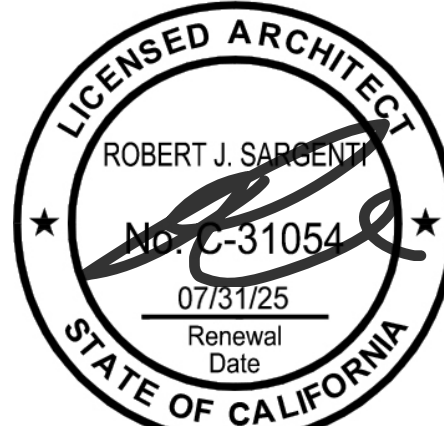


SCALE: 1/8" = 1'-0"



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Engineer Seal / Signature

Date	Description
08/26/24	CLIENT REVIEW
08/29/24	ISSUE FOR PERMIT

	10/31/24	SITE CONDITIONS
	09/03/24	CLARIFICATIONS

Project Name

VALLEJO, CA

Total Square Footage

18,093 SQ.FT.

Project Number

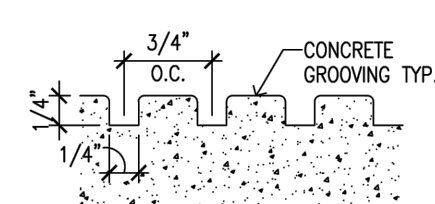
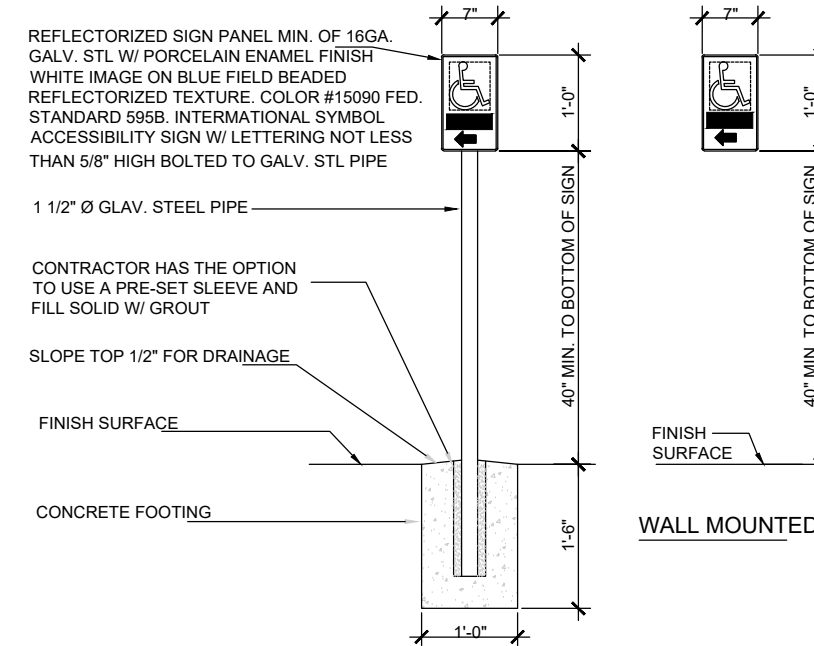
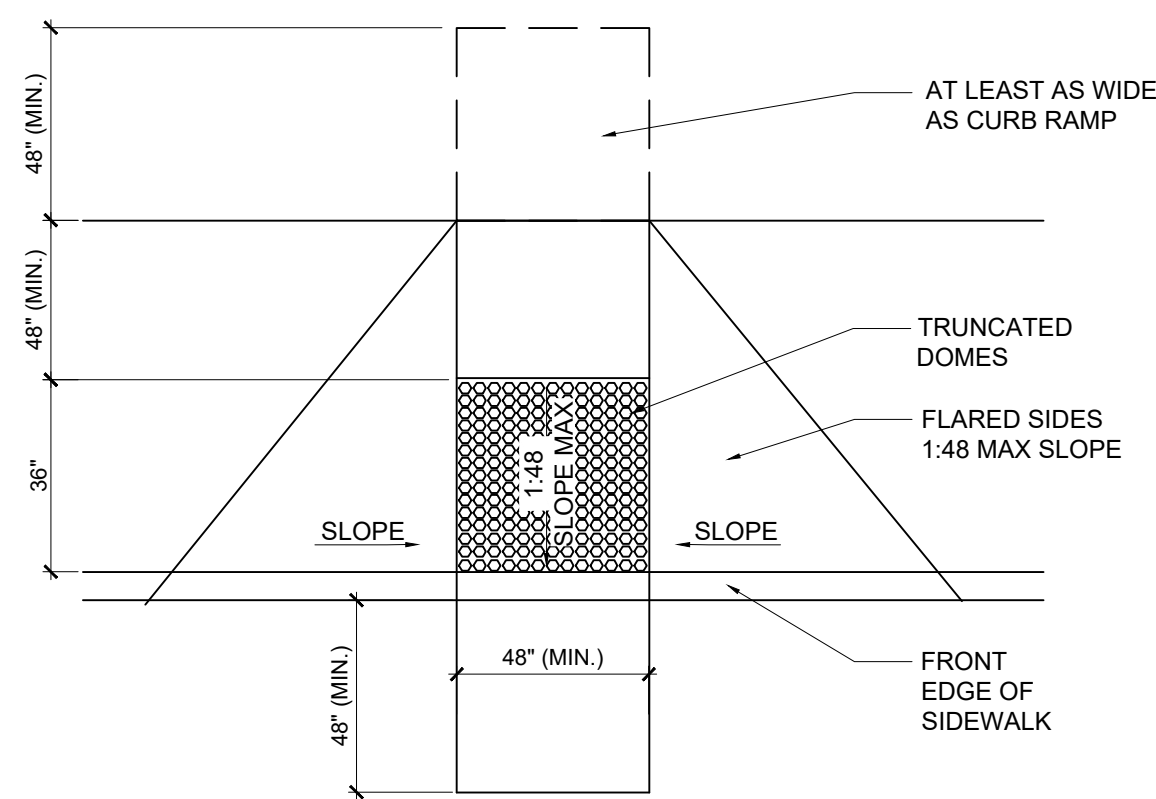
11329-24

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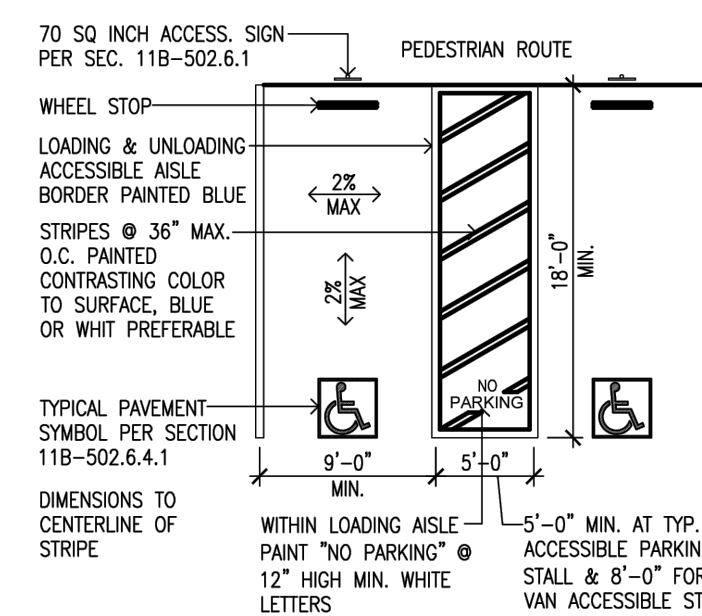
LIFE SAFETY & EGRESS PLAN

Scale: AS NOTED

G-100



NOTE:
CURB RAMPS SHALL BE A MIN. 48" WIDE AND NOT EXCEED 8.33% SLOPE
CURB RAMPS SHALL HAVE 12" WIDE GROOVED BORDER (GROOVES 1/4" X 1/4" X 3/8" O.C.) AT TOP EDGE ADJOINING SIDEWALK PER 2013 CBC SEC.11B-502



2 CURB RAMP DETAIL

SCALE: NTS

1. SIGNS SHALL BE POSTED AT EACH ENTRANCE TO OFF STREET PARKING. SIGNS SHALL NOT BE LESS THAN 17" X 22" IN SIZE WITH 1" HIGH LETTERING WHICH STATES THE FOLLOWING: "NO PARKING FOR VEHICLES PARKED IN THE DESIGNATED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____ 2022 CBC SEC. 11B-502.8
2. THE ACCESSIBLE ROUTE AS DELINEATED IS A BARRIER FREE ROUTE 48" MIN. IN WIDTH WITH NO CURB CUTS, CHANGES IN GRADE OR CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS FREE OF OVERHANGING OBSTRUCTIONS BELOW 80" AND CURB CUTS, OBSTRUCTIONS OR SLOPE FROM A WALL ABOVE 27" AND BELOW 80" (THE ARCHITECT SHALL VERIFY EXISTING CONDITIONS AND DELINEATE ANY REQUIRED UPDATES INCLUDING THOSE FOR CURB RAMP) PER CBC 11279.5
3. G.C. TO RE-STRIPE ALL PARKING STALLS AND ACCESSIBLE ROUTES AS REQ'D.
4. SIDEWALK TO HAVE MINIMUM 6FT. WIDTH (4 FT. SIDEWALK WIDTH + 2 FT. FOR VEHICLE OVERHANG) PER 2022 CBC SEC. 11B-403.5
5. G.C. TO VERIFY (E) CONDITION OF CURB RAMP. SEE DETAILS 3/10/22 & 4/1/22. UPDATE EXISTING AS REQUIRED.
6. G.C. TO VERIFY EXISTING CONDITION OF ACCESSIBLE PARKING STALLS PER DETAILS 3/1/2022 & 5/1/2022. UPDATE EXISTING AS REQUIRED.
7. PROVIDE THE WORDS "NO PARKING" (2" HIGH LETTERS) IN THE LOADING/UNLOADING SPACE.
8. SURFACE OF ACCESSIBLE PARKING SPACES SHALL HAVE OUTLINE OF A WHEELCHAIR WITH OCCUPANT 36" X 36" MINIMUM DIMENSION PER 2022 CBC 11B-502.6.4.1
9. PLOT PLAN DIMENSIONS ARE APPROXIMATE. G.C. TO VERIFY THAT THE EXIT DISCHARGE TO THE PUBLIC STREETS IS A MINIMUM 20'
10. SLOPE AT PARKING STALL AND LOADING ZONE NOT EXCEED 2% IN ANY DIRECTION.

3 ADA PARKING SIGNAGE DETAIL

SCALE: NTS

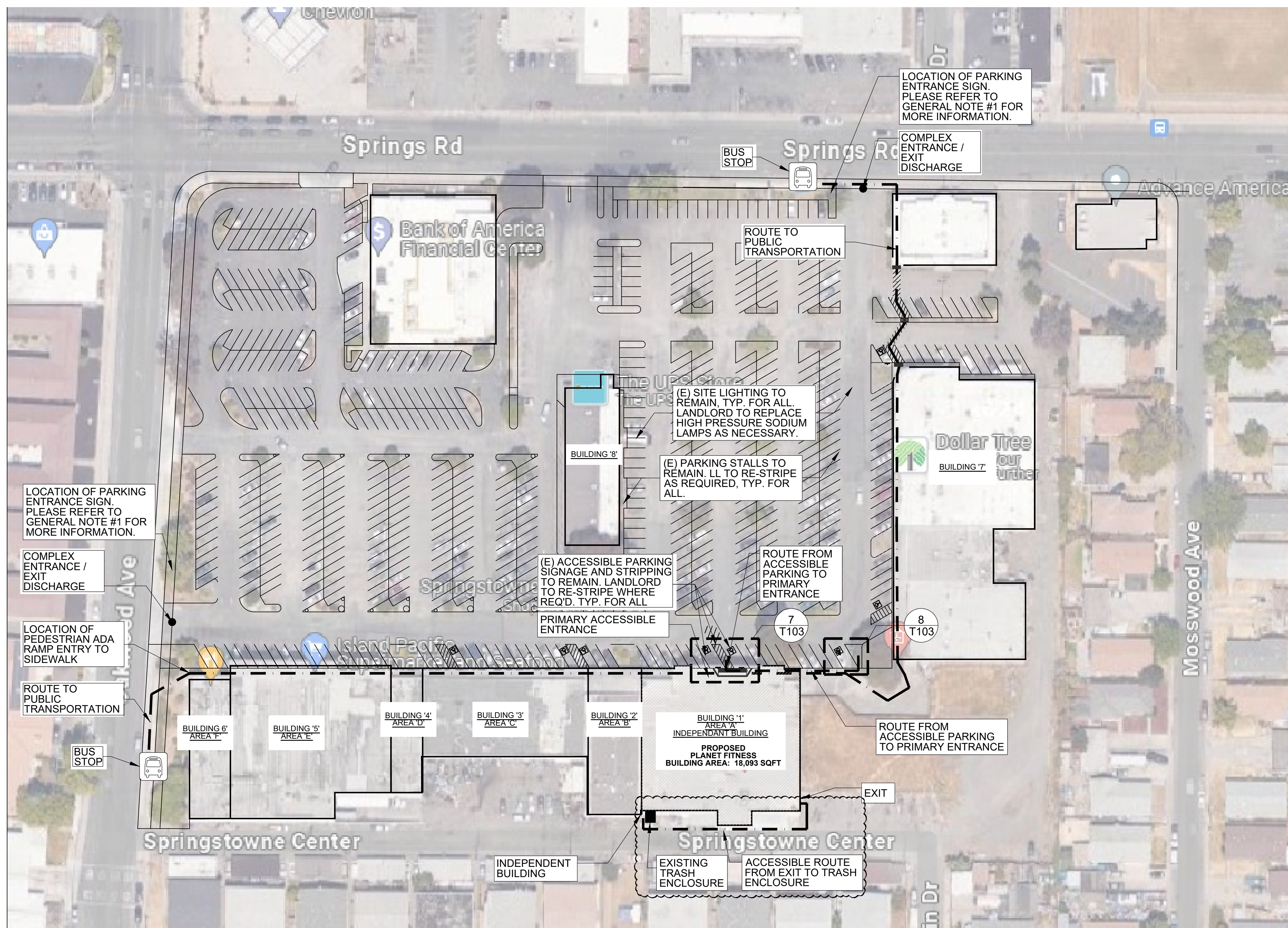
- | | | | |
|---|----------------------------------|---|------------------------|
| P | - Public Utility Easement |  | - Gas Island |
| R | - Radius |  | - Monitoring Well |
| L | - Arc Length |  | - Handicap Space |
| C | - Chord Length |  | - Sign |
| CB | - Chord Bearing |  | - Utility Pole |
| R/W | - Right-of-Way |  | - Light Pole |
| P/L | - Adjoiner Property Line |  | - Wall (As Noted) |
| E | - Centerline |  | - Concrete Area |
| | - Monumentation Found as Noted |  | - No Parking Area |
|  | - No. of Regular Parking Spaces |  | - Building Area |
|  | - No. of Handicap Parking Spaces |  | - Electric Vault |
|  | - Curb Inlet Basin w/ Grate |  | - Electric Box |
|  | - Catch Basin |  | - Gas Pump |
|  | - Sanitary Manhole |  | - Canopy Support Post |
|  | - Fire Hydrant |  | - Telephone Manhole |
|  | - Post Indicator Valve |  | - Electric Meter |
|  | - Water Valve |  | - Electric Transformer |
|  | - Water Meter | | |

4 GROOVING DETAIL
SCALE: NTS

5 ADA PARKING STALL DETAIL

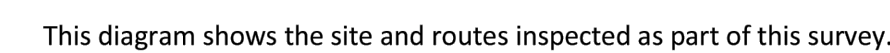
GENERAL NOTES

PARKING PLAN LEGEND



1 SITE PLAN

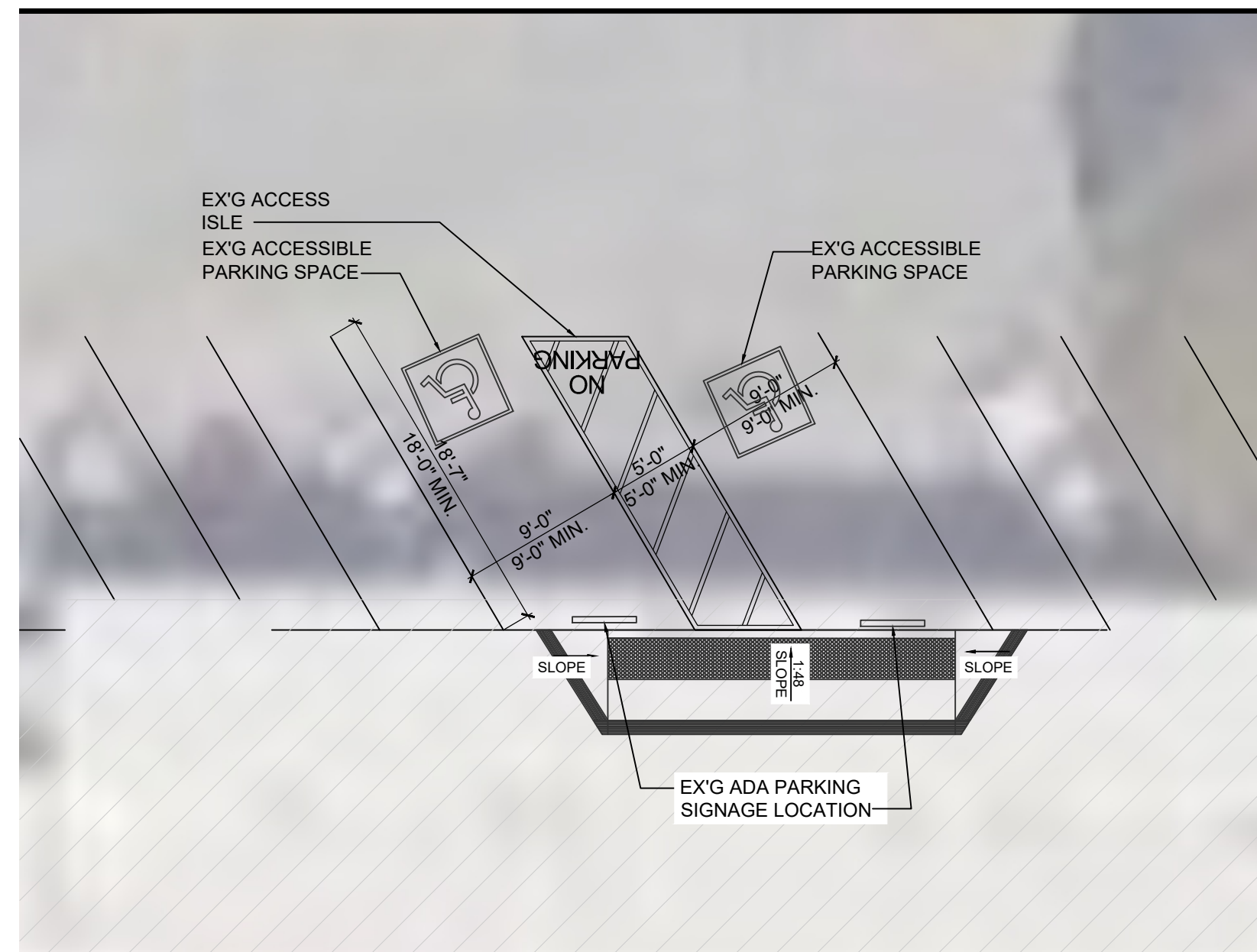
SCALE: 1" = 40'-0"



BLUE: Accessible Parking **YELLOW:** Existing Route A **GREEN:** Existing Route B

[END]

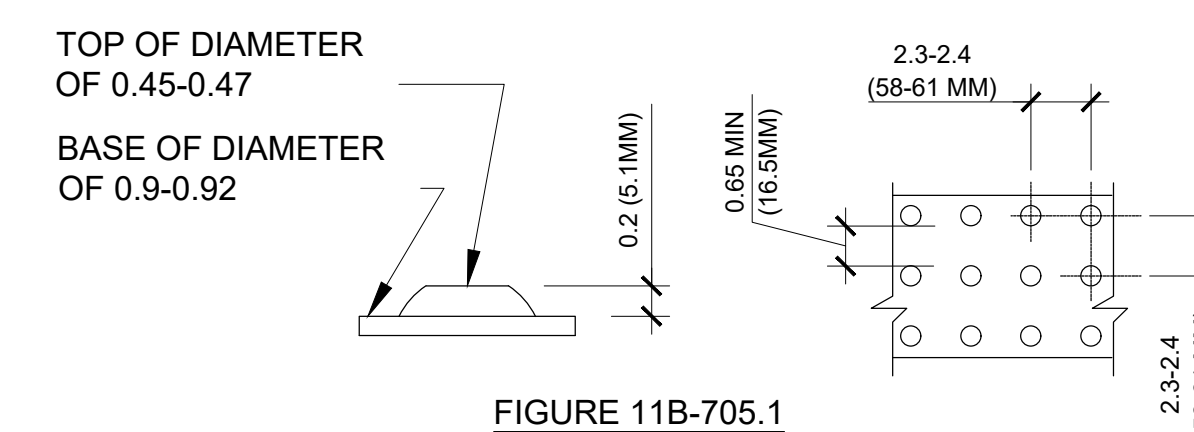
6 ACCESSIBILITY MAP



7 ENLARGED EX'G ACCESSIBLE PARKING PLAN
SCALE: NTS



8 ENLARGED EX'G ACCESSIBLE PARKING PLAN
SCALE: NTS



9 DETECTABLE WARNING DETAIL
SCALE: NTS

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10/31/24	SITE CONDITIONS
09/03/24	CLARIFICATIONS

Project Name
VALLEJO, CA

Total Square Footage
18,093 SQ.FT.

Project Number
11329-24

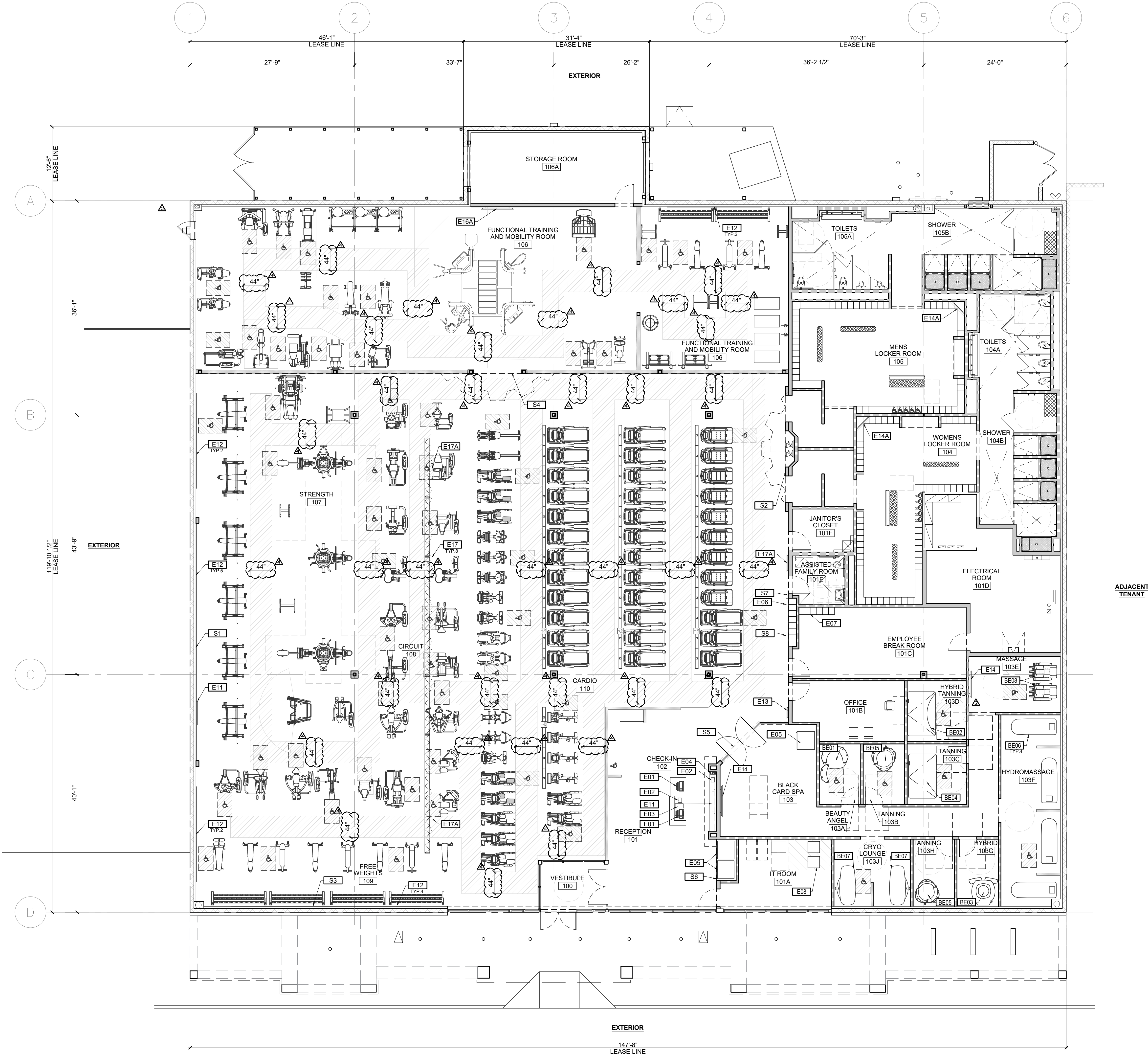
Description
SITE PLAN

Scale: AS NOTED

G-300

1 EQUIPMENT PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

1. REFER TO SHEET A-131 FOR FINISH AND MATERIAL LEGEND.
2. REFER TO REFLECTED CEILING PLAN FOR CEILING FINISHES, HEIGHTS AND DETAILS CALL-OUTS.
3. REFER TO DOOR LEGEND FOR ADDITIONAL DOOR, FRAME AND HARDWARE FINISH REQUIREMENTS.
4. REFER TO ENLARGED PLANS, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
5. MAINTAIN 44" CLEAR AISLE MINIMUM ALONG ALL EGRESS PATHS

NON-FITNESS EQUIPMENT SCHEDULE

MARK	ITEM DESCRIPTION / MODEL	MANUFACTURER	NOTES / DETAILS
E01	COMPUTER	ABC	
E02	PHONES	BY TENANT	
E03	PRINTER	BY TENANT	IN CABINETRY
E04	T-MAX TIMER	T-MAX	
E05	VENDING MACHINE/ VICKI R290	THE OAK COMPANIES	
E06	WALLET LOCKERS	MHS	
E07	EMPLOYEE LOCKERS	MHS	
E08	IT CABINET	BY TENANT	
E11	PF ILLUMINATED LOGO	BY TENANT	
E12	WALL MOUNTED MIRROR	BY G.C.	
E13	27" RADIANSE T.V. MONITOR	LG	
E14	43" LCD TV	LG	
E14A	43" LCD TV ROCKBOT	LG	
E15A	55" LCD TV ROCKBOT	LG	
E16	65" LCD TV	LG	
E16A	65" LCD TV ROCKBOT	LG	
E17	70" LCD TV	LG	
E17A	70" LCD TV ROCKBOT	LG	DIGITAL TV INSTALLED VERTICALLY

BCS EQUIPMENT SCHEDULE

MARK	ITEM DESCRIPTION / MODEL	MANUFACTURER	NOTES
BE01	BEAUTY ANGEL 7200	JK	
BE02	HYBRID TANNING BED / 424 HYBRID LIGHT	JK	HYBRID BED
BE03	HYBRID UPRIGHT TANNING BED / SUNRISE 7200 HYBRID LIGHT	JK	HYBRID STAND UP
BE04	TANNING BED AND FAN / PASSION 424	JK	STANDARD BED
BE05	UPRIGHT TANNING / SUNRISE 6200	JK	STANDARD STAND UP
BE06	HYDROMASSAGE LOUNGE	HYDROMASSAGE	
BE07	RELAXSPACE POD	CRYOLOUNGE +	
BE08	MASSAGE CHAIR SET	SMART CARTE	

SIGNAGE SCHEDULE

MARK	ITEM DESCRIPTION	SIZE	NOTES
S1	NO CRITICS	18"	YELLOW SIGNAGE
S2	JUDGEMENT FREE ZONE	15"	BLACK SIGNAGE
S3	CITY, STATE	18"	BLACK SIGNAGE
S4	FUNCTIONAL TRAINING	18"	BLACK SIGNAGE
S5	BLACK CARD SPA	12"	BLACK SIGNAGE
S6	HYDRATE!	9"	BLUE SIGNAGE
S7	YOU BELONG!	15"	YELLOW SIGNAGE
S8	MISSION STATEMENT	48" X 96"	NON-ILLUMINATED

NOTE: REFER TO SHEET A-001 FOR EQUIPMENT COUNTS.



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Project Name
VALLEJO, CA

Total Square Footage
18,093 SQ.FT.

Project Number
11329-24

Description

EQUIPMENT PLAN

Scale: AS NOTED

A-000



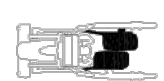
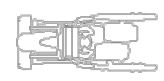
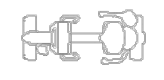
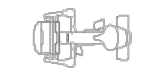
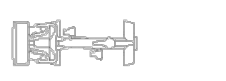
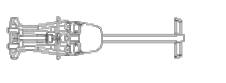
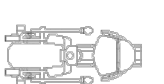
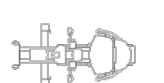
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SITE ADDRESS: 42 Springtowne Center Vallejo, CA 94591

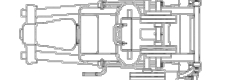
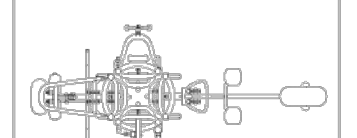
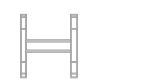
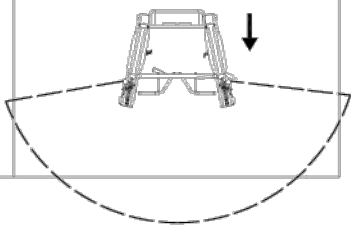
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18,093 SF.

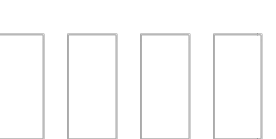
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10/07/2024

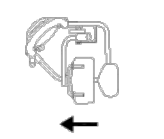
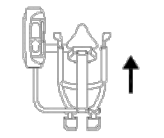
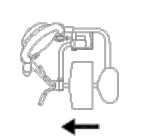
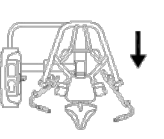
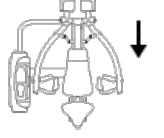
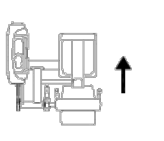
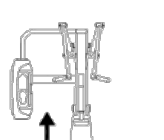
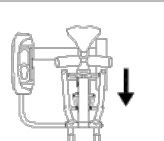
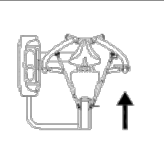
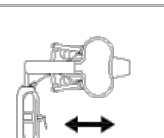
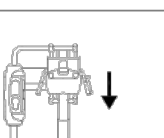
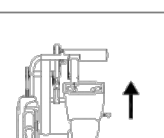
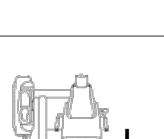
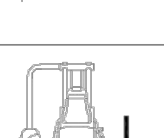
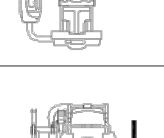
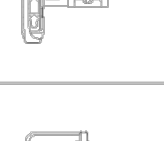
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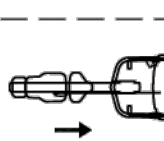
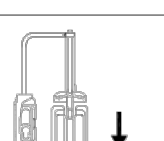
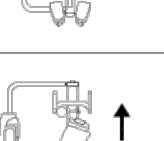
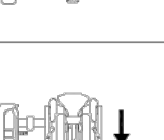
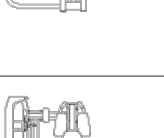
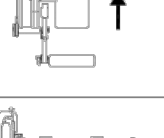
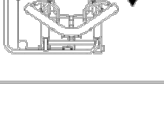
Total Cardio: 62

Cardio	Existing	New	Total	Symbol
Ascent	0	5	5	Low 
	0	0	0	Full 
Bikes	0	3	3	Rec. 
	0	3	3	Up. 
Virtual Training Cycle	0	4	4	
Climbmill	0	9	9	
Rowers	0	2	2	
Life Fitness SciFit	0	2	2	Rec. 
	0	2	2	Up. 
Treadmill	0	27	27	
Elliptical	0	5	5	
Intergrated Cardio TV Units If intergrated cardio TV's are being used record the amount here.				0

Strength	Existing	New	Total	Symbol
D-Bell Rack	0	4	4	
Utility Bench	0	1	1	
Multi - Adj. Incline Bench	0	10	10	
Flat Bench	0	3	3	
Smith Machine	0	6	6	
45° Plate Loaded Leg Press	0	1	1	
Tower	0	3	3	
Barbell Rack	0	1	1	
Beauty Bell Rack	0	1	1	
Weight Tree	0	1	1	
Accessory	0	1	1	
Versa Functional Trainer (Dual Adj. Pulley)	0	1	1	

PWS	Existing	New	Total	Symbol
Stretching Area	0	1	1	
D-Bell Rack	0	2	2	
Multi - Adj. Incline Bench	0	2	2	
Flat Bench	0	2	2	
Barbell Rack	0	2	2	
Beauty Bell Rack	0	2	2	

Selectorized Circuit	Existing	New	Total	Symbol
Tricep Extension	0	1	1	
Triceps Press	0	1	1	
Dependent Arm Curl	0	1	1	
Independent Biceps Curl	0	1	1	
Conv Shoulder Press	0	1	1	
Back Extension	0	1	1	
Div Seated Row	0	1	1	
Div Lat Pull Down	0	1	1	
Chest Press	0	1	1	
Pec Fly/ Rear delt	0	2	2	
Calf Extension	0	1	1	
Seated Leg Curl	0	1	1	
Leg Extension	0	1	1	
Leg Press	0	1	1	
Abdominal 1	0	1	1	
Abdominal 3	0	1	1	

Specialty	Existing	New	Total	Symbol
Glute Bridge	0	1	1	
Glute	0	1	1	
Torso Rotation	0	1	1	
Lateral Raise	0	0	0	
Prone Leg Curl	0	1	1	
Chin dip plus heavy stack (Assisted Chin)	0	1	1	
Hip Adductor / Abductor	0	2	2	

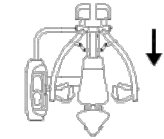
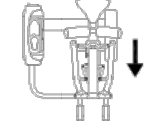
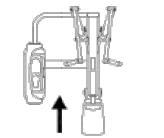
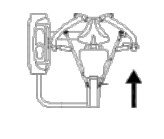
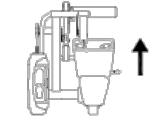
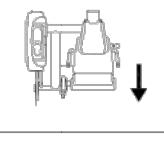
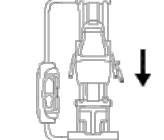
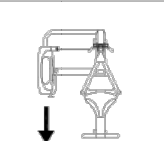
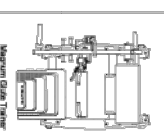
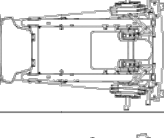
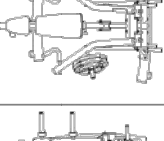
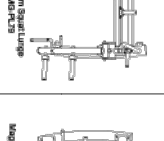
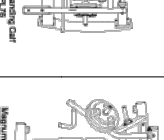
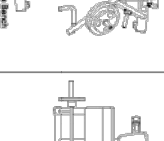
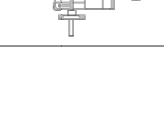
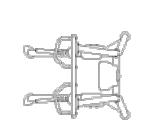
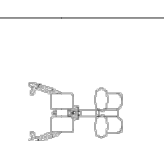
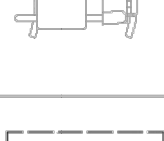
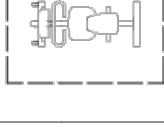
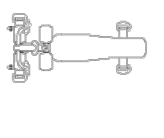
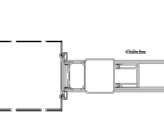
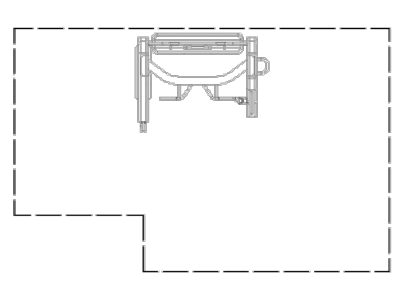
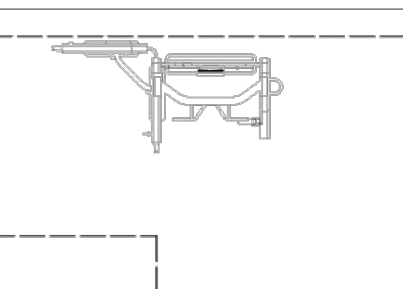
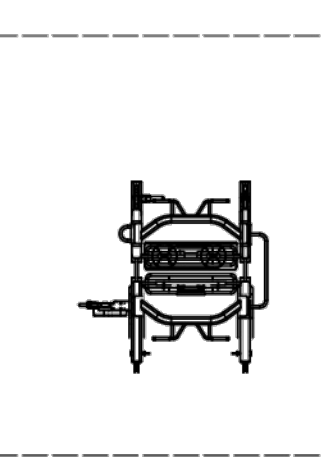
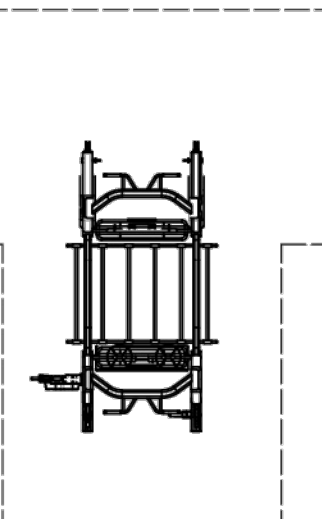
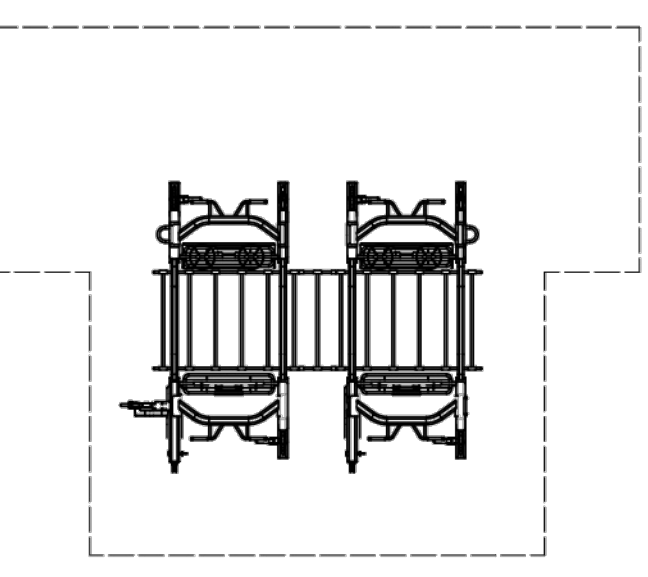
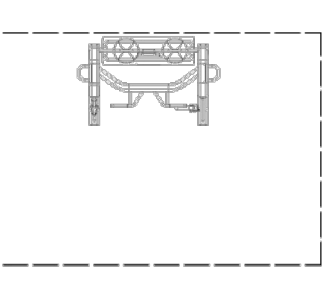
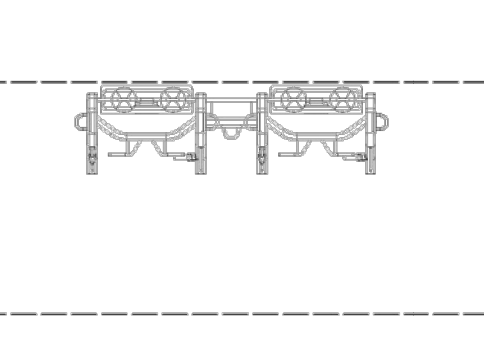
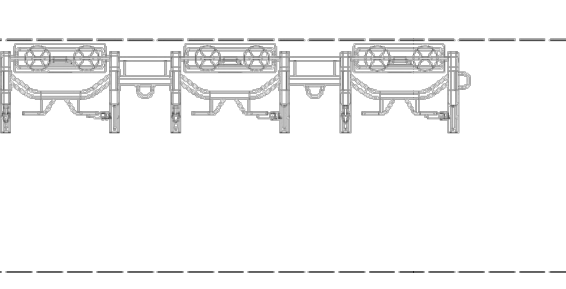
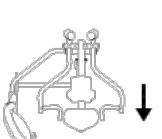
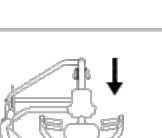
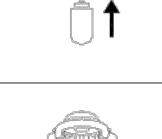
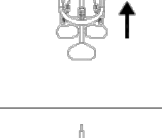
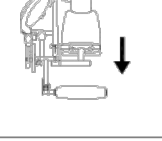
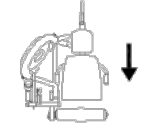
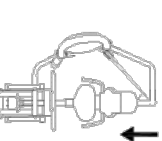
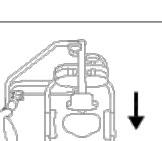
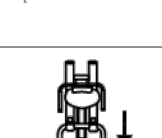
Full Body Circuit	Existing	New	Total	Symbol
FBC Conv Shoulder Press	0	1	1	
FBC Div Lat Pull Down	0	1	1	
FBC Div Seated Row	0	1	1	
FBC Chest Press	0	1	1	
FBC Seated Leg Curl	0	0	0	
FBC Leg Extension	0	1	1	
FBC Leg Press	0	1	1	
FBC Abdominal	0	0	0	

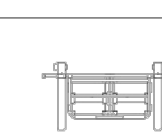
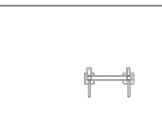
Plate Loaded	Existing	New	Total	Symbol
Glute Trainer	0	0	0	
Hack Squat	0	0	0	
Incline Bench	0	0	0	
Squat Lunge	0	0	0	
Standing Calf	0	0	0	
Supine Bench	0	0	0	
Preacher curl	0	0	0	

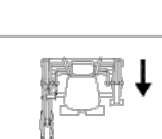
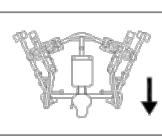
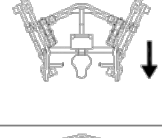
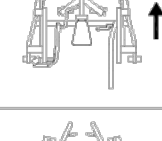
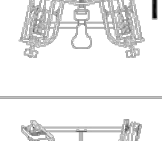
Abs & Stretching	Existing	New	Total	Symbol
VKR with Chin (Dip Leg Ab Chair)	0	1	1	
Back Extension Bench	0	1	1	
AbCompany Bench	0	1	1	
Ab Coaster	0	1	1	
Stretch Trainer	0	1	1	
Target Abs	0	1	1	
Elevate Core Total Gym	0	1	1	
True Stretch	0	1	1	

Was a 360 or TRX unit moved from where it was originally located during this layout production process? If yes check this box.				
Matrix Connexus 360	Existing	New	Total	Symbol
Connexus Hub (140 sqft.)	0	0	0	
Connexus Crest (180 sqft.)	0	0	0	
Connexus S (260 sqft.)	0	0	0	
Connexus M (310 sqft.)	0	0	0	
LIFEFITNESS XL	0	1	1	

Matrix Connexus Edge TRX	Existing	New	Total	Symbol
Connexus Edge 1	0	0	0	
Connexus Edge 2	0	0	0	
LIFEFITNESS S3-3 BAY	0	1	1	

Aura	Existing	New	Total	Symbol
Shoulder Press	0	0	0	
Chest Press	0	0	0	
Seated Row	0	0	0	
Pulldown	0	0	0	
Leg Curl	0	0	0	
Leg Ext	0	0	0	
Leg Press	0	0	0	
Lat. Raise	0	0	0	
Calf Press	0	0	0	
Pec Fly	0	0	0	

Functional Storage	Existing	New	Total	Symbol
Matrix Xult Stability 3 Ball Rack	0	1	1	
Matrix Connexus Storage Rack	0	2	2	
Floor Mounted Mat Rack	0	1	1	
Wall Mounted Mat Rack	0	0	0	

MTS	Existing	New	Total	Symbol
Ab	0	0	0	
Chest Press	0	0	0	
Incline Press	0	0	0	
Front Pulldown	0	0	0	
Row	0	0	0	
Shoulder Press	0	0	0	

05-14-2024 Version 2.4



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Architect Seal / Signature

Engineer Seal / Signature

Date	Description
08/26/24	CLIENT REVIEW
08/29/24	ISSUE FOR PERMIT

10/31/24 SITE CONDITIONS
09/03/24 CLARIFICATIONS

Project Name
VALLEJO, CA

Total Square Footage
18,093 SQ.FT.

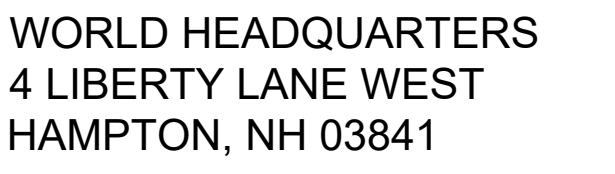
Project Number
11329-24

Description

EQUIPMENT SCHEDULE

Scale: AS NOTED

A-001



LICENSED ARCHITECT
 ROBERT J. SARGENT
 NO. C-31054
 07/31/25
 Renewal
 Date
 STATE OF CALIFORNIA

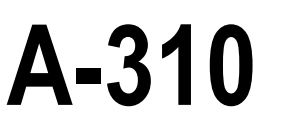
Engineer Seal / Signature

Project Name
VALLEJO, CA

Project Number

1389-24

Scale: AS NOTED



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