



**VALLEJO ARCHITECTURAL
HERITAGE AND LANDMARK
COMMISSION**


COMMISSIONERS

Angela McDonald (Chair)
Tanya Hall (Vice Chair)
Ann Adams
Brendan Riley
Jared Chacon
Braulio Soto
Vacant

**REGULAR MEETING
NOVEMBER 20, 2025**

HYBRID MEETING
www.Cityofvallejo.net

6:30 PM
Council Chambers
555 Santa Clara Street
Vallejo, CA 94590

<p>NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom</p>	<p>City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.</p>
<p>PUBLIC COMMENT: Members of the Public may provide public comments during the Meeting in person or via ZOOM (https://ZoomRegular.Cityofvallejo.net), or via phone, by dialing (669) 900-6833.</p>	<p>For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment</p>
<p>VIEW THE MEETING: There are four different ways you can view this public meeting:</p> <ul style="list-style-type: none"> • In Person • Watch Vallejo local channel 28 • Stream from the City website: www.cityofvallejo.net/Streaming Join the Zoom webinar: https://ZoomRegular.Cityofvallejo.net 	<p>Scan QR code for live captions and translation in Spanish and Tagalog.</p> 
<p>Hybrid Options are available for members of the public to participate. To participate remotely</p>	
<p><u>Option to Join by Computer</u> From your browser go to https://ZoomRegular.CityofVallejo.net to launch and join the zoom application. Meeting ID: 914 0075 0676# Meeting Password: 131313</p>	<p><u>Option to Join by Phone</u> Dial (669) 900-6833 Enter Meeting ID: 914 0075 0676# Meeting Password: 131313 Press *9 to digitally raise your hand from the phone. Press *6 to unmute/mute</p>
<p>Any supplemental writing related to an agenda item for an open session of a regular meeting that is distributed to all or a majority of all members of the Commission less than 72 hours before the meeting will be posted concurrently on the City’s website at www.cityofvallejo.net/agendas Written material distributed during the meeting, will be available at the meeting if prepared by the City or after the meeting if prepared by someone else. Such materials may be obtained from the Commission Secretary</p>	



Vallejo City Council Chambers ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof

AGENDA

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. OATH OF OFFICE OF NEWLY APPOINTED COMMISSIONER(S)**
- 4. ROLL CALL**
- 5. CONSENT CALENDAR AND APPROVAL OF AGENDA**
 - A. APPROVAL OF THE AGENDA**

Recommendation:
Contact: Robby Thacker, Principal Planner (707) 648-4506
Robby.Thacker@cityofvallejo.net
 - B. APPROVAL OF THE MINUTES**

Recommendation: By motion approve March 20, 2025, and April 17, 2025, regular meeting minutes.
Contact: Robby Thacker, Principal Planner (707) 648-4506
Robby.Thacker[@cityofvallejo.net](mailto:Robby.Thacker@cityofvallejo.net)
- 6. REPORT OF THE CITY COUNCIL LIAISON**
- 7. COMMUNITY FORUM**

Anyone wishing to address the Council on any matter for which another opportunity to speak is not provided on the agenda, and which is within the jurisdiction of the Council to resolve, is requested to submit a completed speaker card to the City Clerk. When called upon, each speaker should step to the podium, state his /her name, and address for the record. Each speaker is limited to three minutes pursuant to Vallejo Municipal Code Section 2.20.300.
- 8. PUBLIC HEARING**
 - A. ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR A NEW ENTRY GUARDHOUSE AND ASSOCIATED ROADWAY, FENCING, AND LIGHTING IMPROVEMENTS AT TOURO UNIVERSITY, AND FINDING THE PROJECT EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES SECTIONS 15301 - EXISTING FACILITIES, 15303 - NEW CONSTRUCTION OR CONVERSION OF SMALL**

STRUCTURES, AND 15331 - HISTORIC RESOURCE RESTORATION/REHABILITATION

Project Summary: The project consists of the installation of a new guardhouse measuring 340 square feet in area with a canopy roof structure at the north entrance of Touro University located at the intersection of Azuar Drive and Talos Avenue. The project also includes widening of Talos Avenue to accommodate a controlled pedestrian sidewalk entry and controlled vehicle entry and exit lanes, installation of new 6-foot-tall wrought iron fencing, a new bioretention basin adjacent to the guardhouse, and lighting and landscaping enhancements within the site surrounding the guardhouse.

Project Number(s): Certificate of Appropriateness (COA24-0004) Development Review (DVR24-0029)

Location: 1310 Club Drive / APN: 0066-170-010

Applicant: Twinsteps Architecture c/o Jennifer Levesque

Owner: Touro University

General Plan Land Use Designation: District – Mare Island

Zoning District: SP-4 Mare Island (Mare Island Specific Plan)

Historic District: Mare Island Historic District

CEQA: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15301 (Class 1 “Existing Facilities”), Section 15303 (Class 3 “New Construction or Conversion of Small Structures”), and Section 15331 (Class 31 “Historical Resource Restoration/Rehabilitation”) of the CEQA Guidelines. Therefore, no further environmental review is required.

9. WRITTEN COMMUNICATIONS

10. REPORT OF THE COMMITTEE/BOARD SECRETARY

- A. **SECRETARY'S REPORT**
 - B. **CITY ATTORNEY'S REPORT**
 - C. **REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION**
 - D. **REPORT OF THE ADHOC SUBCOMMITTEES**
- 11. ADJOURNMENT**

ADDITIONAL CITY INFORMATION

Members of the public can:

- Like us on Facebook and Instagram ([@cityofvallejo](#))
- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/subscribe)
- Sign up for emergency alerts at: alertsolan.com

I, Dalia Vidor, Executive Secretary do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to

Angela McDonald (Chair)
Tanya Hall (Vice Chair)
Ann Adams
Brendan Riley
Jared Chacon
Braulio Soto
Vacant,

at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 4:00 PM, November 12, 2025.

Dated: November 12, 2025

Dalia Vidor

Dalia Vidor, Executive Secretary

MINUTES

**VALLEJO ARCHITECTURAL HERITAGE
AND LANDMARKS COMMISSION
REGULAR MEETING – 6:30 P.M.**

March 20, 2025

1. CALL TO ORDER

The meeting was called to order by Chair McDonald at 6:39 pm

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair McDonald, Vice-Chair Hall, Commissioners Adams, Riley, and Chacon

Absent: Commissioners Quismorio and Sosa

Staff present: Assistant City Attorney Zagaroli, Principal Planner Thacker, Associate Planner Solomon

4. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF THE AGENDA

Action: Moved by Chair McDonald, seconded by Commissioner Riley, and carried unanimously (Absent – Sosa, Quismorio) to approve the March 20, 2025 – Regular Meeting Agenda.

Vote:

AYES: Chair McDonald, Vice-Chair Hall, Commissioners Adams, Riley, and Chacon

NOES: None

ABSENT: Commissioners Sosa and Quismorio

ABSTAIN:

B. APPROVAL OF THE MINUTES

i. March 20, 2025 – Regular Meeting

Action: Moved by Commissioner Adams, seconded by Vice-Chair Hall, to approve the March 20, 2025 - regular meeting minutes; with the following vote:

Vote:

AYES: Chair McDonald, Commissioners Adams, Riley, and Chacon

NOES: None

ABSENT: Commissioners Sosa and Quismorio

ABSTAIN: Vice-Chair Hall

C. APPROVAL OF THE CONSENT CALENDAR

i. Herbert House – Summary of Comments Previously Provided

The Commission discussed the summary of comments. Commissioner Riley asked if there was an update on the Herbert House and staff responded that they had not received an update since the previous meeting. Commissioner Adams asked staff if there was date that the Herbert House would be discussed by City Council and staff responded that staff is unaware when Herbert House will be discussed by the City Council. A motion was made.

Action: Moved by Chair McDonald, seconded by Commissioner Riley, to approve the Herbert House – Summary of Comments Previously Provided; with the following vote:

Vote:

AYES: Chair McDonald, Vice-Chair Hall, Commissioners Adams, Riley, and Chacon

NOES: None

ABSENT: Commissioners Sosa and Quismorio

ABSTAIN:

5. **REPORT OF THE CITY COUNCIL LIAISON – None**

6. **COMMUNITY FORM – None**

7. **PUBLIC HEARING**

A. 247 OHIO STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA23-0007) AND DEVELOPMENT REVIEW (DVR23-0041)

Associate Planner Solomon provided an overview of the project. Assistant City Attorney Zagaroli provided the Commission an update on case law that the City was recently made aware of regarding the Housing Accountability Act, and stated that the Commission could deny a project based on subjective design standards. Commissioners asked questions of staff. The project architect introduced himself and answered questions of the Commission. Chair McDonald opened up the item for public comment and public comment was received by Carrie Swing. The Commission deliberated the merits of the project, and a motion was made:

8. **Action:** moved by Commissioner Chacon, seconded by Commissioner Riley and Vice-Chair Hall, and carried with a 5-0 vote (Ayes – McDonald, Hall, Chacon, Adams, and Riley; Absent – Sosa, Quismorio) to continue the item to the April 17, 2025 regular meeting and to allow the applicant time to provide a street view rendering of the proposed residence for consideration by the Commission.

9. **WRITTEN COMMUNICATIONS - None**

10. REGULAR REPORTS

A. SECRETARY'S REPORT

Principal Planner Thacker informed the Commission that a Commissioners Appreciation Survey was sent out to each of the members soliciting their input on how they would like the City to be recognized for their efforts. He stated that beyond the item that was continued from this evening's meeting to the April 17th regular meeting, no other items are currently scheduled to go before the Commission.

B. CITY ATTORNEY'S REPORT – None

C. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

Chair McDonald shared a flyer for the California Preservation Conference and Awards Ceremony. Commissioner Riley inquired about the current budget for the AHLC, and if there is money in the budget, does it need to be spent before funding goes away? Chair McDonald requested a budget update be provided at the next meeting. Commissioner Riley asked that the Herbert House be kept as a standing agenda item for each meeting as it is an important item for the Commission. Chair McDonald reminded the Commission to submit the Form 700 annual reporting form. Commissioner Chacon stated his interest in seeing plaques installed in the Historic Districts. Chair McDonald recalled a previous goal setting meeting of the Commission and stated one of the goals was to add street sign toppers at street intersections within a historic district. The Chair pursuing a standard process for reviewing buildings more than 50 years old for determining eligibility for listing as a historic resource. Chair McDonald stated that Commissioner Adams will likely need to be excused from the next regularly scheduled meeting in May due to scheduling conflicts and inquired about that process. Assistant City Attorney Zagaroli stated that the Commissioner will need to inform the Secretary in advance of the meeting if they are not going to be able to attend the meeting. Chair McDonald shared concerns about the potential for the Commission not to have a quorum due to continued absences from some Commissioners. Commissioner Chacon requested that Commissioner Sosa be removed from the Commission. Assistant City Attorney Zagaroli stated the Municipal Code section relating to excused and unexcused absences for Commissioners and enforcement procedures if a Commissioner violates the attendance policy. Chair McDonald asked that staff move forward on this process with a current Commissioner who has exceeded the number of allowed unexcused absences. Mayor Sorce stated that the City Council has prioritized a review of the Boards and Commissions and welcomes input and concerns to help facilitate the success of the Commission, including how it relates to Commission attendance and making quorum.

D. REPORT OF THE SUBCOMMITTEES

i. Records/Resources Subcommittee

Vice-Chair Hall stated she is going to follow up with the Water Department staff and will provide an update once that is completed.

ii. Goal Setting Subcommittee

- iii. Review of Vallejo Municipal Code Chapter 16.614 – Architectural Heritage and Historic Preservation.

11. OTHER AGENDA ITEMS

A. Potential Formation of Additional Subcommittees

- i. Possible AHLC workplan/budget request
- ii. Review of the Secretary of the Interior's Standards
- iii. Create a ministerial process for non-contributing homes.

B. Future Agenda Items

- i. Future Presentations

12. ADJOURNMENT

The meeting was adjourned at 8:06 p.m.

ANGELA MCDONALD, CHAIR

ATTEST:

ROBBY THACKER, SECRETARY

MINUTES

**VALLEJO ARCHITECTURAL HERITAGE
AND LANDMARKS COMMISSION
REGULAR MEETING – 6:30 P.M.**

April 17, 2025

1. CALL TO ORDER

The meeting was called to order by Chair McDonald at 6:57 pm

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair McDonald, Vice-Chair Hall, Commissioners Adams and Riley

Absent: Commissioners Chacon, Quismorio, and Sosa

Staff present: Assistant City Attorney Zagaroli, Director Pollot, Principal Planner Thacker, Associate Planner Solomon

4. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF THE AGENDA

Action: Moved by Vice Chair Hall, seconded by Commissioner Riley, and carried unanimously (Absent – Chacon, Sosa, Quismorio) to approve the April 17, 2025 – Regular Meeting Agenda.

Vote:

AYES: Chair McDonald, Vice-Chair Hall, Commissioners Adams and Riley

NOES: None

ABSENT: Commissioners Chacon, Sosa and Quismorio

ABSTAIN: None

B. APPROVAL OF THE MINUTES

i. March 20, 2025 – Regular Meeting

Action: Moved by Vice Chair Hall, seconded by Commissioner Riley, to postpone action on the March 20, 2025 - regular meeting minutes; with the following vote:

Vote:

AYES: Chair McDonald, Vice Chair Hall, Commissioners Adams and Riley

NOES: None

ABSENT: Commissioners Chacon, Sosa, and Quismorio

ABSTAIN: None

5. **REPORT OF THE CITY COUNCIL LIAISON – None**

6. **COMMUNITY FORM – None**

7. **PUBLIC HEARING**

A. 247 OHIO STREET - NEW SINGLE-FAMILY RESIDENCE - CERTIFICATE OF APPROPRIATENESS (COA23-0007) AND DEVELOPMENT REVIEW (DVR23-0041) (CONTINUED FROM MARCH 20, 2025 AHLC REGULAR MEETING)

Associate Planner Solomon provided an overview of the project. Two members of the public gave public testimony on the item. The Commission deliberated the merits of the project, and a motion was made:

8. **Action:** moved by Commissioner Adams, seconded by Commissioner Riley, and carried with a 3-1 vote (Ayes – Riley, Hall, and Adams; Noes: McDonald; Absent – Chacon, Sosa, Quismorio) to approve the resolution as amended to require the dimensions of window trim be added to construction plans and that the new trim be of equal or similar proportions as the trim on the adjacent property.

9. **WRITTEN COMMUNICATIONS - None**

10. **REGULAR REPORTS**

A. SECRETARY’S REPORT - None

B. CITY ATTORNEY’S REPORT – None

C. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

Commissioner Riley thanked staff for including a street view rendering for the project that was discussed at the hearing and that these types of exhibits are helpful to better understand and visualize the project.

D. REPORT OF THE SUBCOMMITTEES

- i. Records/Resources Subcommittee

Vice-Chair Hall stated she is going to follow up with the Water Department staff and will provide an update once that is completed.

- ii. Goal Setting Subcommittee

- iii. Review of Vallejo Municipal Code Chapter 16.614 – Architectural Heritage and Historic Preservation.

11. OTHER AGENDA ITEMS

A. Potential Formation of Additional Subcommittees

- i. Possible AHLC workplan/budget request
- ii. Review of the Secretary of the Interior's Standards
- iii. Create a ministerial process for non-contributing homes.

B. Future Agenda Items

- i. Future Presentations

12. ADJOURNMENT

The meeting was adjourned at 8:04 p.m.

ANGELA MCDONALD, CHAIR

ATTEST:

ROBBY THACKER, SECRETARY



DATE: November 20, 2025
TO: Architectural Heritage & Landmark Commission
FROM: Robert Busick, AICP, Senior Planner
SUBJECT: **ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR A NEW ENTRY GUARDHOUSE AND ASSOCIATED ROADWAY, FENCING, AND LIGHTING IMPROVEMENTS AT TOURO UNIVERSITY, AND FINDING THE PROJECT EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES SECTIONS 15301 - EXISTING FACILITIES, 15303 - NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES, AND 15331 - HISTORIC RESOURCE RESTORATION/REHABILITATION**

PROJECT INFORMATION

Project Summary: The project consists of the installation of a new guardhouse measuring 340 square feet in area with a canopy roof structure at the north entrance of Touro University located at the intersection of Azuar Drive and Talos Avenue. The project also includes widening of Talos Avenue to accommodate a controlled pedestrian sidewalk entry and controlled vehicle entry and exit lanes, installation of new 6-foot-tall wrought iron fencing, a new bioretention basin adjacent to the guardhouse, and lighting and landscaping enhancements within the site surrounding the guardhouse.

Project Number(s): Certificate of Appropriateness (COA24-0004)
Development Review (DVR24-0029)

Location: 1310 Club Drive / APN: 0066-170-010

Applicant: Twinsteps Architecture c/o Jennifer Levesque

Owner: Touro University

General Plan Land Use Designation: District – Mare Island

Zoning District: SP-4 Mare Island (Mare Island Specific Plan)

Historic District: Mare Island Historic District

CEQA: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15301 (Class 1 “Existing Facilities”), Section 15303 (Class 3 “New Construction or Conversion of Small Structures”), and Section 15331 (Class 31 “Historical Resource Restoration/Rehabilitation”) of the CEQA Guidelines. Therefore, no further environmental review is required.

Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR A NEW ENTRY GUARDHOUSE AND ASSOCIATED ROADWAY, FENCING, AND LIGHTING IMPROVEMENTS AT TOURO UNIVERSITY, AND FINDING THE PROJECT EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES SECTIONS 15301 - EXISTING FACILITIES, 15303 - NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES, AND 15331 - HISTORIC RESOURCE RESTORATION/REHABILITATION

RECOMMENDATION

Staff recommend that the Architectural Heritage and Landmarks Commission (AHLC) approve a Certificate of Appropriateness (COA24-0004) and Development Review (DVR24-0029) for the installation of an entry guardhouse and associated roadway, fencing, and lighting improvements for Touro University, subject to the conditions of approval provided as Exhibit A to the attached Resolution, after finding the project exempt from environmental review pursuant to CEQA Guidelines Sections 15301 - Existing Facilities, 15303 - New Construction or Conversion of Small Structures, and 15331 - Historic Resource Restoration/Rehabilitation.

ATTACHMENTS

1.	Staff Report
2.	Recommended Resolution
3.	Historical Resources Impact Analysis
4.	Project Plans

CONTACT

Robert Busick, AICP, Senior Planner (707) 648-5422

Robert.Busick@cityofvallejo.net

Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331

BACKGROUND AND DISCUSSION

Background

The project site is within the Touro University campus on Mare Island. The campus's focal point, known as Building H-1, was constructed in 1899 after the original brick hospital building, constructed in 1869, was damaged during an earthquake in 1898. Following World War II, use of the building and surrounding complex transitioned from a military hospital to training facilities before becoming an administrative and instructional facility serving Touro University in 1997. The building is a contributor to the Mare Island National Historic Landmark District Area C, the National Register of Historic Places (National Register) listed Mare Island Historic District and is a City Landmark. As such, the Touro University campus is considered a historical resource as defined in CEQA Guidelines Section 15064.5(a).

On September 11, 2024, the applicant submitted a request for Certificate of Appropriateness (COA24-0004) and Development Review (DVR24-0029) approval, for the installation of a new guardhouse measuring 340 square feet in area with a canopy roof structure at the north entrance of Touro University at the intersection of Azuar Drive and Talos Avenue, widening of Talos Avenue that features a controlled pedestrian entry sidewalk, controlled traffic entry lanes and a traffic exit lane, installation of new fencing, a new bioretention basin adjacent to the guardhouse within the site, and lighting and landscaping enhancements within the site surrounding the guardhouse.

The plans were routed to various city departments and outside agencies for review and the application was determined to be complete on August 14, 2025.

Location and Land Use Context

The project site is located at 1310 Club Drive on Mare Island. The site is currently surrounded by existing industrial, open spaces and residential uses and is located within Mare Island Specific Plan Reuse Area 9 - University Area. Touro University is the primary user and property owner of the 51-acre University Area (Mare Island Historic District Reuse Area 9), bounded on the west by the South Residential Village, on the north by Club Drive and Azuar Drive, on the east by Azuar Drive, and on the south by the regional park and the Army Reserve (see Figure 1, with the note that some street names are indicated incorrectly on public maps).

State Route 37 (SR-37) is approximately 2.25 miles to the north and Interstate 80 (I-80) is approximately 1.8 miles to the east. Each provide regional access while Azuar Drive and Talos Avenue provide direct access to the project site. The site's General Plan 2040 Land Use Designation is "District – Mare Island" and is implemented by the Mare Island Specific Plan (MISP) "SP-4 Mare Island".

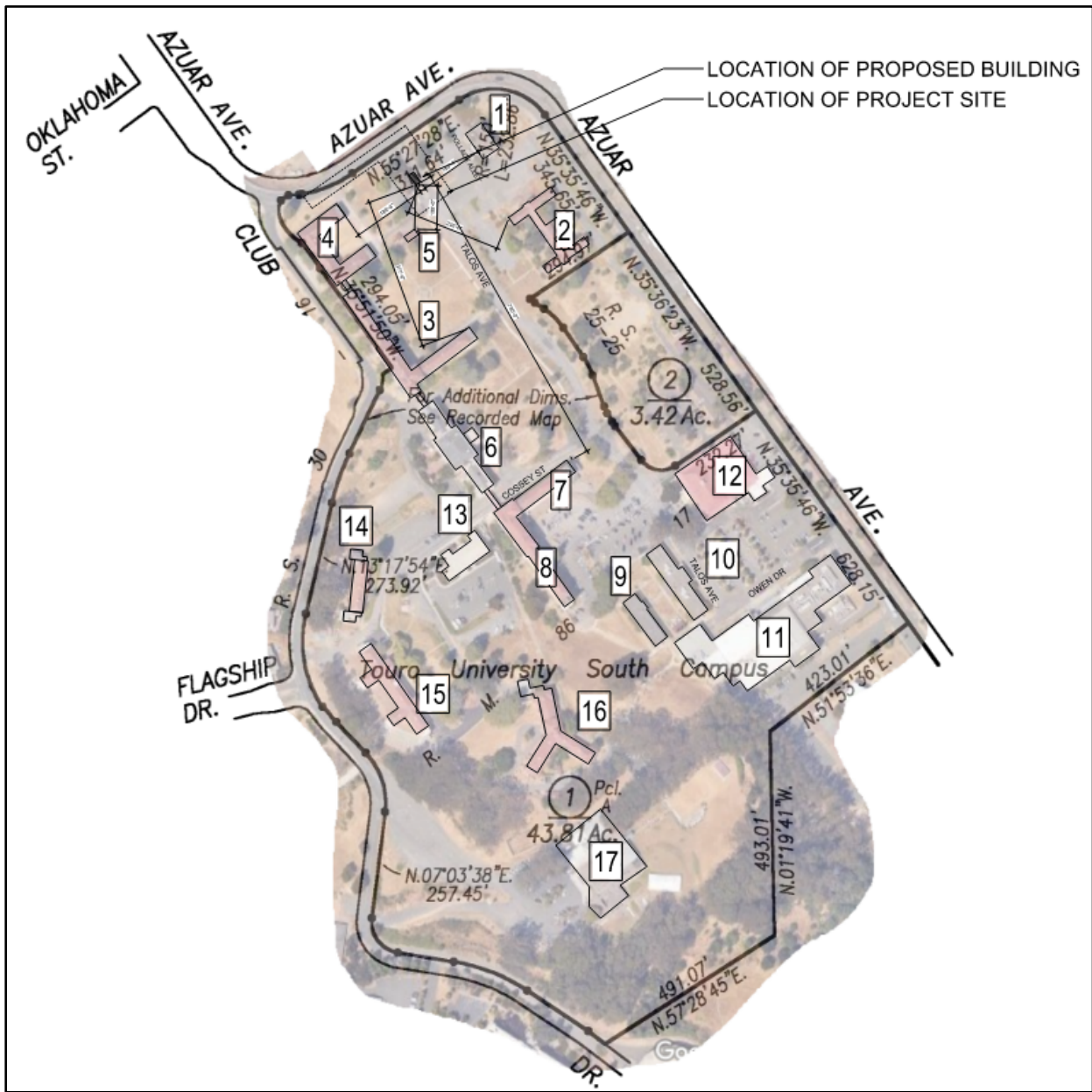
Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331

Figure 1 – Project Location Map



Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331

Figure 2 – Site Context within Touro University



Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331
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Existing Conditions

The project site is currently configured as one bi-directional street with a median near the northern edge of the Touro University campus. A wrought iron fence measuring approximately six (6) feet tall and painted blue spans Talos Avenue, with non-motorized gates extending across each roadway lane. White posts approximately three (3) feet tall and connected by a continuous span of white chain runs along either side of the roadway, adjacent to the sidewalks. Several mature trees line both sides of the street behind each sidewalk; existing tree species include pine, laurel, strawberry, acacia, cherry, and plum. No barriers exist to prevent pedestrian access along the sidewalks connecting Talos Avenue with Azuar Drive.

Figure 3 – Existing View (Looking South) of Talos Avenue from Azuar Drive



The Touro University campus itself is located within Reuse Area 9 as defined by the Mare Island Specific Plan in Appendix B.1. Reuse Area 9 is defined by the 1899 Classic Revival former hospital, the linear configuration of which is further accented by later additions to the north and south of the original building. The hospital is set in a hillside and surrounded by manicured landscaped grounds. Other buildings in Reuse Area 9, constructed mostly in the 1920s and 1930s to support the medical facilities, include examples of Spanish Eclectic and utilitarian style architecture. Natural and groomed landscapes complement the informal arrangement of buildings and create a picturesque setting. The hospital building near the center of the university campus is a listed Landmark and is surrounded by a number of structures listed as Notable Resources. The project site is located over 100 feet away from any existing historic structure on the campus. Existing surface parking serving Touro University is immediately adjacent to the guardhouse site.

Date: November 20, 2025

Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303,

AND 15331

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Within the Mare Island Design Guidelines (Appendix B.4), the Touro University campus is classified as within the Administrative and Institutional Character Area.

Project Description

The project consists of the installation of a new guardhouse measuring 340 square feet in area with a canopy roof structure at the north entrance of Touro University at the intersection of Azuar Drive and Talos Avenue. The single-level guardhouse features a modern architectural design that incorporates a mixture of materials, colors, and sweeping canopy roof designed to incorporate elements of the historic structures located nearby while being consistent with structure design contemporary to the 2020s (see Figures 4 and 5). Exterior materials used include lightly textured white plaster, terracotta-look concrete, wood-look steel, black steel, as well as oxidized steel (see Figure 6). The guardhouse has a maximum height of 17 feet and 5 inches at the highest point of the canopy roof extending from the guardhouse over the sidewalk to the west. Included within the scope of work is the widening of Talos Avenue to allow for two lanes of entry with a matching width for the exit lane. New wrought iron fencing finished in black and measuring six (6) feet in height (see Figure 7) would comprise the gates spanning the entry and exit lanes, with matching fencing extending on either side Talos Avenue to ensure pedestrian access only through the monitored matching pedestrian access gate spanning the sidewalk on the west side of the guardhouse adjacent to the vehicle entry lanes. Permeable decorative pavers are proposed to demarcate the entry and exit roadways adjacent to the guardhouse (see Figure 8 – Proposed Site Plan and Attachment 4 of this report for Project plans).

Date: November 20, 2025

Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331

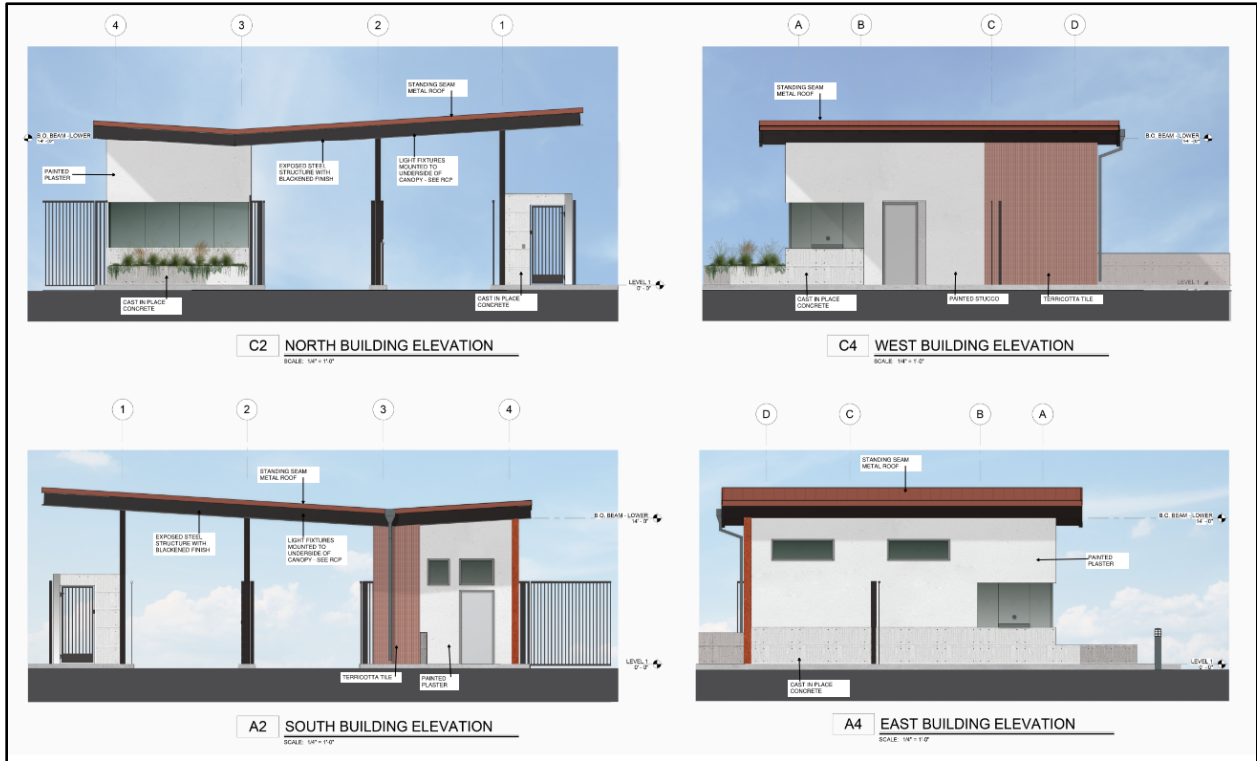
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Figure 4 – View from Azuar Drive of Proposed Guardhouse



Subject: ADOPT A RESOLUTION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW (DVR24-0029) FOR THE TOURO UNIVERSITY GUARDHOUSE PROJECT, AT THE INTERSECTION OF AZUAR DRIVE AND TALOS AVENUE, AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTIONS 15301, 15303, AND 15331

Figure 5 – Guardhouse Elevations



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Figure 6 – Exterior Materials

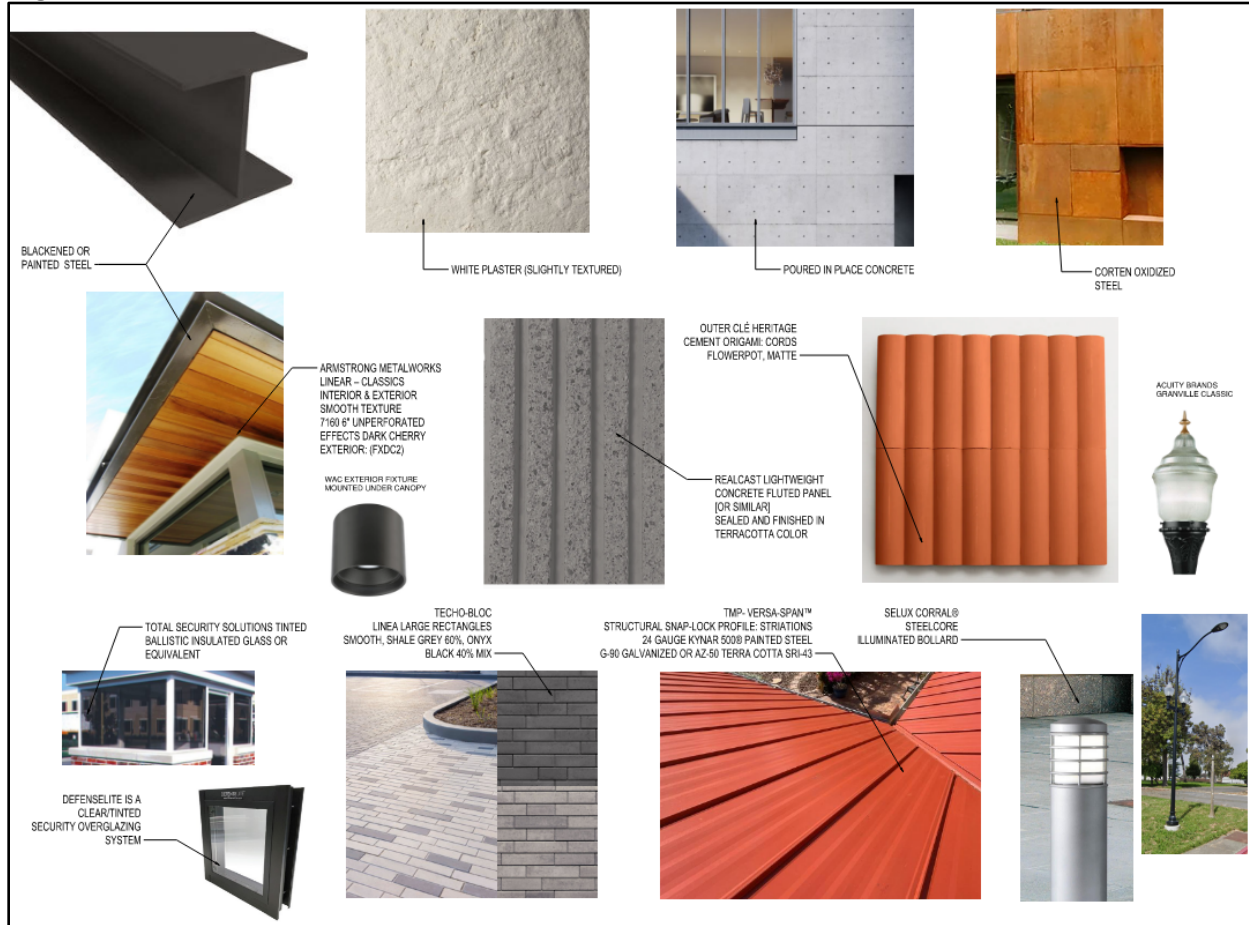
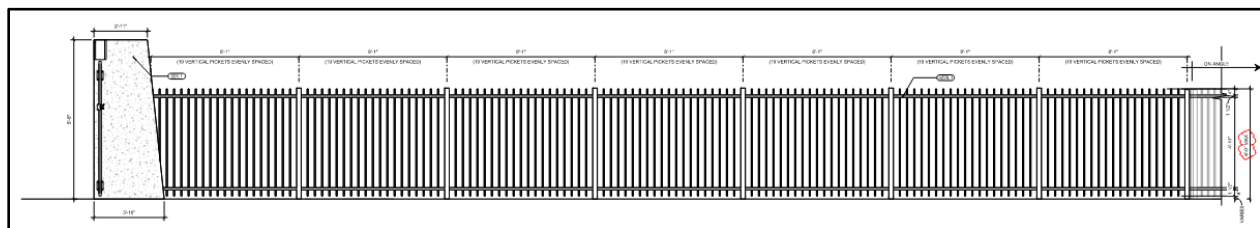
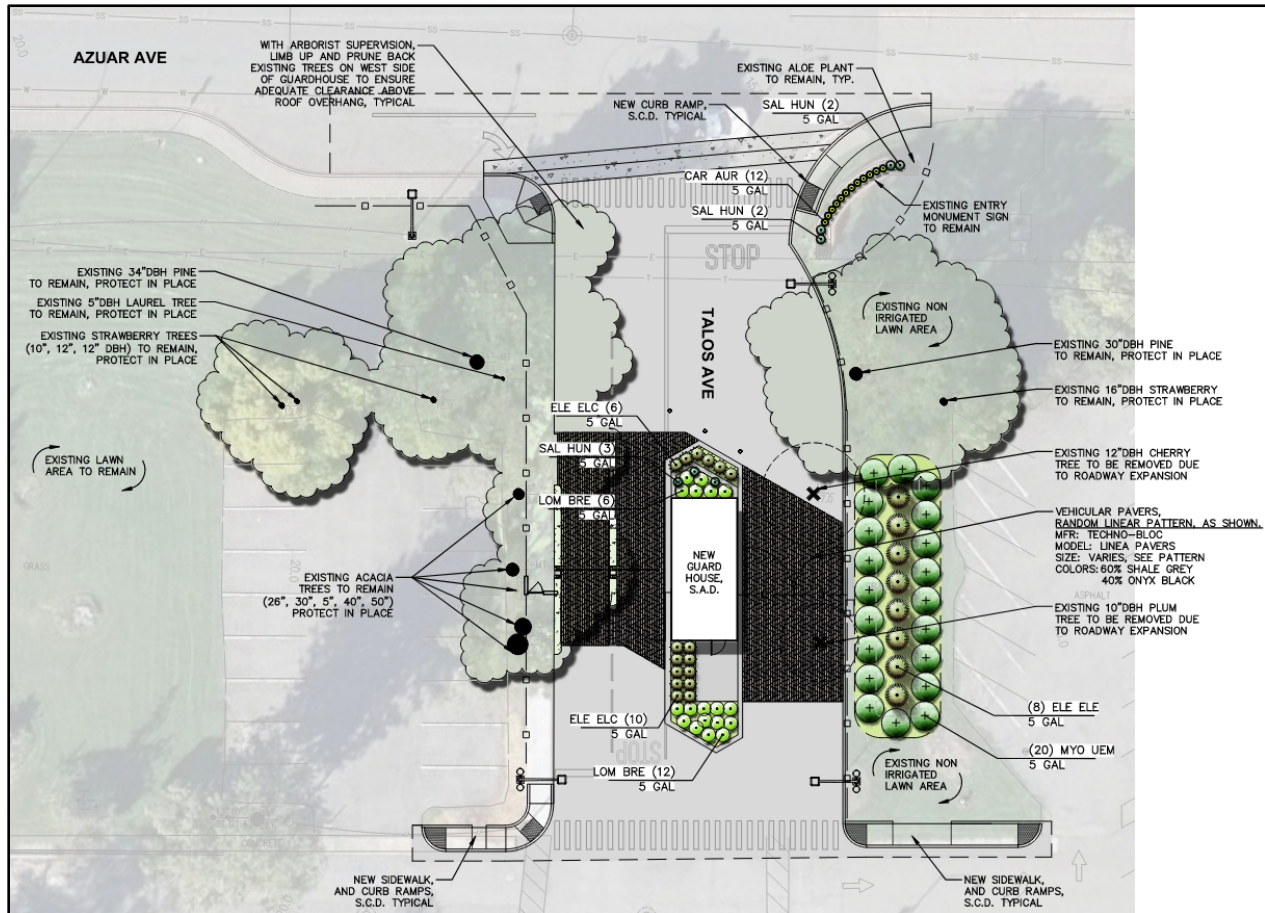


Figure 7 – Fence Elevation



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Figure 8 – Site Plan with Landscaping



Lighting and landscaping enhancements adjacent to the guardhouse are also part of this project. The addition of a bioretention basin across the exit lanes to the east of the guardhouse is intended to manage the increased runoff from the structure and paving improvements. Over 60 grassy shrubs and groundcover plantings split between five (5) species are proposed within the median surrounding the guardhouse, the bioretention basin, and supplementing the existing plantings around the Touro University monument sign along Azuar Drive. Light fixtures installed would be consistent with those throughout the university campus, including fixtures that combine a historic design with modern functionality.

To accommodate the required amount of driveway space for gate functionality, two (2) of the existing mature trees on the east side of Talos Avenue adjacent to the guardhouse would be removed; these include one (1) plum tree measuring 10 inches diameter at breast height (DBH)

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and one (1) cherry tree measuring 12 inches DBH. Nine (9) existing mature trees measuring between five (5) and 34 inches DBH and comprised of species including pine, strawberry, laurel, and acacia, would be retained.

Required Entitlements

The project requires the following entitlements under the MISP and the Vallejo Municipal Code (VMC):

Certificate of Appropriateness: Pursuant to VMC section 16.614.03, projects within the MISP including, “All new construction, demolition, alteration and relocation of contributing resources, including but not limited to landscaping, signage, and fencing within the Mare Island Historic District, as defined in the Mare Island Specific Plan, shall be subject to the standards, regulations and procedures contained in the Mare Island Specific Plan, and all of its appendices, particularly:

- Appendix B.1 Mare Island Historic District Project Guidelines
- Appendix B.4 Design Guidelines for the Mare Island Historic District

With regard to historic preservation, Staff believes that the following sections of the MISP list the approval framework for this project:

Appendix B.1, Section 4.4.1, subsections:

- A.1(a), requires a Certificate of Appropriateness for construction of a new structure within a Historic District; and
- A.1(c), requires a Certificate of Appropriateness for construction within the Project Site of a contributing resource or alteration of site features including, but not limited to, landscaping, fencing, walls, paving and grading.

In addition, VMC Section 16.614.09 states, “a certificate of appropriateness shall be required prior to the construction, demolition, alteration, or relocation of, or addition to, any main or accessory structure or other designated feature in a historic district, or on the property of a designated landmark.”

Development Review: Section 8.3.3 of the MISP requires approval of a “Unit Plan” in accordance with the VMC, for any development activities within the Specific Plan area; however, VMC section 16.610.06 states that, “All development within a PD Zoning District [including the MISP] shall require a development review permit, *in accordance with Chapter 16.605, Development Review*, which replaces the planned development ‘unit plan’ permit and process.”

Required Findings

VMC Section 16.614.09 (E) requires the AHLC to make the following applicable findings prior to granting the Certificate of Appropriateness:

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1. The Project is in conformity with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the Project and any ordinance designating the historic district or landmark.
2. For Projects located in a historic district, the proposed Project is consistent with any conservation plan or specific plan adopted for the historic district.
3. For Projects that require demolition, the architectural heritage and landmarks commission shall also find, as applicable:
 - a. It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost.
 - b. The retention of the structure constitutes a hazard to public safety.
 - c. The structure is a deterrent to a major improvement program which substantially benefits the city.
 - d. Retention of the structure in the judgment of the commission is not in the interest of the majority within the historic district.
 - e. Conditions of Approval. The director may impose or recommend that the architectural heritage and landmarks commission impose such conditions in a certificate of appropriateness that are necessary to accomplish the purposes of this code and prevent or minimize adverse impacts upon the public. These conditions shall run with the land and not be affected by a change in ownership.

VMC Section 16.605.03 requires the review authority to make the following applicable findings prior to approving the Development Review:

1. Complies with all applicable specific standards and criteria of this Zoning Code;
2. Is consistent with the general plan and any applicable approved specific plan or planned development;
3. Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a major or minor use permit, variance,

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specific plan, planned development, or tentative map applicable to the project or the location where it is proposed;

4. Is in substantial compliance with any applicable adopted design guidelines;
5. Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;
6. Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area; and
7. That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.

STAFF ANALYSIS:

Staff believes all the applicable findings for the Certificate of Appropriateness and Development Review (as listed above) can be made for the proposed project. A summary of staff's analysis is included below, with specific analysis associated with each required finding, including recommended statements of fact, incorporated into the attached resolution (Attachment 2 of this report).

I. General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is District-Mare Island (D-MI). The General Plan characterizes this designation as follows:

The D-MI designation is intended to facilitate implementation of the Mare Island Specific Plan, which seeks to revitalize this historic area of Vallejo and foster a vibrant civilian employment center alongside a balanced new residential neighborhood, subject to the Development Agreement previously executed. Land

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use density is set by the Specific Plan, with non-residential FAR determined on a project-specific basis.

The project is consistent with the D-MI land use designation and Mare Island Specific Plan in that the proposed guardhouse is supporting the operation of Touro University, which is an existing educational institution adaptively reusing the prominent historic military hospital complex. In addition, the project is consistent with applicable General Plan 2040 policies and actions, as illustrated in Table 1 below.

Table 1 – General Plan 2040 Policies and Actions	
Policies and Actions	Staff’s Analysis
<p>Policy NBE-1.7 Green Infrastructure. Encourage the installation of green infrastructure, including tools such as permeable pavement, rain gardens, constructed wetlands, grassy swales, rain barrels and cisterns, and green roofs, to treat stormwater, attenuate floods, increase groundwater recharge, and reduce urban heat islands.</p>	<p><i>The project includes the installation of green infrastructure including permeable pavers and a bioretention basin next to the guardhouse to help manage drainage stemming from the improvements made in conjunction with the project.</i></p>
<p>Policy NBE-1.8 Urban Forest. Encourage planting of street trees and landscaping to beautify the city, encourage walking and biking, and create a stronger sense of identity.</p>	<p><i>The project includes approximately 1,300 square feet of landscaping adjacent to the guardhouse and at the existing entry monument at Azuar Drive and Talos Avenue. Over 60 shrubs and groundcover plantings would be installed, supplementing the many existing adjacent mature trees which are planned to be retained.</i></p>
<p>Policy NBE-1.10 Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.</p>	<p><i>The project supports the existing grouping of historic structures which comprise the Touro University campus and enhances their relation to one another by bolstering the sense that the structures operate as one campus due to its placement at one of the campus entrances.</i></p>
<p>Policy NBE-3.9 Mare Island Specific Plan. Achieve the objectives of the Mare Island Specific Plan to foster a multi-use community with a balance of industrial,</p>	<p><i>The project furthers the objectives of the Mare Island Specific Plan by supporting the reuse of the historic hospital campus by Touro University. The guardhouse’s intended use as a support facility for campus security would further protect adjacent historic buildings by providing more deterrence of vandalism in this area of the campus.</i></p>

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<p>office, commercial, residential, educational, recreation, cultural, and open space uses, meeting the needs of future generations.</p>	
<p>Policy EET-1.4 Higher Education. Capitalize on Vallejo’s role as host to multiple institutions of higher education and their important place in the community and economy.</p>	<p><i>The project supports Touro University’s continued use of the historic hospital campus as a center of higher education.</i></p>
<p>Policy EET-1.11 Mare Island. Facilitate development and redevelopment on Mare Island to stimulate citywide job creation.</p>	<p><i>The project supports Touro University operations on Mare Island, being directly related to the safety of university faculty and students.</i></p>

II. Zoning Code Consistency

The project site is zoned “SP-4 Mare Island,” and development within this zoning district is regulated by the Mare Island Specific Plan. VMC Section 16.614.03 states the following regarding projects within the Mare Island Specific Plan:

All new construction, demolition, alteration and relocation of contributing resources, including but not limited to landscaping, signage, and fencing within the Mare Island Historic District, as defined in the Mare Island Specific Plan, shall be subject to the standards, regulations and procedures contained in the Mare Island Specific Plan, and all of its appendices, particularly:

Appendix B.1 Mare Island Historic District Project Guidelines

Appendix B.4 Design Guidelines for the Mare Island Historic District

The project’s consistency with these sets of guidelines is discussed in the following section.

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III. Mare Island Specific Plan Consistency

The project complies with the design standards outlined in the applicable Mare Island Specific Plan (MISP) for new buildings. Section 4.5.3 within Appendix B.1 of the MISP outlines standards for new construction within the Mare Island Historic District the following findings for approval of a new structure:

1. The new construction is consistent with the Secretary's Standards; and
2. The new construction is consistent with Design Guidelines for the Mare Island Historic District Appendix B.4 and Section 4.0 of the Specific Plan; and
3. The new construction is compatible with its location while clearly reflecting its own time; and
4. The new construction does not affect the eligibility of the Historic District for the National and State Registers.

The project is consistent with the Secretary's Standards, which are detailed in Section 4 of the attached Resolution (Attachment 2 of this report) pertaining to the Certificate of Appropriateness. Furthermore, the project is consistent with the Design Guidelines outlined in Appendix B.4 of the MISP, as well as Section 4.0 of the MISP pertaining to Urban Design. Chapters 9 and 11 of MISP Appendix B.4 require new construction to be inspired by the historic precedent of street layouts, site design, and landscapes, as well as the forms, materials and details of structures. MISP Section 4.0 requires new buildings to consist of high-quality architectural design that does not mimic existing adjacent buildings, but rather, are designed to be sensitive to the historic character of the setting in terms of size, scale, materials, color, and texture. Likewise, new infill buildings adjacent to contributing resources may be contemporary in design but should complement the character of the setting and be compatible with historic relationships between groupings of existing buildings, landscape, streets and other distinguishing features with the area. The proposed guardhouse is located at the existing northern entrance to the Touro University complex, along the existing path of Talos Avenue south of its intersection with Azuar Drive.

The materials and placement of the structure are inspired by the existing structures, including lightly textured white plaster, terracotta-look concrete, wood-look steel, black steel, as well as oxidized steel; the overall design of the guardhouse is low-profile and modern, consistent with structure design contemporary to the 2020s. The minimal amount of landscaping proposed is designed to complement the existing landscape in this area,

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while clearly indicating the guardhouse as an entryway to the campus. Lighting proposed is consistent with existing fixtures throughout the Touro University campus. As a new building supporting the current institutional use of the historic hospital complex and located 109 feet from the nearest historical structure, the project would not affect the eligibility of the Historic District for the National and State Registers.

Consistency with Secretary of the Interior's Standards

An analysis of the project's consistency with the Secretary of the Interior's standards was prepared by JulieAnn Murphy, Architectural Historian Project Manager with Rincon Consultants (see Attachment 3). According to this analysis, Rehabilitation Standards No. 1 through 8 generally apply to changes to existing buildings; since no changes are proposed to existing buildings within the hospital complex as part of the scope of the work proposed, only Rehabilitation Standards No. 9 and No. 10 apply and are analyzed as follows:

- Rehabilitation Standard No. 9, *New additions, exterior alterations, or related new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed new guardhouse would not destroy any materials that characterize the historic property. None of the historic districts contributing buildings or landscape elements are proposed to be altered as part of the project. The proposed median and paving proposed to be removed to accommodate the construction of the new guardhouse are typical materials that do not characterize the property or its historic significance.

The new guardhouse would be differentiated from the old by its simple, modern design. It would further be differentiated from the old by the composition of the proposed materials. The use of white plaster stucco as the primary exterior material would be compatible with the reinforced concrete structures that characterize the property, while simple, modern materials like the blackened steel posts, fluted concrete detailing, and adjacent concrete planters would be clearly differentiated from the old and distinctly new. Furthermore, it would be compatible with the massing, size, and scale of the architectural features of the hospital complex. As recommended in guidance provided by National Park Service (NPS) in Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns, it would be subordinate to the buildings that contribute to the Mare Island Historic District's hospital complex.

Its proposed placement at the corner of Azuar Drive and Talos Avenue is appropriate. It would not change the historic vehicular or pedestrian circulation of the site. It would not obscure or detract from any of the contributing buildings' primary elevations and would be

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appropriately distanced from all building elevations and be separated from existing buildings and contributing landscape features by existing lawns and small surface parking lots. Similarly, related elements to the new guardhouse, including the proposed new signage, lighting, and fencing, would be simple in design, and would not detract from the historic character of the hospital complex. Overall, the proposed scope of work would not change or detract from the historic setting, and would maintain the distinct edges along Railroad Avenue and 14th Street. The proposed scope of work is consistent with Rehabilitation Standard No. 9.

- Rehabilitation Standard No. 10, *New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed scope of work does not include additions or alterations to contributing buildings or landscape elements. The proposed scope of work including the new guardhouse, signage, and fencing could be removed in the future without impairing the essential form and integrity of the hospital complex and its environment. The proposed scope of work is consistent with Rehabilitation Standard No. 10.

Consistency with Mare Island Specific Plan Design Guidelines for the Mare Island Historic District (Appendix B.4)

The Design Guidelines for the Mare Island Historic District are outlined in Appendix B.4 of the Mare Island Specific Plan. Within the Design Guidelines, applicable Chapter 9 pertains to new construction within the Historic District and refers to Chapter 11 for guidelines specific to new development within the Administrative and Institutional Character Area in which the Touro University campus is included. Within these chapters, the Guidelines provide that new development in the hospital complex should adhere to the traditional campus site planning principles, noting that one of the key features of the complex is its internal vehicular access with small to moderately-sized surface parking lots.

In order to maintain the traditional campus site planning of the former hospital complex, the Design Policies for this area include:

- Maintain quadrangle configurations.
- Ensure that infill and redevelopment projects create enclosed spaces, which serve as open space for parks to be enjoyed by students.
- Maintain distinct edges along Railroad Avenue and 14th Street.
- Minimize the number of curb cuts to preserve established pedestrian and internal vehicular circulation patterns.
- Maintain and enhance existing formal landscape plantings.
- Landscape all surface parking lots extensively.

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- Screen service and loading areas.
- Use traditional building massing.
- Use symmetrical compositions in building design.
- Use window arrangements that are similar to those on historic hospital buildings.
- Restore the palm allée to the extent feasible.

The project retains the former hospital complex's traditional site planning principles with main buildings flanked by supporting buildings, all surrounded by natural and designed landscapes. The guardhouse's location at one of the main entrances to the campus, as well as the proposed fencing and minor landscaping enhancements serve to maintain and better define the distinct edges of the Touro University campus while preserving the established pedestrian and internal vehicular circulation patterns. Additionally, the placement of the guardhouse, additional landscaping, and fencing serve to provide additional screening of the adjacent parking areas in this part of the university campus from Azuar Drive. Elements such as building finishes and lighting refer back to the existing buildings and light fixtures within the campus.

Consistency with Mare Island Specific Plan Section 4.0

Mare Island Specific Plan Section 4.0 requires new buildings to consist of high-quality architectural design that does not mimic existing adjacent buildings, but are designed to be sensitive to the historic character of the setting in terms of size, scale, materials, color, and texture. Likewise, new infill buildings adjacent to contributing resources may be contemporary in design, but should complement the character of the setting and be compatible with historic relationships between groupings of existing buildings, landscape, streets and other distinguishing features with the area.

The use of white plaster stucco as the primary exterior material would be compatible with the plaster and reinforced concrete structures that characterize the property, while simple, modern materials like the blackened steel posts, fluted concrete detailing, and adjacent concrete planters are inspired by the historic buildings on the campus, yet the overall design is distinctly contemporary.

The project is located at the existing northern entrance to the Touro University complex, along the existing path of Talos Avenue south of its intersection with Azuar Drive, which maintains the existing street grid. The guardhouse is set back approximately 67 feet from the property line along Azuar Drive, in alignment with adjacent Historic Resource buildings H-73 and H-74 along this frontage.

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Compatibility with Location While Clearly Reflecting its Own Time

The overall design of the guardhouse is low-profile and modern, consistent with structure design contemporary to the 2020s. The minimal amount of landscaping proposed is designed to complement the existing landscape in this area, while clearly indicating the guardhouse as an entryway to the campus. Incorporating materials similar to those found in the Spanish Eclectic and utilitarian architecture of the historic structures within the Touro University campus as identified within the Mare Island Specific Plan provides visual continuity between the guardhouse and its setting within the campus.

Does Not Affect the Eligibility of the Historic District for National and State Registers

As a clearly defined new building consistent with the Secretary's Standards, supporting the current institutional use of the historic hospital complex, and located 109 feet from the nearest historical structure, the project would not affect the eligibility of the Historic District for the National and State Registers.

ENVIRONMENTAL REVIEW

The Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code §21000, et seq.) and the California Code of Regulations (Title 14, §15000, et seq.) pursuant to Section 15301 (Class 1, "Existing Facilities"), Section 15303 (Class 3, "New Construction or Conversion of Small Structures"), and 15331 (Class 31, "Historical Resource Restoration/Rehabilitation"). The Class 14 exemption includes minor additions to existing schools within existing school grounds where the addition does not increase original school capacity by more than 25 percent or ten classrooms, whichever is less; the project is within the existing university campus and would not increase school capacity. The Class 31 exemption applies to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the [Secretary's Standards]; the project is consistent with the Secretary's Standards and would support the operation of the university in rehabilitating and preserving the historic Mare Island hospital campus.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

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NOTICE AND COMMENTS

On November 6, 2025, pursuant to VMC Section 16.602.08, a notice of this public hearing was published in the Times Herald, mailed to all active neighborhood groups and all property owners within 500 feet of the subject property, any other interested parties, Vallejo City Unified School District and local agencies expected to provide water, wastewater treatment, and/or other essential facilities or services to the project, as well as electronically mailed to members of the AHLC and the applicant.

As of the writing of this report, staff have not received any comments.

CONCLUSION

Based on the analysis contained in this staff report staff recommends that the AHLC find the project exempt from environmental review pursuant to CEQA Guidelines Sections 15301, 15303, and 15331, and approve Certificate of Appropriateness (COA24-0004) and Development Review (DVR24-0029), subject to the conditions of approval provided as Exhibit A to the Resolution.

EXPIRATION

Pursuant to VMC Section 16.602.12(A)(2), approval of this Certificate of Appropriateness, Development Review, and Design Review shall automatically expire 24 months after its approval, unless the use is exercised or extended (if approved at this meeting, and not appealed).

APPEAL PROCEDURE

VMC Section 16.602.14, Appeals, the Applicant, or any party adversely affected by the decision of the AHLC may, within ten days after the rendering of the decision of the AHLC appeal in writing to the City Council by filing a written appeal with a fee as described in the Master Fee Schedule with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the Applicant believes he or she is adversely affected by the decision of the AHLC. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the AHLC. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the Project boundary. The Council may affirm, reverse, or modify any decision of the AHLC that is appealed.

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LEVINE ACT: GOVERNMENT CODE 84308

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$500 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$500 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$500 made to the City Officers, such as the Mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$500 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION

RESOLUTION #25-XX

RESOLUTION OF THE ARCHITECTURAL HERITAGE AND
LANDMARKS COMMISSION APPROVING A CERTIFICATE OF
APPROPRIATENESS (COA24-0004) AND DEVELOPMENT REVIEW
(DVR24-0029) FOR A NEW ENTRY GUARDHOUSE AND ASSOCIATED
ROADWAY, FENCING, AND LIGHTING IMPROVEMENTS AT TOURO
UNIVERSITY, AND FINDING THE PROJECT EXEMPT FROM
ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES
SECTIONS 15301 – EXISTING FACILITIES, 15303 – NEW
CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES,
AND 15331 – HISTORIC RESOURCE RESTORATION/REHABILITATION

APN: 0066-170-010

WHEREAS, in 1997, Touro University established its campus (the “Subject Property”) within the former Mare Island Naval Shipyard hospital complex; and

WHEREAS, on March 2, 1999, the City of Vallejo City Council adopted the Mare Island Specific Plan (MISP); and

WHEREAS, the City Council amended the MISP in 2005, 2007, 2008, and 2013; and

WHEREAS, on August 29, 2017, the City of Vallejo City Council adopted the Vallejo General Plan 2040; and

WHEREAS, the Subject Property has a General Plan 2040 land use designation of District – Mare Island (D-MI); and

WHEREAS, on June 22, 2021, the City Council adopted a new Zoning Code and Zoning Map; and

WHEREAS, the Subject Property is in the (SP-4) Zoning District; and

WHEREAS, on September 11, 2024, Touro University (the “Applicant” and “Property Owner”), applied for a Certificate of Appropriateness (COA24-0004) and Development Review (DVR24-0029) to construct a new guardhouse measuring 340 square feet in area with a canopy roof structure at the intersection of Azuar Drive and Talos Avenue, widening of Talos Avenue that features a controlled pedestrian entry sidewalk, controlled traffic entry lanes and a traffic exit lane, installation of new wrought iron fencing, a new bioretention basin adjacent to the guardhouse within the site, and lighting and landscaping enhancements within the site surrounding the guardhouse (the “Project”); and

WHEREAS, on August 14, 2025, the application for the Project was determined to be complete for processing; and

WHEREAS, projects involving the minor alteration, repair and maintenance of existing public highways and streets, sidewalks, gutters, and similar facilities (including alterations such as the

addition of pedestrian crosswalks) are categorically exempt from environmental review pursuant to Section 15301(c) of the CEQA Guidelines; and

WHEREAS, projects involving the construction and location of limited numbers of new, small facilities or structures, including structures not exceeding 2500 square feet in floor area and accessory structures such as accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences, are categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines – (Class 3, “New Construction or Conversion of Small Structures”); and

WHEREAS, projects involving maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer, are categorically exempt from environmental review pursuant to Section 15331 of the CEQA Guidelines – (Class 31, “Historical Resource Restoration/Rehabilitation”); and

WHEREAS, on November 6, 2025, pursuant to Vallejo Municipal Code (VMC) Section 16.602.08(A), notice of the Architectural Heritage and Landmarks Commission (AHLC) hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the Subject Property, the Vallejo City Unified School District and any other local agency expected to provide water, wastewater treatment, streets, roads, schools, or other essential facilities or services to the project, and electronically mailed to the members of the AHLC, the applicant, and property owner; and

WHEREAS, on November 20, 2025, the AHLC, after giving all public notices required by State law and the Vallejo Municipal Code, conducted a duly noticed public hearing.

NOW, THEREFORE, LET IT BE RESOLVED that the AHLC hereby finds, determines and resolves as follows:

Section 1. Recitals.

The foregoing recitals are true and correct, and the same are incorporated herein by reference.

Section 2. Record.

The Record of Proceedings (“Record”) upon which the Architectural Heritage and Landmarks Commission bases its decisions on the Project includes but is not limited to: (1) the application, including all designs, plans, studies, data and correspondence submitted to the City in connection with the Project; (2) all staff reports, City files and records and other documentation and information produced by or on behalf of the City in connection with the Project; (3) the evidence, facts, findings, and other determinations set forth in this Resolution; (4) the City of Vallejo General Plan 2040 and its related EIR; (5) the 2021 Zoning Code and its Initial Study and Mitigated Negative Declaration; (6) the Vallejo Municipal Code; (6) all documentary and oral evidence received at the public hearing regarding the Project; (7) other applicable City of Vallejo policies and regulations; and (8) all other matters of common knowledge to the AHLC including, but not limited to, City, state, and federal laws, policies, rules, regulations, reports, records and projections related to development within the City of Vallejo and its surrounding areas.

The Custodian of Record is the Director of the Planning and Development Services of the City of Vallejo, 555 Santa Clara Street, Vallejo, California 94590.

Section 3. California Environmental Quality Act Findings.

Under the California Environmental Quality Act (CEQA), the State has identified a list of classes of projects which have been determined to not have a significant effect on the environment and are therefore exempt from the requirements of CEQA. The AHLC determines that the proposed project is categorically exempt pursuant to: 1) Section 15301(c) (Class 1, "Existing Facilities") because it includes alterations to Talus Avenue, an existing street, for public safety purposes, including new pedestrian safety features such as new sidewalks and crosswalks; Section 15303 (Class 3, "New Construction or Conversion of Small Structures"), because it includes the construction of a new guardhouse measuring only 340 square feet and new fencing; and Section 15331 (Class 31, "Historical Resource Restoration/Rehabilitation"), because as discussed in Section 4, below, the project is consistent with the Secretary's Standards and will support the operation of the university in rehabilitating and preserving the historic Mare Island hospital campus.

MOREOVER, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows:

(a) the site is not located in an environmentally sensitive area;

The project would not impact an environmental resource of hazardous or critical concern designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies.

(b) there are no cumulative impacts as a result of the project;

There is no substantial evidence in the Record that the cumulative impact of successive projects of the same type in the same place, over time would be significant.

(c) there are no significant effects due to unusual circumstances;

There are no unusual circumstances relating to the project that would result in significant effects on the environment.

(d) the project is not located near a scenic highway;

The project is not located near a scenic highway, as there are no scenic highways within the Vallejo.

(e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5 [the "Cortese List"], and

The project site is not located on the Cortese List.

(f) the project would not adversely affect any historical resource.

As discussed above, the project would not adversely affect the

Therefore, no further environmental review is required.

Section 4. Certificate of Appropriateness Findings.

A. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

The Secretary of the Interior's Standards for Rehabilitation are applicable to the project as follows:

- 1) **A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 1 does not apply.

- 2) **The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 2 does not apply.

- 3) **Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 3 does not apply.

- 4) **Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 4 does not apply.

- 5) **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 5 does not apply.

- 6) **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 6 does not apply.

- 7) **Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The proposal is to construct a new guardhouse in a location where there is no existing structure; no changes are proposed to existing buildings within the hospital complex (Touro University campus). Therefore, Rehabilitation Standard No. 7 does not apply.

- 8) **Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

It is not anticipated that any archaeological resources will be disturbed as part of the implementation of the project. The project is therefore anticipated to be in compliance with Rehabilitation Standard No. 8.

- 9) **New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

The proposed new guardhouse will not destroy any materials that characterize the historic property. None of the historic districts contributing buildings or landscape elements are proposed to be altered as part of the project. The proposed median and paving proposed to be removed to accommodate the construction of the new guardhouse are typical materials that do not characterize the property or its historic significance.

The new guardhouse will be differentiated from the old by its simple, modern design. It will further be differentiated from the old by the composition of the proposed materials. The use of white plaster stucco as the primary exterior material will be compatible with the reinforced concrete structures that characterize the property, while simple, modern materials like the blackened steel posts, fluted concrete detailing, and adjacent concrete planters will be clearly differentiated from the old and distinctly new. Furthermore, it will be compatible with the massing, size, and scale of the architectural features of the hospital complex. As recommended in guidance provided by NPS in Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns, it will be subordinate to the buildings that contribute to the Mare Island Historic District's hospital complex.

Its proposed placement at the corner of Azuar Drive and Talos Avenue is appropriate. It will not change the historic vehicular or pedestrian circulation of the site. It will not obscure or detract from any of the contributing buildings' primary elevations and will be appropriately distanced from all building elevations and be separated from existing buildings and contributing landscape features by existing lawns and small surface parking lots. Similarly, related elements to the new guardhouse, including the proposed new signage, lighting, and fencing, will be simple in design, and will not detract from the historic character of the hospital complex. Overall, the proposed scope of work will not change or detract from the historic setting and will maintain the distinct edges along Railroad Avenue and 14th Street. The proposed scope of work is consistent with Rehabilitation Standard No. 9.

- 10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

The proposed scope of work does not include additions or alterations to contributing buildings or landscape elements. The proposed scope of work including the new guardhouse, signage, and fencing could be removed in the future without impairing the essential form and integrity of the hospital complex and its environment. The proposed scope of work is consistent with Rehabilitation Standard No. 10.

- B. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.**

The project site is within the Mare Island Specific Plan (MISP) and the Mare Island Historic District. Per Section 4.5 of Appendix B.1 Mare Island Historic District Project Guidelines, the project has been reviewed and determined consistent with the Historic District Project Guidelines, including the Secretary's Standards, and the Design Guidelines for the Mare Island Historic District (MISP Appendix B.4). The project will not adversely affect the resource at 1310 Club Drive, known historically as Building H-1, which is significant as a contributor to the Mare Island Historic District for its association with the U.S. Naval Hospital's program. Consistent with the Specific Design Guidelines, the proposed scope of work will allow the hospital complex to retain its traditional site planning principles with main buildings flanked by supplemental and supporting buildings, surrounded by natural and designed landscapes. The proposed guardhouse's design and placement, as described above, will be consistent with the hospital complex's outward expansion and will be clearly differentiated from the old. Additionally, the proposed scope of work will maintain the distinct edges of the hospital complex and preserve the established pedestrian and internal vehicular circulation patterns. Additionally, the Specific Plan's Urban Design Guidelines will be reinforced by the proposed signage and lighting, which will offer improved visual definition for the campus' vehicular entry from Azuar Drive, thereby successfully reinforcing the campus design character of the area.

- C. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (d) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.**

Not Applicable; no demolition is proposed within the scope of work for this project.

Section 5. Development Review Findings.

- A. Complies with all applicable specific standards and criteria of this Zoning Code;**

The project is located on a property within the Mare Island Specific Plan (SP-4) Zoning District. VMC 16.210.01 states that the provisions of a specific plan may be combined with provisions of a base zoning district for the area to which the specific plan applies, and the more restrictive provisions will govern. Specific plan provisions also may be substituted for citywide provisions included in the Zoning Code or subdivision regulations, as more specifically specified in the specific plan. No other base zoning district applies to this project site other than the Mare Island Specific Plan (MISP).

B. Is consistent with the general plan and any applicable approved specific plan or planned development;

The project is consistent with the General Plan, which calls for the continued implementation of the Mare Island Specific Plan (MISP), within which the project site is located. Applicable provisions within the MISP are also adhered to for this site within Reuse Area 9, as outlined in the below Finding C.

C. Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a major or minor use permit, variance, specific plan, planned development, or tentative map applicable to the project or the location where it is proposed;

The project complies with the design standards outlined in the applicable Mare Island Specific Plan (MISP) for new buildings. Section 4.5.3 within Appendix B.1 of the MISP outlines standards for new construction within the Mare Island Historic District with the following standards for approval of a new structure:

- 1. The new construction is consistent with the Secretary's Standards; and*
- 2. The new construction is consistent with Design Guidelines for the Mare Island Historic District Appendix B.4 and Section 4.0 of the Specific Plan; and*
- 3. The new construction is compatible with its location while clearly reflecting its own time; and*
- 4. The new construction does not affect the eligibility of the Historic District for the National and State Registers.*

The project is consistent with the Secretary's Standards, which are detailed in Section 4 of this Resolution pertaining to the Certificate of Appropriateness. Furthermore, the project is consistent with the Design Guidelines outlined in Appendix B.4 of the MISP, as well as Section 4.0 of the MISP pertaining to Urban Design. Chapters 9 and 11 of MISP Appendix B.4 require new construction to be inspired by the historic precedent of street layouts, site design, and landscapes, as well as the forms, materials and details of structures. MISP Section 4.0 requires new buildings to consist of high-quality architectural design that does not mimic existing adjacent buildings but rather are designed to be sensitive to the historic character of the setting in terms of size, scale, materials, color, and texture. Likewise, new infill buildings adjacent to contributing resources may be contemporary in design but should complement the character of the setting and be compatible with historic relationships between groupings of existing buildings, landscape, streets and other distinguishing features with the area. The proposed guardhouse is located at the existing northern entrance to the Touro University complex, along the existing path of Talos Avenue south of its intersection with Azuar Drive.

The materials and placement of the structure are inspired by the existing structures, including lightly textured white plaster, terracotta-look concrete, wood-look steel, black steel, as well as oxidized steel; the overall design of the guardhouse is low-profile and modern, consistent with structure design contemporary to the 2020s. The minimal amount of landscaping proposed is designed to complement the existing landscape in this area, while clearly indicating the guardhouse as an entryway to the campus. Lighting proposed is consistent with existing fixtures throughout the Touro University campus. As a new building supporting the current institutional use of the historic hospital complex and located 109 feet from the nearest historical structure, the project will not affect the eligibility of the Historic District for the National and State Registers.

D. Is in substantial compliance with any applicable adopted design guidelines;

The project is consistent with the Design Guidelines outlined in Appendix B.4 of the MISP, as well as Section 4.0 of the MISP pertaining to Urban Design. Chapters 9 and 11 of MISP Appendix B.4 require new construction to be inspired by the historic precedent of street layouts, site design, and landscapes, as well as the forms, materials and details of structures.

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- E. Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;**

The project will support the existing grouping of structures which comprise the Touro University campus and will enhance their relation to one another by bolstering the sense that the structures operate as one campus due to its placement at one of the campus entrances. The materials and placement of the structure are inspired by the existing structures, including lightly textured white plaster, terracotta-look concrete, wood-look steel, black steel, as well as oxidized steel; the overall design of the guardhouse is low-profile and modern, consistent with structure design contemporary to the 2020s. The minimal amount of landscaping proposed is designed to complement the existing landscape in this area, while clearly indicating the guardhouse as an entryway to the campus. Lighting proposed is consistent with existing fixtures throughout the Touro University campus.

- F. Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area; and**

The project is meant to function as a guardhouse to provide a secure access point to the Touro University campus, strengthening efforts to protect the campus's students, faculty, and existing historic structures from criminal activity. The materials and placement of the structure are inspired by the existing structures, including lightly textured white plaster,

terracotta-look concrete, wood-look steel, black steel, as well as oxidized steel. The minimal amount of landscaping proposed is designed to complement the existing landscape in this area, while clearly indicating the guardhouse as an entryway to the campus. Additional lighting proposed is consistent with existing fixtures throughout the Touro University campus. Providing a thoughtfully-designed structure to support campus security efforts in this area serves to protect the value of numerous public and private investments in the area.

G. That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.

See Section 3 above.

Section 6. Decision.

BE IT FURTHER RESOLVED that the AHLC hereby APPROVES Certificate of Appropriateness (COA24-0004) and Development Review (DVR24-0029) based on the findings contained herein and subject to the conditions of approval contained in Exhibit A of this Resolution.

Section 7. Time Limitations, & Indemnity.

- a) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees from any claim, action, or proceeding brought against the City or its agents, officers, attorneys, or employees to attack, set aside, void, or annul the action(s) at issue herein. This indemnification shall include damages or fees awarded against the City, if any, costs of suit, attorneys' fees, and other costs and expenses incurred in connection with such action whether incurred by the Applicant, the City, and/or parties initiating or bringing such action.
- b) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees for all costs incurred in additional investigation of or study of, or for supplementing, preparing, redrafting, revising, or amending any document, if made necessary by said legal action and the Applicant desires to pursue securing such approvals, after initiation of such litigation, which are conditioned on the approval of such documents in a form and under conditions approved by the City Attorney.
- c) In the event that a claim, action, or proceeding described in paragraphs a. or b. above is brought, the City shall promptly notify the Applicant of the existence of the claim, action, or proceeding, and the City will cooperate fully in the defense of such claim, action, or proceeding. Nothing herein shall prohibit the City from participating in the defense of any claim, action, or proceeding; the City shall retain the right to: (1) approve the counsel to so defend the City; (ii) approve all significant decisions concerning the manner in which the defense is conducted; and (iii) approve any and all settlements, which approval shall not be unreasonably withheld. The City shall also have the right not to participate in said defense, except that the City agrees to cooperate with the Applicant in the defense of said claim, action, or proceeding. If the City chooses to have counsel of its own to defend any claim, action, or proceeding where the Applicant has already retained counsel to defend the City in such matters, the fees and expenses of the counsel selected by the City shall be paid by the City. Notwithstanding the immediately preceding sentence, if the City Attorney's Office participates in the defense, all City Attorney fees and expenses shall be paid by the Applicant.

- d) The Applicant, property owner and/or any successor(s) in interest, whether in whole or in part, to either of them, indemnifies the City for the City's costs, fees, and damages which the City incurs in enforcing the above indemnification provisions.
- e) Pursuant to VMC Section 16.602.14, the Applicant, or any party adversely affected by the decision of the AHLC, may, within ten days after the AHLC's decision, appeal in writing to the City Council by filing a written appeal with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the AHLC. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the date of the decision. Fees for the appeal established by the Master Fee Schedule shall be paid by the appellant. In the event the appeal period ends on a Saturday, Sunday, or any other day the city is closed, the appeal period shall end at the close of business on the next consecutive business day.
- f) The conditions of approval applicable to the Project include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), the conditions constitute written notice of a statement of the amount of such fees and a description of dedications, reservations, and other exactions. Applicant is hereby further notified that the 90-day approval period in which it may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) has begun. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

PASSED AND ADOPTED at a regular meeting of the Architectural Heritage and Landmarks Commission of the City of Vallejo, State of California, on the 20th day of November 2025, by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

ANGELA MCDONALD, CHAIRPERSON
 City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

ROBERT THACKER, SECRETARY
 City of Vallejo Architectural Heritage and Landmarks Commission

Exhibits:

- A. Conditions of Approval

CONDITIONS OF APPROVAL

**CERTIFICATE OF APPROPRIATENESS (COA24-0004)
DEVELOPMENT REVIEW (DVR24-0029)
1310 CLUB DRIVE
APN # 0066-170-010**

PERMIT DESCRIPTION: The Project consists of the construction of a new guardhouse measuring 340 square feet in area with a canopy roof structure at the north entrance of Touro University at the intersection of Azuar Drive and Talos Avenue, widening of Talos Avenue that features a controlled pedestrian entry sidewalk, controlled traffic entry lanes and a traffic exit lane, installation of new wrought iron fencing, a new bioretention basin adjacent to the guardhouse within the site, and lighting and landscaping enhancements within the site surrounding the guardhouse.

A. PLANNING DIVISION

Robert Busick, AICP, Senior Planner | robert.busick@cityofvallejo.net | (707) 648-5422

Pre-Building Permit:

1. Prior to building permit submittal, the applicant shall submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate further development of the project. The approved conditions shall also be included with the building permit set, after the cover sheet.
2. Prior to building permit issuance, the applicant shall confirm that the building permit drawings and subsequent construction substantially conform with the approved Planning entitlement.
3. Prior to building permit issuance, the applicant shall ensure that the building permit, grading permit and all other drawings and documents substantially conform with the documents and/or representations, whether oral or written that were presented to and approved by the AHLC. Pursuant to VMC 16.602.10.b the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or submitted during the approval process shall be deemed conditions of approval. Any approval may be subject to requirements that the applicant guarantees, warranties, or ensures compliance with the plans and conditions in all respects.
4. Prior to any work being done with the public right-of-way, the applicant shall obtain all necessary permits from the Public Works Department.

During Construction:

5. Construction activities shall be managed in compliance with the following requirements:
 - a. Site Watering. During the construction of a project, all portions of the site shall be watered as necessary to reduce emissions of dust and other particulate matter, and all stockpiles shall be covered.
 - b. Maintenance. Streets and sidewalks shall be made dirt free at the completion of construction.
 - c. Noise. All construction and transport equipment shall be muffled in accordance with state and federal laws.
 - d. Emissions. Construction and transport equipment shall be operated to minimize exhaust emissions. During construction, trucks and equipment should be running only when necessary.

- e. Hours of Operation. Grading and pile driving operations within ¼ mile of residential units shall be limited to between 8:00 am and 5:00 p.m. on weekdays to ensure compliance with the requirements for construction activity in Subsection 16.502.12.D.1., Maximum Noise Level for Temporary Construction Activity, or as otherwise restricted as part of an approval.
 - f. Water Run-off. All water run-off from construction sites shall be controlled. During construction, trucks and equipment should be running only when necessary and shall comply with Chapter 12.41 of the Vallejo Municipal Code.
6. No person shall make, or cause to suffer, or permit to be made upon any public property, public right-of-way or private property, any excessive noise, annoying noise, amplified sound or vibrations that are physically annoying to reasonable persons of normal sensitivity or that are so harsh or so prolonged or unnatural or unusual in their use, time or place as to cause or contribute to the unnecessary and unreasonable discomfort of any persons of normal sensitivity located at the lot line of the property from which these noises emanate or that interfere with the peace and comfort of residents or their guests, or the operators or customers in places of business in the vicinity, or that may detrimentally or adversely affect such residences or places of business (VMC Section 16.502.09 (C)).
 7. Construction, demolition, and related loading/unloading activities that may generate noise shall be limited to the following: 7 a.m. and 6 p.m. Monday-Friday, Saturday 9 a.m.-6 p.m. No construction is to occur on Sunday or federal holidays. Construction equipment noise levels shall not exceed the City's maximum allowable noise levels.
 8. The fencing for construction sites shall not be installed until a building permit or grading permit has been issued and shall be removed prior to final inspection. In the event that the building permits expire before the construction is completed, the Planning and Development Services Director may issue a temporary use permit pursuant to Chapter 16.339, Temporary Uses, to allow the fencing to remain for a longer period of time (VMC Section 16.505.08 (B)).

Fences, Walls and Screening:

9. Fencing and walls shall be continuously maintained with no sign of rust or disrepair. Any graffiti shall be removed within forty-eight hours of discovery by the property manager (VMC Section 16.505.02 (B)).
10. All exterior mechanical equipment, whether on a roof, on the side of a structure, or located on the ground, shall be screened from public view. Exterior mechanical equipment to be screened includes, without limitation, heating, ventilation, air conditioning, refrigeration equipment, plumbing lines, ductwork, transformers, smoke exhaust fans, water meters, backflow preventers, service entry section, back-up and emergency generators, and similar utility devices.
 - a. Screening shall be architecturally integrated into the main structure with regard to materials, color, shape, and size to appear as an integral part of the building or structure.
 - b. Equipment shall be screened on all sides, and screening materials shall be opaque.
 - c. When screening with plants, evergreen types of vegetation shall be planted and maintained. Plant material sizes and types shall be selected and installed so that, at the time of building occupancy, such plants effectively screen their respective equipment.
 - d. The use of wood expanded metal lath, and chain link for the purpose of screening is prohibited (VMC Section 16.505.10).

Lighting:

11. Lighting shall be designed, located, and installed to be directed downward or toward structures, be shielded or fully shielded, and shall be well-maintained in order to prevent glare, light trespass (unwanted light on adjacent lots and public rights-of-way), and light pollution to the maximum extent feasible. No permanently installed lighting shall blink, flash, or be of unusually high intensity or brightness, as determined by the Planning and Development Services Director (VMC Section 16.506.04 (B)).
12. Acorn exterior light fixtures proposed shall incorporate a light shield, in compliance with Infrastructure Neighborhood Level Design Guidelines within Mare Island Specific Plan Design Guidelines (Appendix B.4).

Overall Project:

13. All improvements shall be consistent with Mare Island Specific Plan Appendix B.4 Design Guidelines, particularly those applicable to the Administrative and Institutional Character Areas.
14. All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the adjacent surface.
15. This entitlement shall automatically expire within two years of the effective date of this approval, on November 20, 2027, unless the entitlement is exercised or extended (VMC Section 16.602.12 (A)). Issuance of a building permit shall constitute exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - a. The building permit expires.
 - b. Final inspection is not completed, or certificate of occupancy issued within the time specified as a condition of project approval.
 - c. The rights granted under the permit are not exercised within one year following the earliest to occur of the following: issuance of a certificate of occupancy; or if no certificate of occupancy is required, the last required final inspection for the new construction (VMC Section 16.602.11 (B)).
16. For new developments, utilities including, but not limited to, all electrical, telephone, cable television, fiber-optic cable, gas, water, sewer, irrigation/recycled water, and similar distribution lines providing direct service to a project shall be installed underground within the site. This requirement may be waived by the Planning and Development Services Director upon determining that underground installation is infeasible, or the electrical line is otherwise exempt from an undergrounding requirement (VMC Section 16.501.10).
17. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No

modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

B. Building Division

Staff Contact: Bill Collins, CBO, CASp, CFM | bill.collins@cityofvallejo.net | (707) 648-4387

1. Plans and permits will be required for building, mechanical, plumbing, and electrical work per California Code of Regulations, Title 24, and applicable City Ordinance in effect at the time of the completed Building Permit application date and required fees shall be paid at the time of application.
2. 2022 California Code of Regulations applies if permit application(s) are received before the end of 2025. After 12-31-2025 the 2025 California Code of Regulations will apply and/or current code cycle.
3. Fees will apply to the current fiscal year of Building Permit applications.

C. Public Works Department

Staff Contact: James Paluck, PE, Consulting Senior Engineer | james.paluck@cityofvallejo.net | (707) 554-5902

Adherence to City of Vallejo Design Standards:

1. All public improvements shall be designed and constructed to current City of Vallejo Design Standards.
2. Existing public facilities damaged during the course of construction shall be repaired by the Applicant, at his sole expense, to the satisfaction of the City Engineer.

Construction Drawings:

3. Frontage improvements along Azuar Avenue and Talos Avenue including but not limited to: pavement widening, curb, gutter, sidewalk, curb ramps, valley gutter, decorative pavement, streetlighting, gate, bollards, fencing, signage and striping shall be constructed as shown on the Preliminary Plans. Construction drawings shall be submitted and approved by Public Works prior to commencement of work.
4. Construction Drawings will need to fill in the "blanks", specifically the "X's" (where numbers should be) on the Civil sheets 2, 4 & 5.
5. Revise AS100- Architectural Site Overall Plan, Stop Bar and Legend location to match AS101 - Fencing Plan & G036 - Traffic Diagram. Relocate south of crosswalk.

Utility Plan:

6. A utility plan shall be prepared by the Applicant's Civil Engineer and approved by the City Engineer. The Utility Plan shall include the proposed on-site layout for water, sewer, and storm drain systems, and points of connection to the existing utilities.

Stormwater Quality:

7. The Applicant shall prepare a Storm Water Control Plan and Report for the project, consistent with the City of Vallejo requirements. Please refer to the Stormwater C.3 Guidebook prepared by the Contra Costa Clean Water Program.

8. The project shall comply with the requirements of the most current National Pollutant Discharge Elimination System (NPDES) permit issued to the City of Vallejo, which incorporates Low Impact Development (LID) Best Management Practices in the overall design to address the issue of ongoing post-construction stormwater quality for the project site. Examples of LID treatment measures include: bio-retention, harvesting and reuse, infiltration, and evapotranspiration.
9. All stormwater treatment measures shall be adequately operated and maintained. To ensure operation and maintenance of stormwater treatment measures, the property owner shall enter into a Stormwater Treatment Measures Maintenance Agreement with the City. This agreement shall be signed by the property owner and submitted to the Department of Public Works prior to the issuance of the building permit. It is included in the document entitled "Storm Water Requirements for Development Projects- Packet for Project Applicants."

Grading:

10. A grading plan shall be prepared by the Applicant's Civil Engineer and approved by the City Engineer. The following information shall be shown on the Grading Plan:
 - a. Existing contours, landscaping, fences, buildings, or other improvements
 - b. Furnish all necessary details to clearly convey recommendations outlined in the project geotechnical investigation
 - c. Cut/Fill interfaces and limits of grading
 - d. Limits of existing geologic hazards as identified by the Geotech. Engineer
 - e. Lot boundaries and road rights-of-way
 - f. Proposed pad elevation, finished contours and grading details
 - g. Perimeter cross-sections along all sides of the project to show the proposed project's interface with abutting properties and streets
 - h. Plan view of proposed drainage facilities including storm drains, catch basins, manholes and underdrains
 - i. Top of curb elevations, pavement surface drainage, grades, ridge lines, etc.

Erosion and Sediment Control:

11. An erosion and sedimentation control plan shall be included and prepared by the Applicant's Civil Engineer. The erosion control plan shall include protection measures such as: sedimentation basins, check dams, straw wattles and hydroseeding details.
12. The applicant shall obtain all necessary permits for storm water discharges, including but not limited to the State Water Resources Control Board Construction General Permit. Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, shall obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (State Water Resources Control Board Construction General Permit, 99-08-DWQ). Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation, but does not include regular maintenance activities performed to restore the original line, grade, or capacity of the facility.
13. The applicant shall be responsible for developing and implementing a Storm Water Pollution Prevention Plan which shall be reviewed and approved by the City of Vallejo.

Curb, Gutter, and Sidewalk:

14. The Applicant shall remove and replace damaged or nonstandard curb and gutter along the project frontage. Contact the Public Works Department, concurrent with the Public

Works encroachment permit application, to mark the existing curb and gutter along the project frontage that will need to be removed and replaced.

Landscaping:

15. The project architect and engineer shall coordinate design closely with the project landscape designer. Specifically, they shall consult the landscape designer to evaluate and address issues related to:
 - j. Fencing/wall layout and details
 - k. Locations and sizes for irrigation services
 - l. Sight distance constraints for fencing and landscaping
 - m. Depth of cover and tree setbacks over water, sewer and storm drain lines in landscape areas
16. Landscaping plans shall be prepared by a registered Landscape Architect and City-maintained landscaping shall be designed per City standards. Landscaping and irrigation plans shall be designed to comply with the City's Water Efficient Landscaping Ordinance. Use of turf and other water-intensive landscaping shall be minimized.

Public Works Permit:

17. The applicant shall obtain a permit from Public Works prior to any work/improvements within the public right-of-way. The Applicant or his contractor shall furnish the necessary insurance and bonds and pay all fees associated with the permit. Contact Public Works for additional information.

D. Fire Department

Staff Contact: Moises Zarate, Fire Inspector | moises.zarate@cityofvallejo.net | (707) 648-4049

Fire Code Requirements:

1. All buildings, facilities, and developments shall be accessible to Fire Department Apparatus by way of approved access roadways.
2. Access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing 70,000 lbs. with an all-weather driving surface.
3. Access roads shall have an unobstructed width of not less than 20' with a maximum grade of 15%. Access roads shall have a minimum of 13'-6" of vertical clearance, including trees, wires and overhead signs. Speed bumps or other vertical traffic calming devices are prohibited on routes of fire access.
4. All access roads shall be installed and maintained serviceable prior to and during combustible construction.
5. Access roads that are fire lanes shall either be posted with permanent all-weather signs constructed and installed in accordance with the Fire Department Fire Lane Marking Standard FP-2a OR shall have curbs painted red and a sign posted at each entrance in accordance with standard FP-2b. Contact the Fire Prevention Bureau for further information and design templates. Location of such area's shall be determined prior to final inspection.
6. If access gates are to be installed the owner shall obtain a separate permit from the Fire Department. All vehicles access gates shall be equipped with a Knox Keyswitch. Knox Keyswitch shall be fully operational prior to final sign-off from the Fire Department. Non-

automated access gates require a Knox Pad Lock for access. Contact the Fire Department at (707) 648-4565 or visit www.knoxbox.com.

7. Rooms or areas containing controls for HVAC systems, electrical panels, automatic fire extinguishing systems, fire alarm equipment or other detection, suppression or control elements shall be identified with appropriate signs. Due prior to final inspection.
8. Approved address numbers shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall clearly contrast with their background. The characters shall be a minimum of 6" high with a 1/2" stroke. The size of the building and distance or location of the address numbers from the roadway may necessitate larger numbers. Due prior to final inspection.
9. The minimum fire-extinguisher requirement shall be one 2A-10BC rated portable unit in such locations so that maximum floor-travel distance does not exceed 75' to the nearest extinguisher from any portion of the building with a maximum of 3,000 square feet of floor area surveyed. Plan submittal shall include the proposed location of extinguishers. Final location shall be approved in the field by the Fire Department. Due prior to final inspection.
10. All fire extinguishers shall be mounted in a conspicuous and readily accessible location either on a bracket or within an approved storage cabinet. Fire extinguishers shall be mounted so the top of the unit is 3 feet to 5 feet off the finished floor. If the extinguisher is not readily visible, a sign shall be located directly above the extinguisher. The sign shall be legible and of a contrasting color with its background.
11. Means of egress illumination shall be provided and maintained at any time the building is occupied. The means of egress shall be illuminated of not less than 1 foot candle power. Due prior to final inspection.
12. All buildings shall comply with the 2022 California Building Code, Chapter 10 Means of Egress requirements. Including but not limited to; exit signs, exit doors, exit hardware and exit illumination.
13. Locking devices on exit doors shall conform to the California Building Code. Only one lock or latch requiring one motion/operation to open/unlock is required. No double keyed dead-bolts are permitted on exit doors.
14. A final inspection from the Fire Prevention Division is required prior to permit sign-off.

Requests for field inspection shall be made a minimum of 24 hours in advance by calling the Fire Prevention Division at (707) 648-4565, Monday through Friday 9:00AM to 3:00PM.

E. Water Department

Staff Contact: Kenny Lim, Assistant Engineer | kenny.lim@cityofvallejo.net | (707) 534-8100

1. As a part of the Building Permit application, the applicant shall provide the following:
 - a. Site plans showing the entire building structure and all existing and proposed utilities such as water (domestic, irrigation, and fire), sewer, and storm from the mains in the public right of way to the fixtures on private property, which shall include their size, distance from each other, and the location of the nearest fire hydrant. (This includes wells connected to the water system).
 - b. Show on plans how water line will be connected to the new structure.

2. Any fee's applicable in the Building Permit phase will be stated on the Water Service Connection Application and are to be paid prior to issuance of the building permit.
3. A final inspection is required by the Water Engineering Inspector prior to the final of the building permit.

F. Vallejo Flood and Wastewater District

Staff Contact: Mariah Henderson, Engineering Technician |
mhenderson@vallejowastewater.org | (707) 652-7810

Prior to Building Permit Application:

1. Payment of VFWD plan review fee.

Prior to Issuance of Building Permit or Public Works Permit(s):

2. Clearly identify sanitary sewer and storm drainage pipes and manholes as "VFWD" or "Private-Touro". All infrastructure within the campus property lines shall be privately owned and maintained.
3. Sheet 4 of 5 indicates the new guard building will tie into the existing 12-inch sewer located on Talos Avenue. Prior to connecting the new lateral, contractor is required to CCTV existing 12-inch sewer in the presence of VFWD inspector to determine reusability. If the inspector deems the lateral to be insufficient, replacement will be required from the nearest upstream manhole to the nearest downstream manhole at Azuar Avenue. The 12-inch sewer shall be labeled as "Private-Touro".
4. Two-way cleanout – A two-way cleanout is required within three feet of the foundation where waste plumbing exits the guard building. See VFWD standard detail SS-4.
5. Provide pre-project and post-project impervious surface areas on site plan.
6. Add the following notes to plans:
 - a. "All work shall conform to VFWD Engineering Standards."
 - b. "CCTV of existing 12-inch sewer is required to determine reusability. Replacement may be required at the discretion of VFWD inspector."
 - c. "VFWD inspection and acceptance required prior to building permit final inspection. Request VFWD inspection a minimum of 24 hours in advance for inspection."
7. Pay applicable VFWD fees to obtain permit.

Prior to Occupancy:

8. VFWD inspection and acceptance is required prior to building permit final inspection. Inspection may be requested via:
 - a. Phone: (707)644-8949, option 7
 - b. Email: admin@vallejowastewater.org
 - c. Online: <https://www.vallejowastewater.org/355/Inspection-Request>



Rincon Consultants, Inc.
4589 North Marty Avenue, Unit 102
Fresno, California 93722
559-228-9925

August 23, 2024
Project No: 24-15671

Jennifer Levesque, Managing Director
Twinsteps Architecture
18875 MacArthur Boulevard
Irvine, California
Via email: jennifer@twinstepsarch.com

**Subject: Historical Resources Impact Assessment
Touro University, Mare Island, Vallejo, California**

Dear Ms. Levesque:

Rincon Consultants, Inc. (Rincon) was retained to conduct a historical resources impact assessment for a project at Touro University, Vallejo, California. The proposed project involves establishing a main public entrance at the intersection of Azuar Avenue and Talos Avenue at the northeast side of Touro University's campus, located within the former Mare Island Naval Shipyard hospital complex. The campus is within the boundary of the Mare Island Historic District, which is listed in the National Register of Historic Places (NRHP). The proposed project would be adjacent to several contributing resources to the NRHP-listed district. The current assessment was prepared to determine if the project conforms with the Secretary of the Interior's Standards for Rehabilitation (Standards) and would result in an impact to a historical resource in support the project's certificate of appropriateness application.

Project Description

Touro University aims to enhance campus safety by establishing the main public entrance at the intersection of Azuar Avenue and Talos Avenue. The project involves widening a 125' section of Talos Avenue from the corner of Azuar Ave to the entrances of the nearby parking lots. The widened street will feature a controlled pedestrian entry sidewalk, controlled traffic entry lanes, and a traffic exit lane next to a guard house measuring approximately 340 square feet. The guardhouse will serve as the office for campus security. The project also includes installation of a second entry sign at the east side of Talos Avenue to match the existing signage on the west side of Talos Avenue and a simple metal fence that continues from the rear of the signage to the crosswalk south of the proposed new guardhouse.

The new one-story guardhouse will be situated in the same general location of the existing median, which will be removed to accommodate the proposed configuration, at the intersection of Azuar and Talos Avenues. It will allow for two lanes of entry traffic at its west elevation, with entry controlled by a motorized gate arm and one lane of exit traffic at its east elevation. Both traffic lanes will also feature paired gates, compatible with the proposed fencing, that can be closed and will have permeable road paving. The guardhouse will have a rectangular footprint, a cast-in-place concrete and white plaster stucco exterior with fluted concrete paneling details and a metal standing seam roof with a blackened steel fascia. The roof will be butterfly shaped, with a slight V-shape that begins at the guardhouse's west elevation and extends, increasing in height over the vehicular entry beyond. The extending roof will be supported by blackened steel posts that will mimic exposed blacked steel beams at the ceiling with wood or wood-look composite between.

The guardhouse will be fronted by angled stepped concrete planters at its north elevation that will be protected by three lighted bollards. A second angled concrete planter will be established south of the proposed guardhouse, separated from building by a concrete walkway, with curbs on each side to separate it from incoming and outgoing vehicular traffic. The guardhouse interior will feature a secure room at its north end, with an adjacent security office, and a restroom and entry hall at the south end. It will feature two entries – one at the west elevation and one at the south elevation.

Existing curb cuts at the corners of Azuar and Talos Avenues will be removed and replaced with new sidewalks with 6” curbs, to encourage pedestrian traffic to cross at the new pedestrian crossing south of the proposed guardhouse. A new monument sign, matching the existing signage on the east side of Talos Avenue, is proposed for the north side of Talos Avenue. Additional lighting to match existing lighting will be added to the north and south of the proposed guardhouse. A new metal fence with a black powder coat finish will be added beginning at the rear side of each sign and continuing to the crosswalk south of the new guardhouse. The fence will be 96” high and have a simple, 1” picket design.

Figure 1 Proposed Project Site Plan

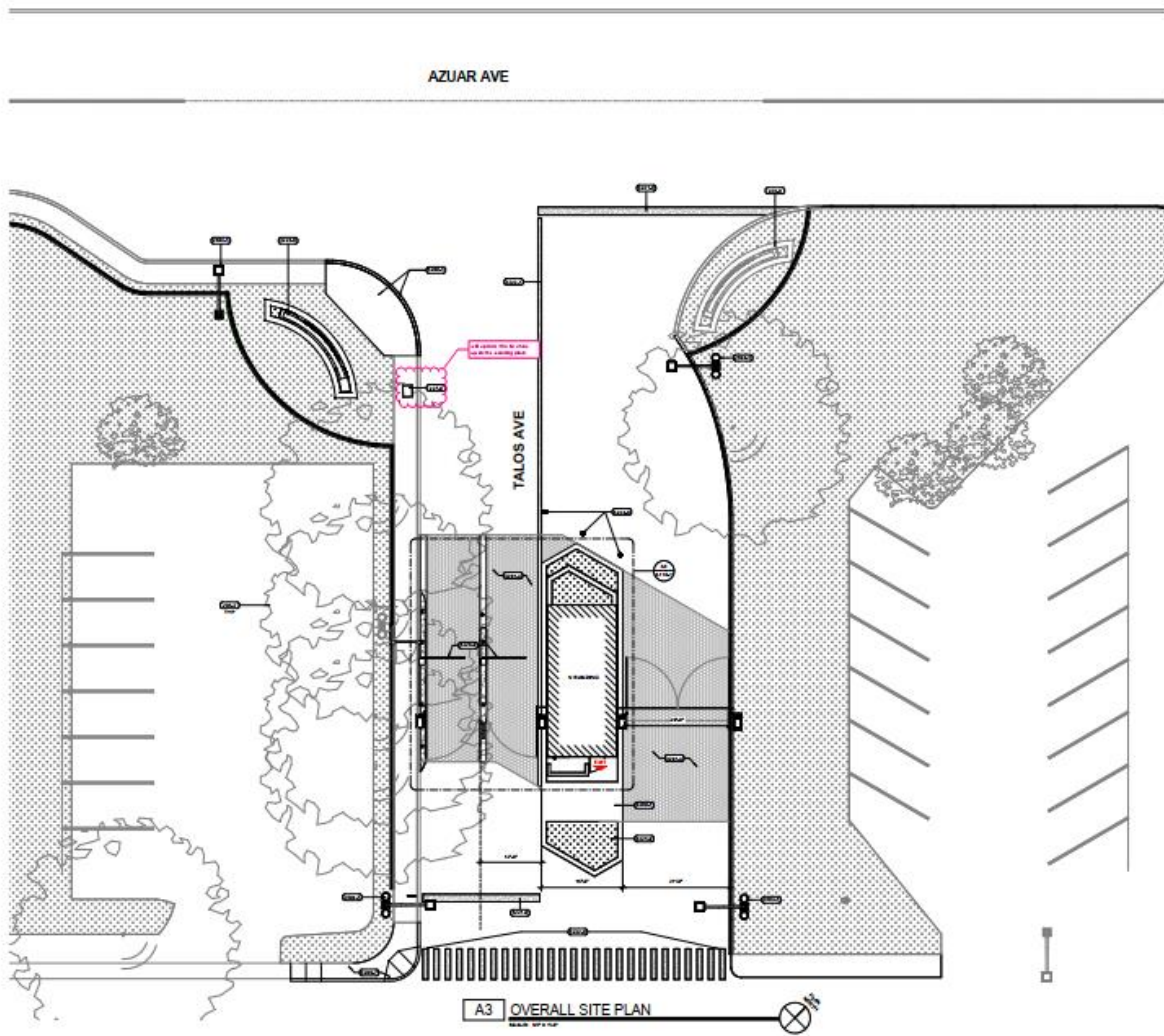


Figure 2 Proposed Project Rendering From Azucar Avenue

Mare Island Historic District

There have been numerous cultural resource surveys conducted of Mare Island since the 1970s. In 1974, George Adams, Managing Editor for the American Association for State and Local History, prepared a survey of sites in Mare Island, resulting in the designation of Mare Island as a National Historic Landmark (NHL) under the title Mare Island Naval Shipyard in 1975. All properties in the NHL are also listed in the NRHP. The NHL listing consisted of four discrete historic districts. Subsequent to the initial NHL listing, several buildings were demolished and several studies followed, expanding and redefining boundaries and contributing buildings. In 1997, the NRHP record was updated to justify a single historic boundary district and list all properties within the district and identify those that do not contribute to the historic district. The historic district was described in 1997 as follows:

The Mare Island Historic District is significant at the national level, with a period of significance extending from 1854 to 1945. It is significant under National Register criteria A, C, and D in the areas of: military history (Criterion A), relating to its role in defense of the nation during the Civil War, Spanish American War and World Wars I and II; industry (Criterion A), relating to its preeminence among shipyards on the West Coast during nearly the entirety of its period of significance; architecture (Criterion C), relating to its important collection of architectural specimens from many eras; engineering (Criterion C), relating to its inclusion of distinguished examples of structural engineering; and archeology ~ historic, non-aboriginal (Criterion D), relating to the known and predicted presence of subsurface deposits that contain information important to our understanding of the history of the Mare Island shipyard, 1854-1920. In addition, the collection of buildings represent a significant and distinguishable entity whose components do not all possess individual distinction (Criterion C). Criteria consideration A is met for the one religious building (Building 104), because it is also distinguished from the architectural standpoint, and for its distinction as the oldest continuously operated Navy church on the West Coast. Criteria consideration D is met for the cemetery (Building AO) because it is significant principally from the historical standpoint, pertaining to its distinction as the oldest Navy cemetery on the West Coast.¹

¹ National Park Service, National Register of Historic Places, Mare Island Historic District Nomination, NPS Reference #96001058, 1997. <https://npgallery.nps.gov/NRHP/AssetDetail/16d53066-edd9-42c1-a21f-201f64fad290>.

Methods

Rincon completed background and archival research in support of this study in August 2024. Sources included historical maps, aerial photographs, and the NRHP nomination. Rincon Architectural Historian JulieAnn Murphy conducted a built environment survey of the property on August 9, 2024 to confirm the overall condition of the property. Additional methods for the current assessment included a review of project plans and preparation of this letter report to present the results.

Project Location Background and Site Visit

The area of the proposed guardhouse is within the hospital complex portion of the historic district. Buildings in the immediate vicinity of the proposed guardhouse include Buildings H72, H73, and H34 on the west side of Talos Avenue and Buildings H74 and H79 on the east side of Talos Avenue.

Figure 3 Proposed Project Area and Adjacent Contributing Buildings



Building H72 is a three-to-five story, L-shaped, reinforced concrete hospital building located southwest from the proposed project area and east of Club Drive (Photograph 1 and Photograph 2). It was constructed in 1926 as a general hospital ward built by the Navy in an effort to modernize its medical facilities. It is currently vacant and unused. In addition to the building form, the NRHP nomination also notes the significance of the formal, designed landscape that fronts Building H72 including an old bandstand at the center, intersecting concrete walks, benches, and mature trees. Situated to the north of Building H72 is Building H73, a U-shaped, reinforced concrete, Mission Revival hospital ward building. It was also constructed in 1926 (Photograph 3). Originally constructed as the “sick officers’ quarters,” it is currently vacant and unused. East of Building H73 and south of the proposed project area is Building H34, a one-story storage building constructed in 1918 (Photograph 4).

Building H74, east of the proposed project area is a utilitarian reinforced concrete building constructed in 1928 for the hospital complex's central heating plant (Photograph 5). Across a paved parking lot, to the south of Building H74 is Building H79 a two-story H-shaped, reinforced concrete building. Building H79, designed with a Mission Revival motif, was constructed in 1939 as the hospital corpsman dormitory (Photograph 6). Both buildings are vacant and unused.



Photograph 1 Building H72 East and South Elevations, View Southwest



Photograph 2 Building H72 West Elevation, View East



Photograph 3 Building H73 East and South Elevations, View Northwest



Photograph 4 Building H34 North and East Elevations, View Southwest



Photograph 5 Building H74 West and South Elevations, View Northeast



Photograph 6 Building H79 North Elevation, View South

The site visit, performed by Architectural Historian JulieAnn Murphy on August 9, 2024 confirmed that the hospital complex remains largely as described in the NRHP nomination and retains its overall historic setting. The location of the proposed project is currently being used as entry for Touro University and features a simple gate and existing signage at the east side of Talos Avenue (Photograph 7 and Photograph 8).



Photograph 7 Existing Entry at Azuar and Talos Avenues, View South



Photograph 8 Existing Entry Sign at Talos Avenue, View East

City of Vallejo Certificate of Appropriateness

As outlined in Chapter 16.614.09 of the City of Vallejo Municipal Code, to approve an application for a certificate of appropriateness, the Architectural and Landmarks Commission shall find that the project is: in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards) and that the project is consistent with any conservation plan or specific plan adopted for the historic district.

Secretary of the Interior's Standards

The Standards establish professional standards and provide guidance on the preservation and protection of historic properties. The Standards make broad-brush recommendations for maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations. They cannot, in and of themselves, be used to make essential decisions about which features of a

historic property should be saved and which might be changed. Rather, they provide philosophical consistency to the work. There are Standards for four distinct, but interrelated, approaches to the treatment of historic properties: preservation, rehabilitation, restoration, and reconstruction. Following the guidance of the Standards, the Rehabilitation Standards are most appropriate for the current project because of the property's current physical condition and the work proposed².

The Secretary's Standards for Rehabilitation state:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Mare Island Specific Plan

In addition to the Standards, the Mare Island Specific Plan, developed in 1999 and last amended in 2013, provides detailed guidance on treatment for properties on Mare Island, including those within the boundary of the historic district. The hospital complex is located in what was categorized at Reuse Area 9 in the Specific Plan. Two appendix documents, Appendix B.1: Historic Project Guidelines and

² Kay Weeks and Anne Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*. National Park Service, Washington, D.C., 2017.

Appendix B.4: Design Guidelines include guidance on the treatment of the hospital complex, including infill development.

Appendix B.1: Historic Project Guidelines states that all new construction must comply with the Standards, the Design Guidelines for the Historic District (Appendix B.4) and the Urban Design Guidelines in Section 4.0 of the Specific Plan. It continues, describing that the Standards for new construction include the following:

- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”
- New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- Recommended: Designing a new addition in a manner that makes clear what is historic and what is new.
- Not Recommended: Duplicating the exact form, materials, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.
- Not Recommended: Imitating a historic style or period of architecture in a new addition.

Appendix B.4: Design Guidelines provides that new development in the hospital complex should “continue the traditional campus site planning principles.” It notes that one of the key features of the hospital complex is its internal vehicular access with small to moderate sized surface parking lots. The design policies for infill development include the following:

- Maintain quadrangle configurations.
- Ensure that infill and redevelopment projects create enclosed spaces, which serve as open space and parks for students.
- Maintain distinct edges along Railroad Avenue and 14th Street.
- Minimize the number of curb cuts to preserve established pedestrian and internal vehicular circulation patterns.
- Maintain and enhance formal landscape plantings.
- Landscape all surface parking lots extensively.
- Screen service and loading areas.
- Use traditional building massing.
- Use symmetrical compositions in building design.
- Use window arrangements that are similar to those on historic hospital buildings.
- Restore the palm alley to the extent feasible.

The Specific Plan’s Urban Design Guidelines for Reuse Area 9 state that, “the urban design character of Reuse Area 9 should be defined by the buildings and the outdoor spaces of the existing campus.” It continues with the following guidelines:

- New site landscaping and building should reinforce the campus design character of this area.
- Street landscaping improvements should comply with the Landscape guidelines.



- Campus entries and intersections should be visually defined by appropriately designed landscaping, signage, and lighting.
- Entry to new development at the intersection of Flagship and Club Drives may be from Flagship Drive to make use of roadway improvements in that area.

Project Impact Analysis

The following presents an analysis of the applicable Standards and Design Guidelines, Standards No. 9 and 10, which both address additions and new construction. Standards No. 1 through 8 generally apply to changes to existing buildings. Since no changes are proposed to existing buildings within the hospital complex as part of the proposed scope of work, they are not discussed as part of the project impact analysis.

Rehabilitation Standard No. 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed new guardhouse will not destroy any materials that characterize the historic property. None of the historic districts contributing buildings or landscape elements are proposed to be altered as part of the project. The proposed median and paving proposed to be removed to accommodate the construction of the new guardhouse are typical materials that do not characterize the property or its historic significance.

The new guardhouse will be differentiated from the old by its simple, modern design. It will further be differentiated from the old by the composition of the proposed materials. The use of white plaster stucco as the primary exterior material will be compatible with the reinforced concrete structures that characterize the property, while simple, modern materials like the blackened steel posts, fluted concrete detailing, and adjacent concrete planters will be clearly differentiated from the old and distinctly new. Furthermore, it will be compatible with the massing, size, and scale of the architectural features of the hospital complex. As recommended in guidance provided by NPS in *Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns*, it will be subordinate to the buildings that contribute to the Mare Island Historic District's hospital complex.

Its proposed placement, at the corner of Azuar and Talos Avenues, is appropriate. It will not change the historic vehicular or pedestrian circulation of the site. It will not obscure or detract from any of the contributing buildings' primary elevations and will be appropriately distanced from all building elevations and be separated from existing buildings and contributing landscape features by existing lawns and small surface parking lots. Similarly, related elements to the new guardhouse, including the proposed new signage, lighting, and fencing, will be simple in design, and will not detract from the historic character of the hospital complex. Overall, the proposed scope of work will not change or detract from the historic setting, and will maintain the distinct edges along Railroad Avenue and 14th Street. The proposed scope of work is consistent with Standard No. 9.

Rehabilitation Standard No. 10

New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed scope of work does not include additions or alterations to contributing buildings or landscape elements. The proposed scope of work including the new guardhouse, signage, and fencing



could be removed in the future without impairing the essential form and integrity of the hospital complex and its environment. The proposed scope of work is consistent with Standard No. 10.

Mare Island Specific Plan

In addition to meeting the applicable Standards, which are included in the Specific Plan's Historic Project Guidelines, the proposed new guardhouse and related additions are consistent with the additional Historic Project Guidelines and Design Guidelines. As previously described, the proposed scope of work does not include changes to existing buildings in the hospital complex, and will not, therefore, result in changes to existing building compositions or configurations, including the hospital complex's distinctive quadrangles. Additionally, the proposed scope of work does not include major alterations to the landscape.

Consistent with the Specific Design Guidelines, the proposed scope of work will allow the hospital complex to retain its traditional site planning principles with main buildings flanked by supplemental and supporting buildings, surrounded by natural and designed landscapes. The proposed guardhouse's design and placement, as described above, will be consistent with the hospital complex's outward expansion and will be clearly differentiated from the old. Additionally, the proposed scope of work will maintain the distinct edges of the hospital complex and preserve the established pedestrian and internal vehicular circulation patterns. Additionally, the Specific Plan's Urban Design Guidelines will be reinforced by the proposed signage and lighting, which will offer improved visual definition for the campus' vehicular entry from Azuar Drive, thereby successfully reinforcing the campus design character of the area.

Conclusions

As detailed above, the proposed project is consistent with the Standards and guidance provided in the Mare Island Specific Plan, thereby meeting the requirements for a Certificate of Appropriateness. Should you have any questions or comments regarding this report, please do not hesitate to contact me at 925-326-1159 or at jmurphy@rinconconsultants.com.

Sincerely,

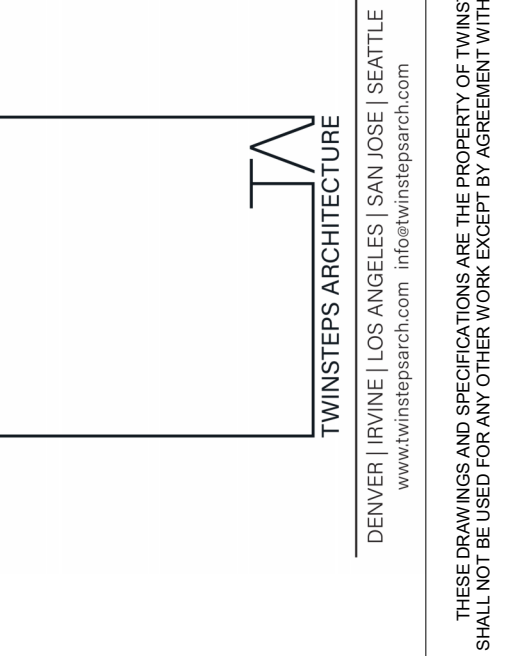
Rincon Consultants, Inc.

JulieAnn Murphy
Architectural Historian Project Manager

Steven Treffers, M.H.P.
Cultural Resources Director

TOURO UNIVERSITY ENTRY GUARDHOUSE TALOS AVENUE

1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592



PROJECT TEAM

ARCHITECT

TWINSTEPS ARCHITECTURE
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MECHANICAL ENGINEER

TBD
CONTACT: TBD
EMAIL: TBD
PHONE NUMBER: TBD

ELECTRICAL ENGINEER

TBD
CONTACT: TBD
EMAIL: TBD
PHONE NUMBER: TBD

PLUMBING ENGINEER

TBD
CONTACT: TBD
EMAIL: TBD
PHONE NUMBER: TBD

CIVIL ENGINEER

ATLAS CIVIL DESIGN
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SAN LUIS OBISPO, CA 93401
CONTACT: TYLER JOHNSON
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PHONE NUMBER: 231.801.8470

PROPERTY OWNER

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1310 CLUB DRIVE
VALLEJO, CA 94592
CONTACT: ERIK AMOS
EMAIL: EAMOS@TEAMWRKX.COM
PHONE NUMBER: 408.287.2700

GENERAL CONTRACTOR

TEAMWRKX CONSTRUCTION
1855 PARK AVENUE
SAN JOSE, CA 95126
CONTACT: TIMOTHY TALAUGON
EMAIL: TTALAUGON@TEAMWRKX.COM
PHONE NUMBER: 408.287.2700

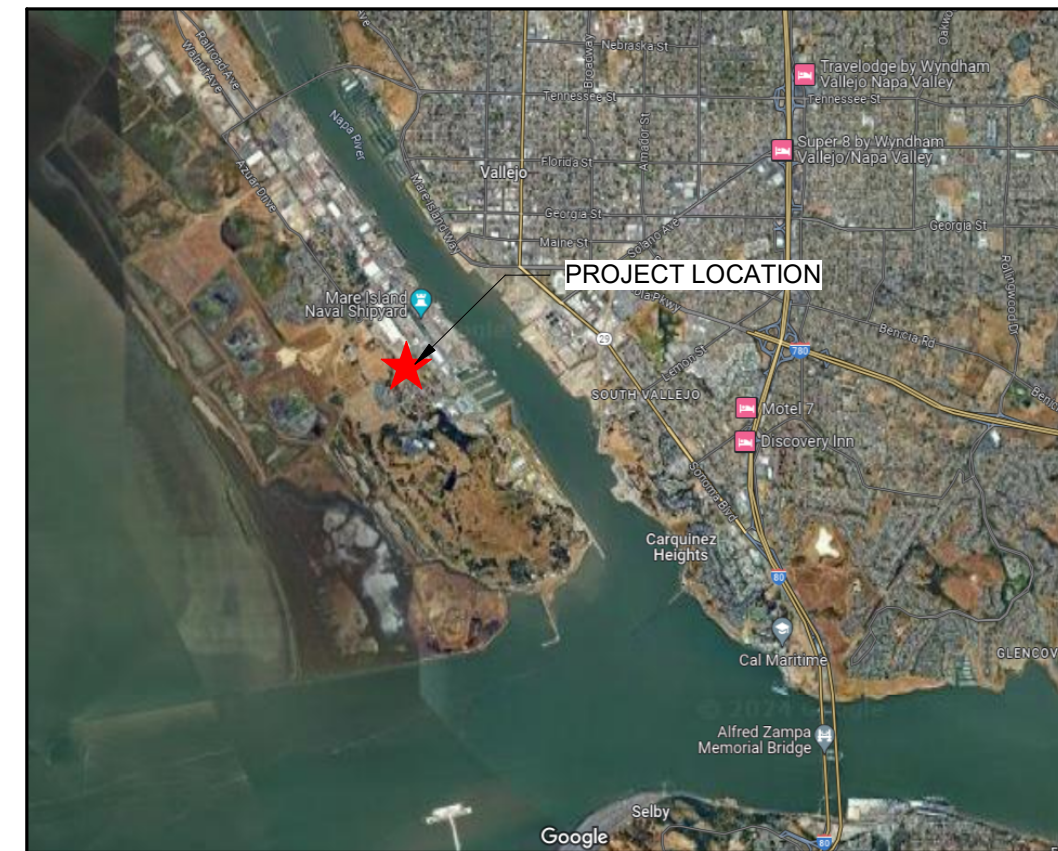
LANDSCAPE ARCHITECT

AEON LANDSCAPE ARCHITECTURE
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EMAIL: DYLAN@AEONLANDSCAPE.COM
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HISTORIC CONSULTANT

RINCON CONSULTANTS INC
449 15TH STREET, SUITE 303
OAKLAND, CA 94612
CONTACT: JULIEANN MURPHY
EMAIL: JMURPHY@RINCONCONSULTANTS.COM
PHONE NUMBER: 805.644.4455

VICINITY MAP



LOCATION MAP



CODE REVIEW NOTES

JURISDICTION: CITY OF VALLEJO
BUILDING CODES: 2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ADMINISTRATIVE CODE
2022 CALIFORNIA REFERENCE STANDARD CODE
2022 LOCAL CODE AMENDMENTS
ZONING: COMMERCIAL - GENERAL
APN: 0066-170-010
SEISMIC DESIGN CATEGORY: E
BUILDING RISK CATEGORY: II
OCCUPANCY CLASSIFICATION: B (SECURITY OFFICE)
(PER CHAP. 3)
TYPE OF CONSTRUCTION: VB
(PER CHAP. 6)
NUMBER OF STORIES: 1
(PER TABLE 504.4)
ALLOWABLE: 2
BUILDING AREA: 340 SF
(PER 506)
ALLOWABLE: 18,000 SF
BUILDING HEIGHT: 17'-0"
(PER TABLE 504.3)
ALLOWABLE: 40'-0"
FIRE PROTECTION: NON SPRINKLERED
SITE ANALYSIS: REFER SITE PLAN
EXIT TRAVEL: REFER CODE & LIFE SAFETY PLANS
OCCUPANT LOAD: REFER CODE & LIFE SAFETY PLANS
PLUMBING FIXTURE COUNT: REFER CODE & LIFE SAFETY PLANS
FIRE EXTINGUISHERS: REFER CODE & LIFE SAFETY PLANS

DESIGN DEVELOPMENT

ISSUED: ○		ISSUED & REVISED: ●	
SHEET NUMBER	SHEET NAME	8/23/2024 - 100% SCHEMATIC DESIGN	5/20/2025 - PLANNING DESIGN REVIEW
GENERAL			
G000	COVER SHEET	○	○
G001	GENERAL INFORMATION	○	○
G002	CIVIL SURVEY	○	○
G030	EXISTING SITE/ CAMPUS PLAN	○	○
G031	SITE CONTEXT	○	○
G032	RENDERINGS	○	○
G033	MATERIAL BOARD	○	○
G034	RENDERED BUILDING ELEVATIONS	○	○
G035	SITE LIGHTING	○	○
G036	TRAFFIC DIAGRAM	○	○
CIVIL			
C1	EXISTING CONDITIONS PLAN	○	○
C2	PRELIMINARY GRADING PLAN	○	○
C3	PRELIMINARY GRADING PLAN AND EXISTING CONDITIONS	○	○
C4	PRELIMINARY UTILITY PLAN	○	○
C5	PRELIMINARY SWQ PLAN	○	○
LANDSCAPE			
L001	LANDSCAPE PLAN	○	○
ARCHITECTURAL SITE			
ASD100	ARCHITECTURAL SITE DEMOLITION - OVERALL PLAN	○	○
AS100	ARCHITECTURAL SITE - OVERALL PLAN	○	○
AS101	FENCING PLAN	○	○
AS102	FENCE ELEVATIONS	○	○
ARCHITECTURAL			
A110.1	LEVEL 1 - ANNOTATION PLAN	○	○
A110.4	LEVEL 1 - CEILING PLAN	○	○
A150.1	ROOF PLAN	○	○
A200	BUILDING ELEVATIONS	○	○
A410	ENLARGED PLANS & INTERIOR ELEVATIONS	○	○
A420	INTERIOR ELEVATIONS	○	○

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW 340 SF NEW ENTRY GUARDHOUSE INTO THE CAMPUS. SCOPE OF WORK INCLUDES:

- NEW GUARDHOUSE WITH CANOPY ROOF STRUCTURE
- STREET WIDENING OF AN EXISTING STREET
- NEW SITE LIGHTING
- NEW FENCING AND TRAFFIC CONTROL GATES

NO CHANGES TO EXISTING MONUMENT SIGN

LEGAL DESCRIPTION

TOURO UNIVERSITY SOUTH CAMPUS

FIRE RESISTANCE RATING REQUIREMENTS

BUILDING ELEMENT	REQUIRED RATING	PROVIDED
FIRE RATING CRITERIA: (PER TABLE 601)	VB	
PRIMARY STRUCTURAL FRAME	0 HR	0 HR
BEARING WALLS: EXTERIOR	0 HR	0 HR
BEARING WALLS: INTERIOR	0 HR	0 HR
NONBEARING WALLS & PARTITIONS: EXTERIOR	PER TABLE 705.5	0 HR
NONBEARING WALLS & PARTITIONS: INTERIOR	0 HR	0 HR
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS:	0 HR	0 HR
ROOF CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS:	0 HR	0 HR

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION MUST HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL FORWARD THEM TO THE BUILDING OFFICIAL W/ A NOTIFICATION INDICATING THAT THEY HAVE BEEN REVIEWED & ARE IN GENERAL CONFORMANCE W/ THE DESIGN OF THE BUILDING.

• NONE

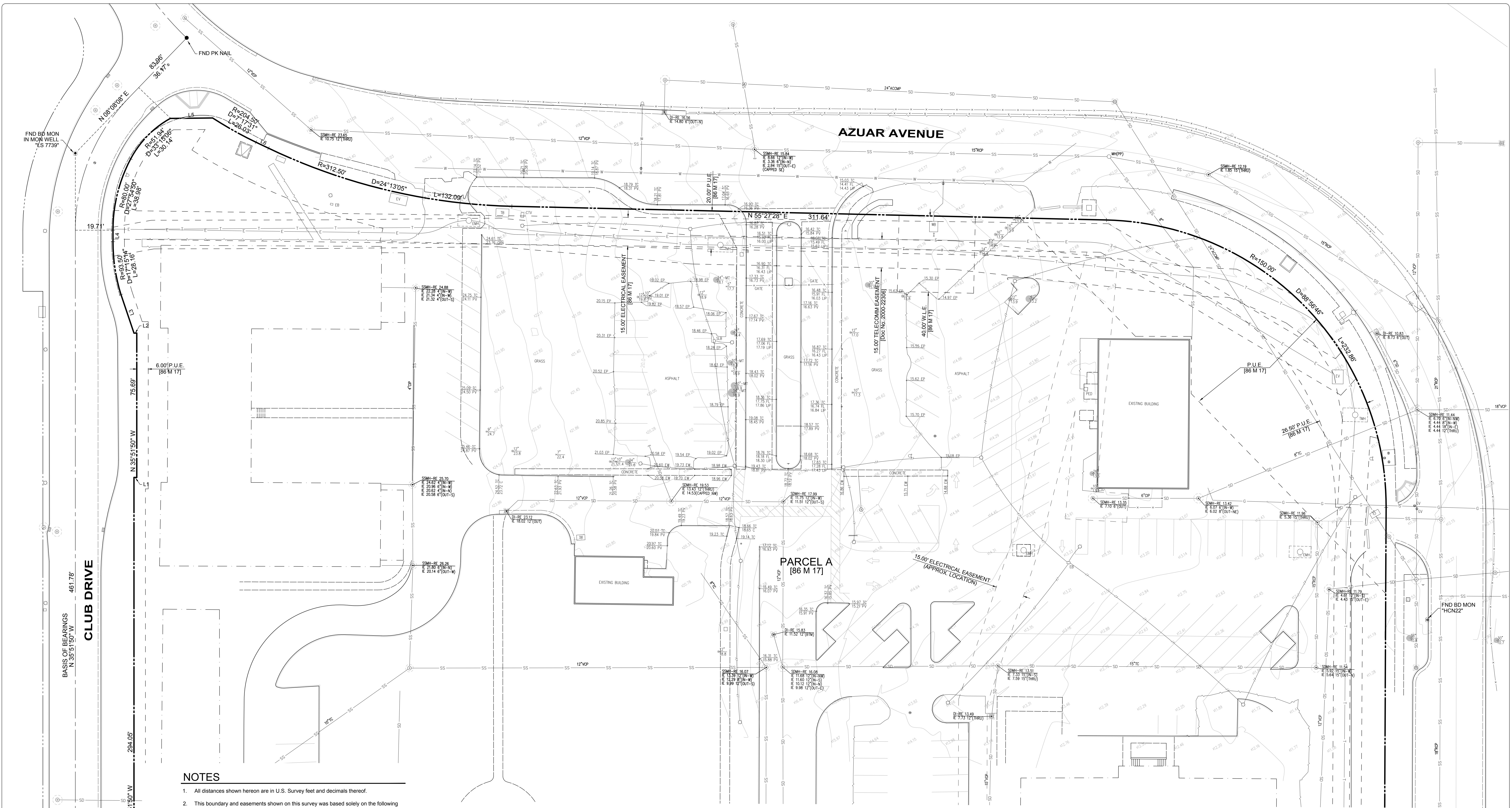
TOURO UNIVERSITY
ENTRY GUARDHOUSE
TALOS AVENUE
1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REMARKS
DATE: 8/23/24
8/14/25
REV: 100% SCHEMATIC DESIGN
PLANNING DESIGN REVIEW

TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
COVER SHEET

DATE:
JOB NO.: 23-296

G000



NOTES

- All distances shown hereon are in U.S. Survey feet and decimals thereof.
- This boundary and easements shown on this survey was based solely on the following recorded documents:
Final Map of Touro University South Campus filed for record on March 10th, 2010 in Book 86 of Subdivision Maps at Page 17, Solano County Records.
No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
- The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
- A.P.N.: 0066-170-010
- Basis of Bearings:
The bearing of North 35°51'50" West taken on the centerline of Club Drive as shown on that certain Final Map of Touro University South Campus filed for record on March 10th, 2010 in Book 86 of Subdivision Maps at Page 17, Solano County Records was taken as the Basis of all Bearings shown hereon.
- Benchmark:
NGS Monument "MARE ISLAND SE RESET":
Elevation: 287.30 feet (GPS Observed) (Datum) NAVD 1988
- Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060374 0609 F, dated August 03, 2016, as being located in Flood Zone "X".
Areas of determined to be outside the 0.2% annual chance flood.
Information was obtained from the FEMA website (www.fema.gov) on August 02, 2024.

ABBREVIATIONS

CTV	CABLE TELEVISION
DI	DROP INLET
EB	ELECTRIC BOX
EMH	ELECTRICAL MANHOLE
EP	EDGE OF PAVEMENT
EV	ELECTRIC VAULT
EW	EDGE OF WALK
GRN	GROUND
IE	INVERT ELEVATION
LIP	LIP OF GUTTER
MH	MANHOLE
PED	PEDESTAL
PV	PAVEMENT
RE	RIM ELEVATION
SLB	STREET LIGHT BOX
SSMH	SANITARY SEWER MANHOLE
TB	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
WB	WATER BOX

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 54°08'10" E	1.48'
L2	N 54°08'10" E	1.48'
L3	N 54°30'05" W	21.26'
L4	N 35°51'50" W	6.06'
L5	N 53°36'11" E	22.04'
L6	N 79°40'33" E	7.30'

LEGEND

PROPERTY LINE	---	UTILITY BOX (SIZE VARIES)	□
ADJACENT PROPERTY LINE	---	SIGN	→
CENTERLINE	---	RECORD INFORMATION W/ REFERENCE	(100.00)C
EASEMENT	---	TREE W/ SIZE AND ELEVATION	10' 100.0
BUILDING LINE W/ DOOR	---	SPOT ELEVATION	± 32.1
BUILDING OVERHANG	---	CONTOUR	15
FOUND MONUMENT AS NOTED	●	INDEX CONTOUR	15
FOUND IRON PIPE OR AS NOTED	●	CURB	---
BOLLARD LIGHT	●	CURB & GUTTER	---
LIGHT	●	CONCRETE	---
STREET LIGHT	●	FENCE	---
TRANSFORMER	□	RETAINING WALL	---
FIRE HYDRANT	□	EDGE OF PAVEMENT	---
STORM DRAIN MANHOLE	□	SANITARY SEWER	---
SANITARY SEWER MANHOLE	□	STORM DRAIN	---
CLEAN OUT	□	WATER	---
GAS METER	□	GAS	---
VALVE	□	UNDERGROUND ELECTRIC	---
CATCH BASIN / DROP INLET	□	TELEPHONE	---
WATER METER	□	LIGHTING CONDUIT	---
FIRE DEPARTMENT CONNECTION	□		
BACK FLOW PREVENTER	□		
POST INDICATOR VALVE	□		

NORTH

0 20 40 60
Scale 1" = 20 ft

06 AUG. 2024
DATE

PREPARED BY OR UNDER THE SUPERVISION OF
SHANE R. BARBER, L.S. 9097
sharber@barbersurveying.com

LAND SURVEYOR
SHANE R. BARBER
No. 9097
STATE OF CALIFORNIA

TOPOGRAPHIC SURVEY
1310 CLUB DRIVE

	261 Boeing Court Livermore, CA 94551	(925) 344-6461
	VALLEJO CALIFORNIA	

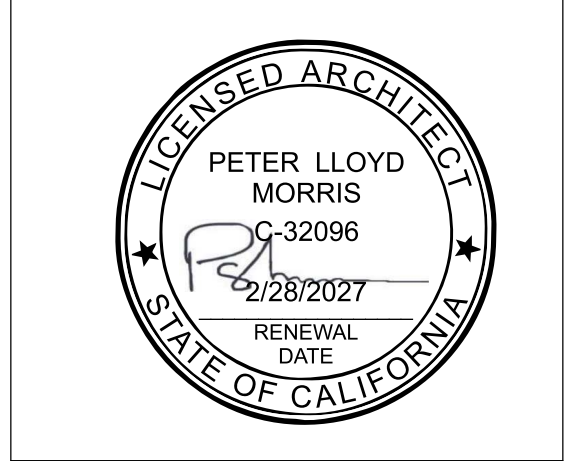
No.	REVISION	BY	Date
1	REVISED UTILITY INFO / COMMENTS	SB	11/21/2024
Sheet No. G002		Date: NOV. 2024	
Or 1 Sheets		Scale: 1" = 20'	
		Job No. 24-048	



SITE MAP
 ELEVATION VIEW SYMBOL



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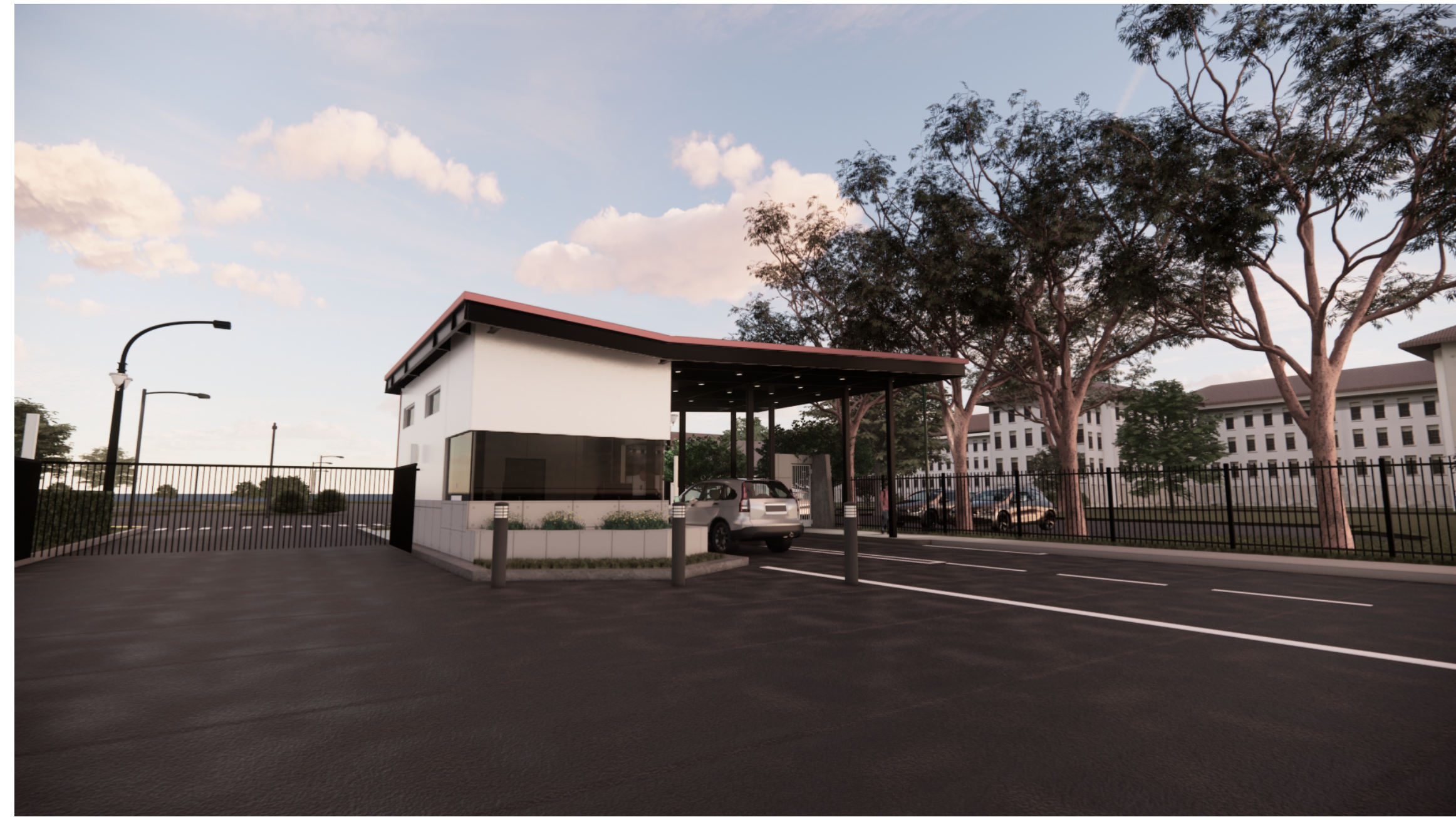
TOURO UNIVERSITY
ENTRY GUARDHOUSE
 TALOS AVENUE
 1310 CLUB DRIVE - MARE ISLAND
 VALLEJO, CA 94592
 ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	8/22/24	100% SCHEMATIC DESIGN
2	8/14/25	PLANNING DESIGN REVIEW

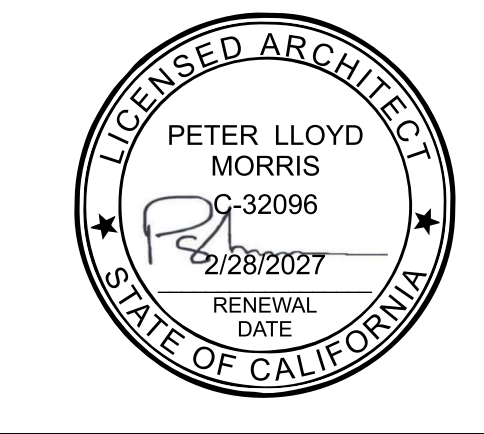
TOURO UNIVERSITY
 1310 CLUB DRIVE MARE ISLAND
 VALLEJO, CA 94592
SITE CONTEXT

DATE:
 JOB NO.: 23-296

G031



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 TALOS AVENUE
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 VALLEJO, CA 94592
 ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
	8/22/24	100% SCHEMATIC DESIGN
	8/14/25	PLANNING DESIGN REVIEW

TOURO UNIVERSITY
 1310 CLUB DRIVE MARE ISLAND
 VALLEJO, CA 94592
RENDERINGS

DATE:
 JOB NO.: 23-296

G032



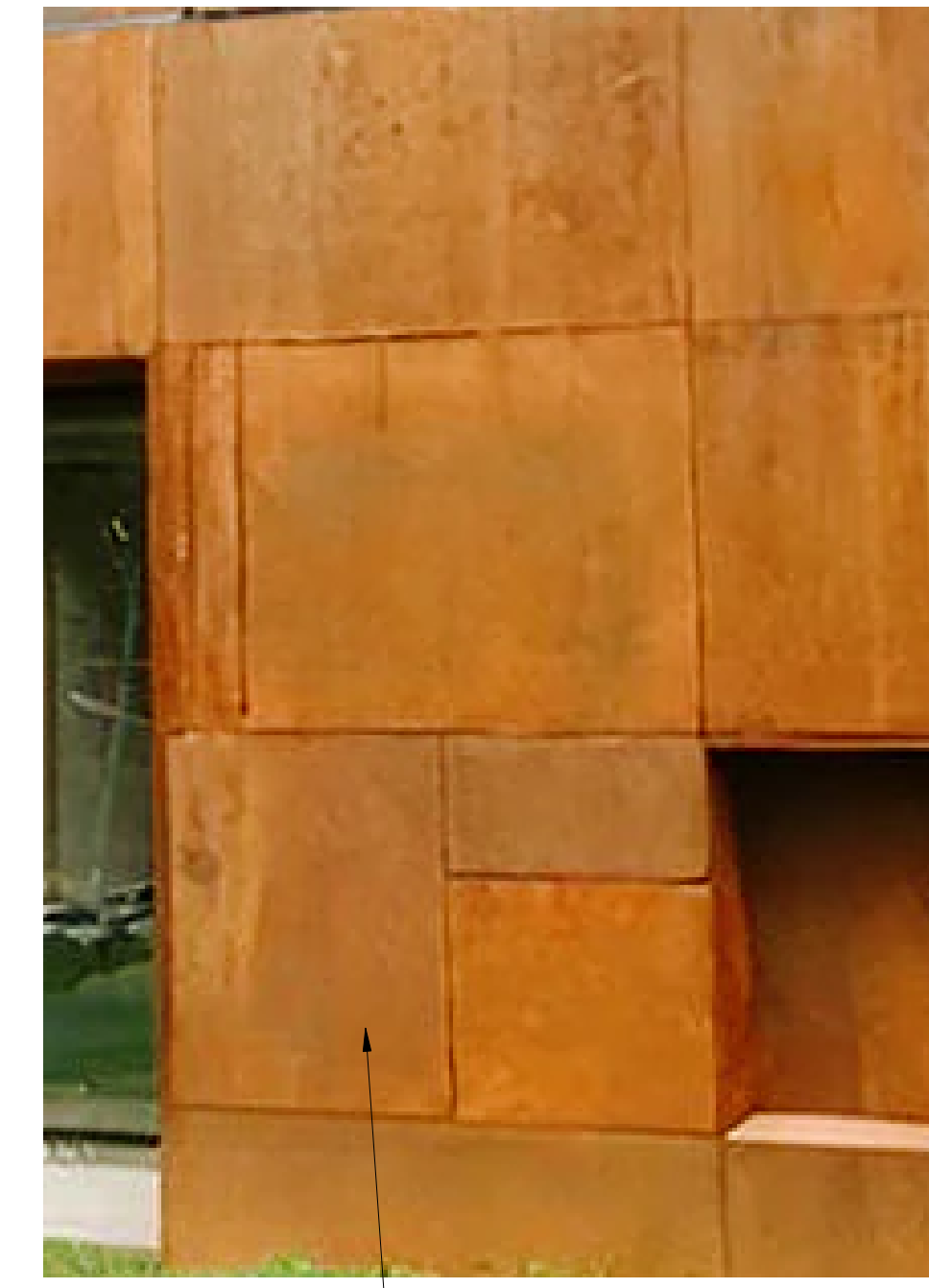
BLACKENED OR PAINTED STEEL



WHITE PLASTER (SLIGHTLY TEXTURED)



POURED IN PLACE CONCRETE



CORTEN OXIDIZED STEEL



ARMSTRONG METALWORKS LINEAR - CLASSICS INTERIOR & EXTERIOR SMOOTH TEXTURE 7160 6" UNPERFORATED EFFECTS DARK CHERRY EXTERIOR: (FXDC2)

WAC EXTERIOR FIXTURE MOUNTED UNDER CANOPY



OUTER CLÉ HERITAGE CEMENT ORIGAMI: CORDS FLOWERPOT, MATTE

REALCAST LIGHTWEIGHT CONCRETE FLUTED PANEL [OR SIMILAR] SEALED AND FINISHED IN TERRACOTTA COLOR



ACUITY BRANDS GRANVILLE CLASSIC



TOTAL SECURITY SOLUTIONS TINTED BALLISTIC INSULATED GLASS OR EQUIVALENT

TECHO-BLOC LINEA LARGE RECTANGLES SMOOTH, SHALE GREY 60%, ONYX BLACK 40% MIX



TMP- VERSA-SPAN™ STRUCTURAL SNAP-LOCK PROFILE: STRIATIONS 24 GAUGE KYNAR 500® PAINTED STEEL G-90 GALVANIZED OR AZ-50 TERRA COTTA SRI-43



SELUX CORRAL® STEELCORE ILLUMINATED BOLLARD



DEFENSELITE IS A CLEAR/TINTED SECURITY OVERGLAZING SYSTEM



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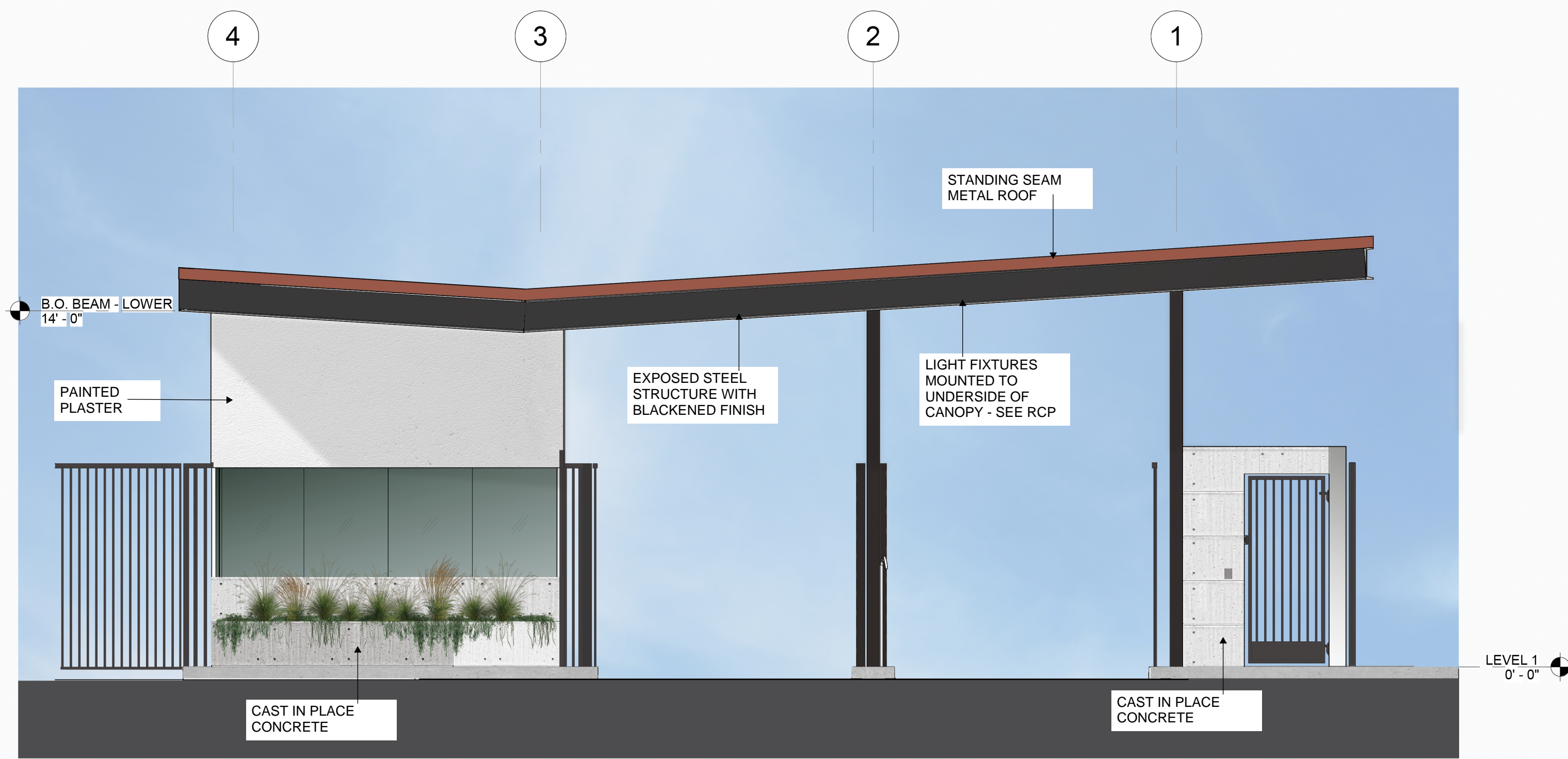
TOURO UNIVERSITY
ENTRY GUARDHOUSE
TALOS AVENUE
1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	8/22/24	100% SCHEMATIC DESIGN
2	8/14/25	PLANNING DESIGN REVIEW

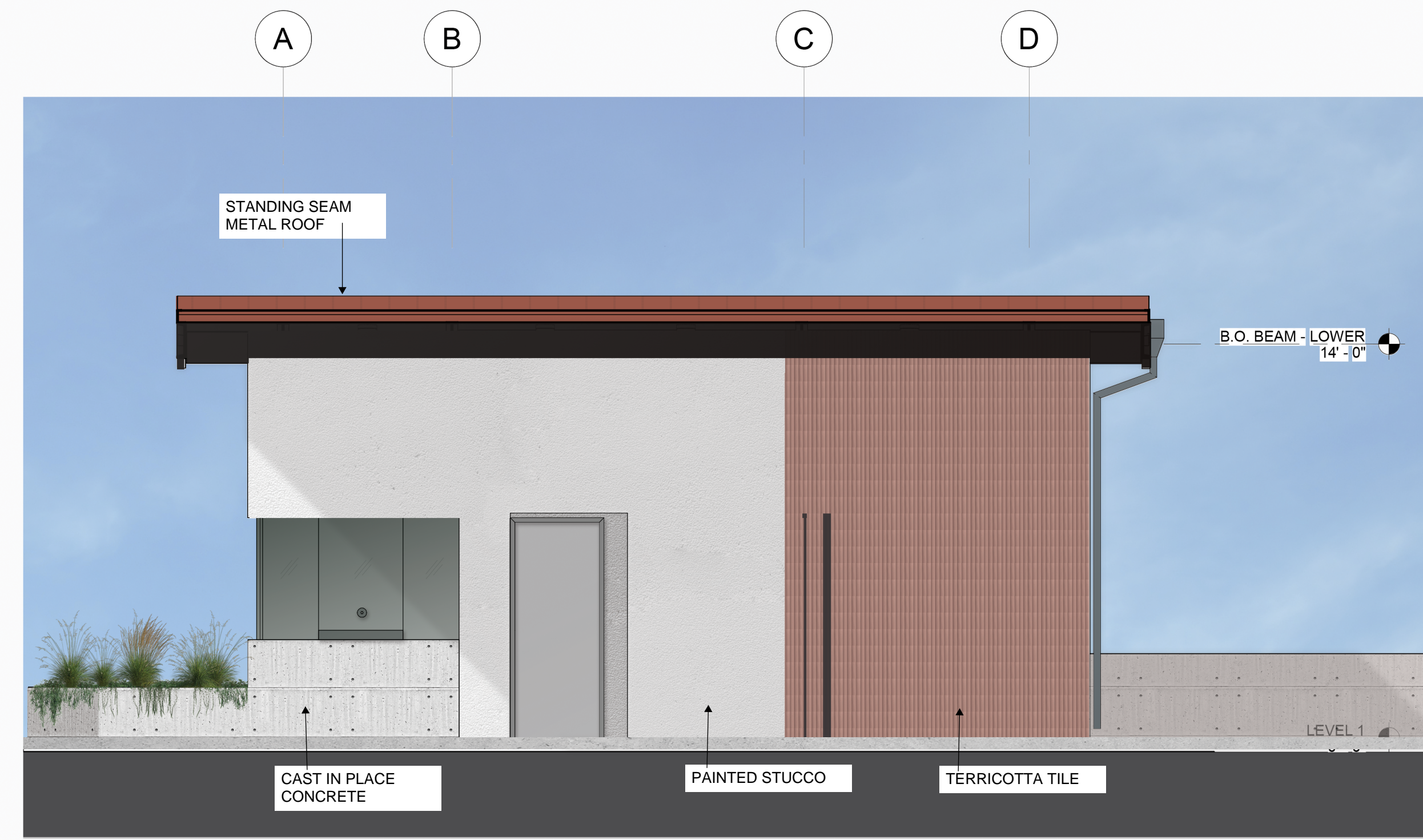
TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
MATERIAL BOARD

DATE:
JOB NO.: 23-296

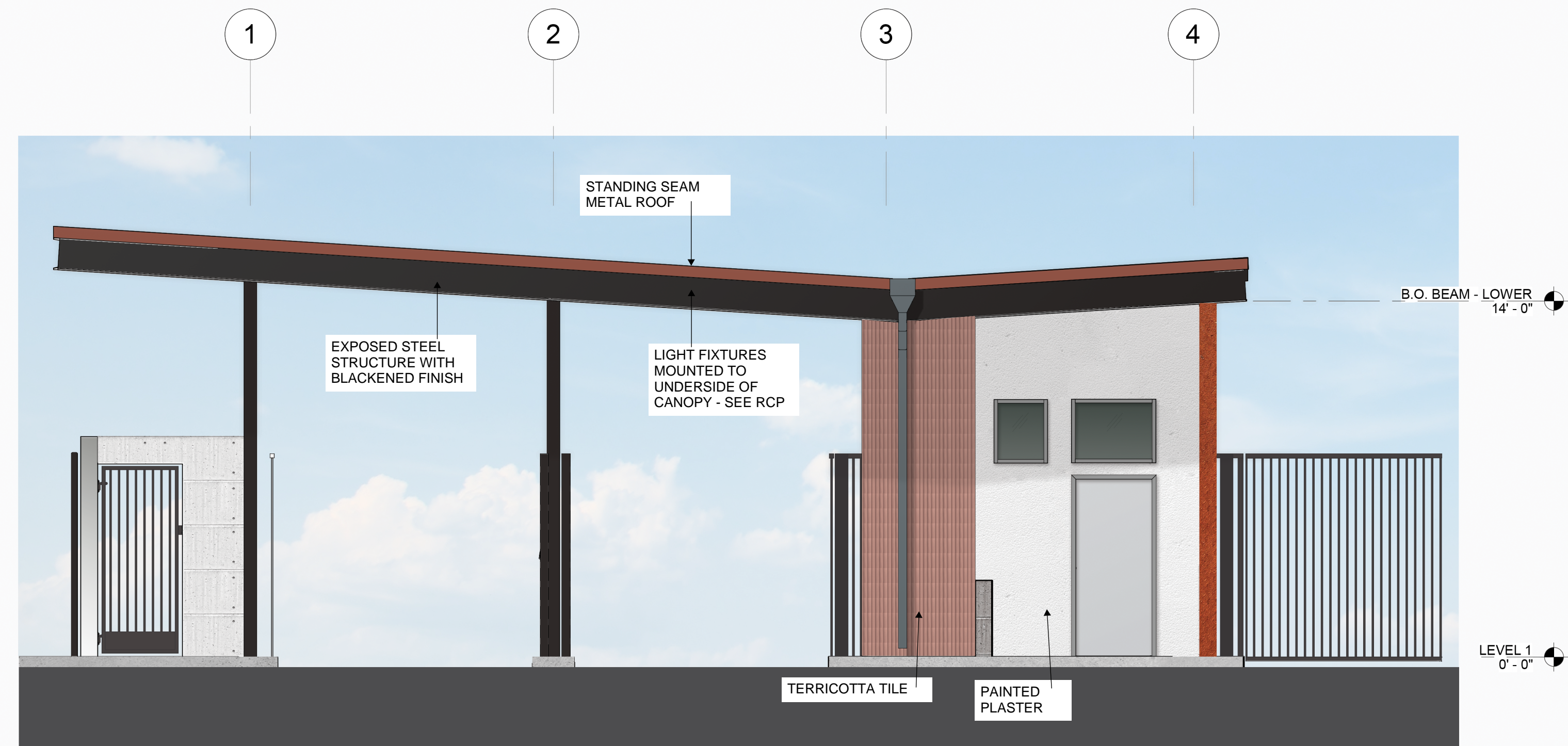
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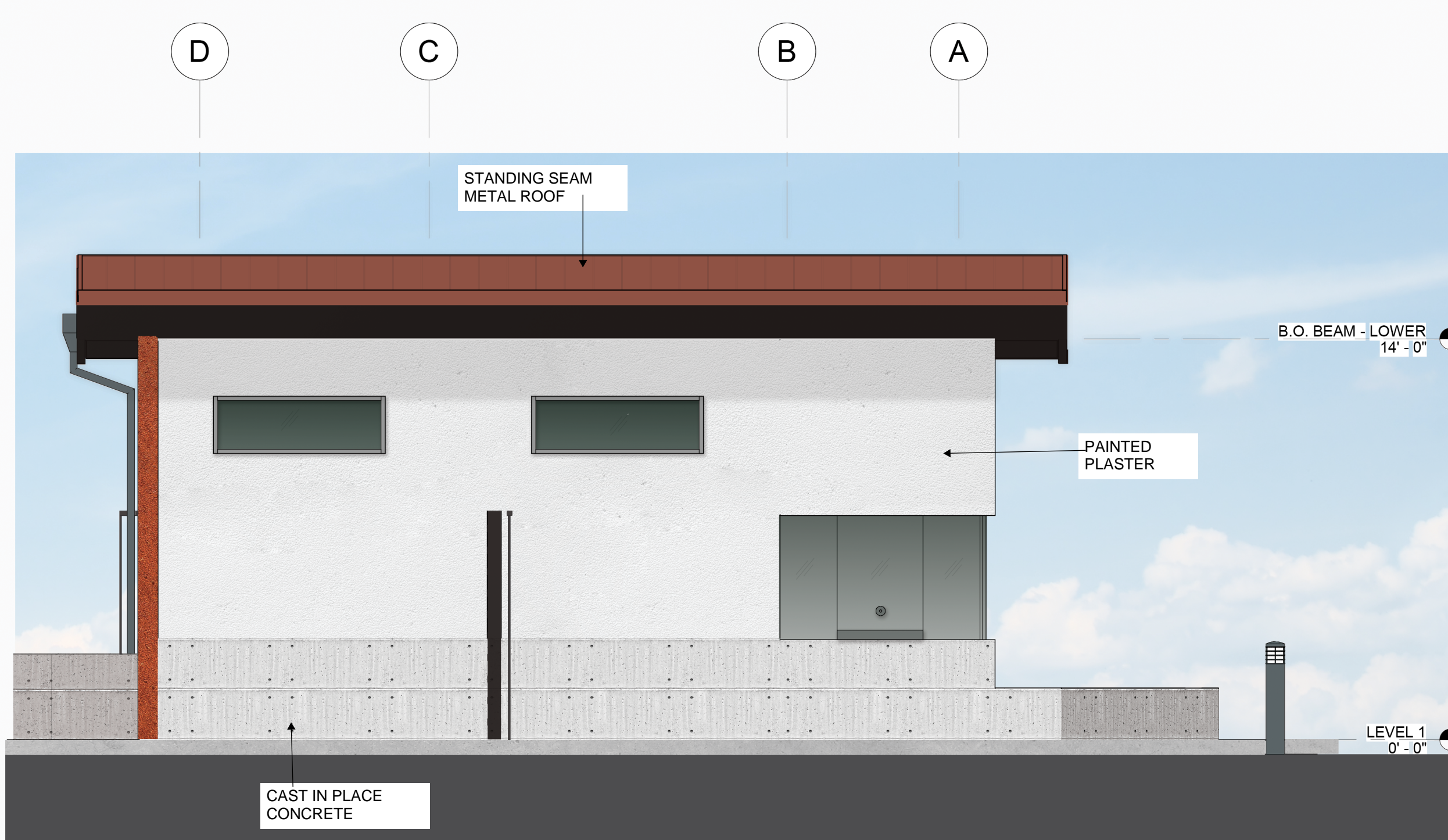
C2 NORTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



C4 WEST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



A2 SOUTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



A4 EAST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

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ENTRY GUARDHOUSE
TALOS AVENUE
1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
B	8/22/24	100% SCHEMATIC DESIGN
A	8/14/25	PLANNING DESIGN REVIEW

TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
RENDERED BUILDING ELEVATIONS

DATE: 23-296
JOB NO.: 23-296

G034



EXISTING STREET LIGHTING ALONG COSSEY ST



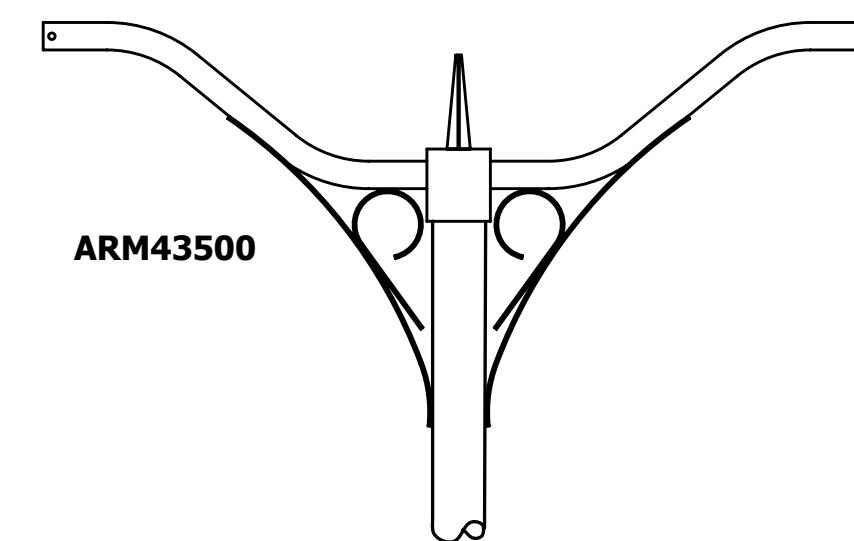
EXISTING STREET LIGHTING ALONG DETROW WAY



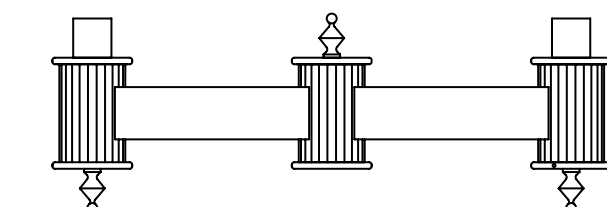
EXISTING STREET LIGHTING ALONG TALOS AVE

PROPOSED LIGHTING

HAPCO DECORATIVE POLE
ARM (UPPER FIXTURE)
-SINGLE OR DOUBLE



HAPCO DECORATIVE POLE
ARM (LOWER FIXTURE)



ARM40000

HAPCO DECORATIVE POLE BASE



Arlen 17 Modified
Base Diameter: 17"
4"-5"-6" Butt Diameters
FHWA Breakaway

UPPER FIXTURE
KONLITE LED COBRA HEAD
(ACTUAL FIXTURE TO BE
BLACK)



LOWER FIXTURE
ACUITY BRANDS
GRANVILLE CLASSIC



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LICENSED ARCHITECT
PETER LLOYD MORRIS
C-32096
2/28/2027
RENEWAL DATE
STATE OF CALIFORNIA

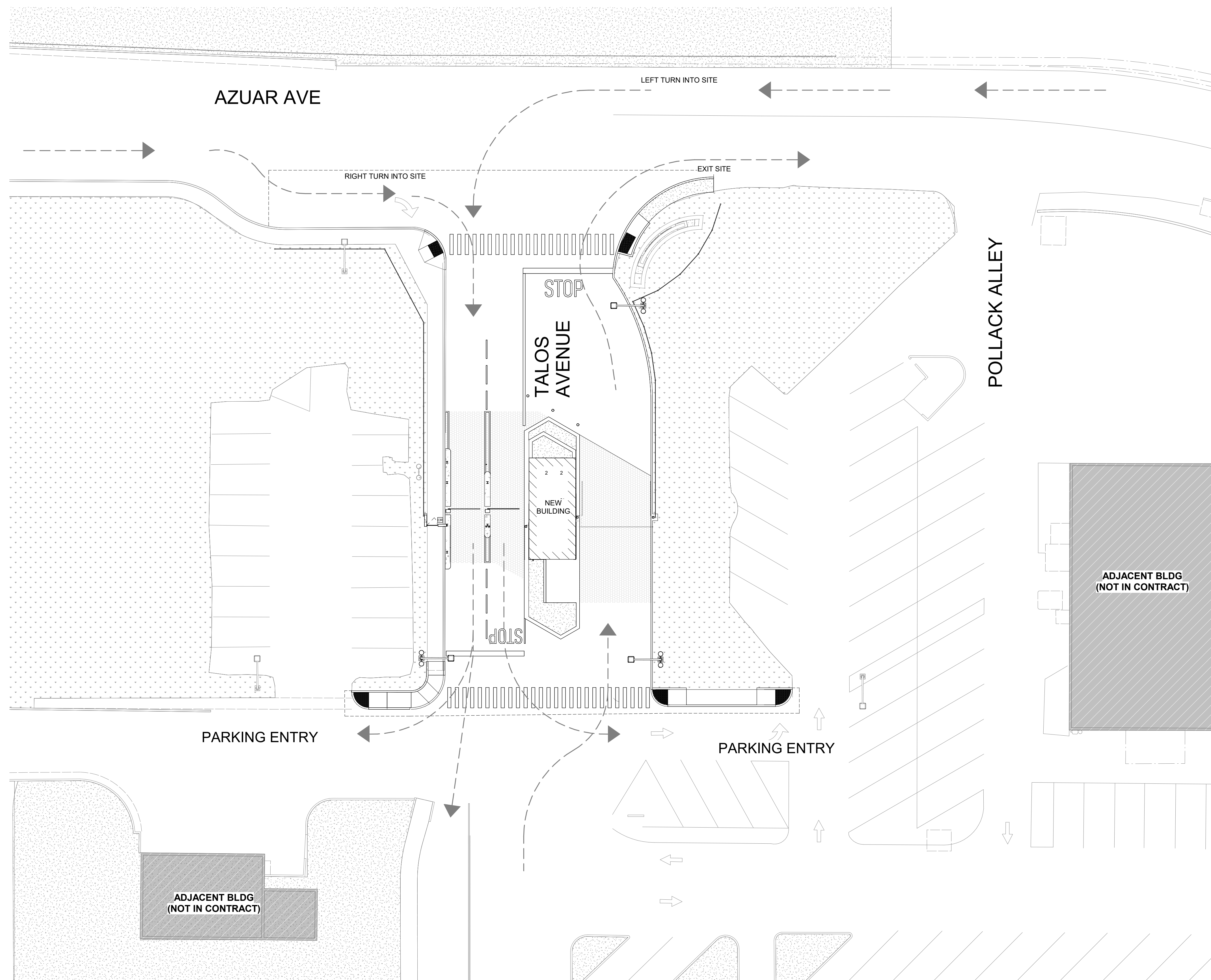
TOURO UNIVERSITY
ENTRY GUARDHOUSE
TALOS AVENUE
1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	5/20/24	PLANNING DESIGN REVIEW
2	8/14/25	
3		
4		
5		
6		
7		
8		
9		
10		

TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
SITE LIGHTING

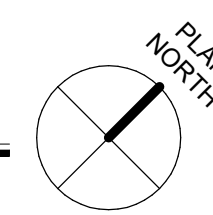
DATE:
JOB NO.: 23-296

G035.



B3 TRAFFIC DIAGRAM

SCALE: 1/16" = 1'-0"



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LICENSED ARCHITECT
 PETER LLOYD MORRIS
 C-32096
 2/28/2027
 RENEWAL DATE
 STATE OF CALIFORNIA

TOURO UNIVERSITY
 ENTRY GUARDHOUSE
 TALOS AVENUE

1310 CLUB DRIVE - MARE ISLAND
 VALLEJO, CA 94592
 ISSUED FOR PLANNING DESIGN REVIEW

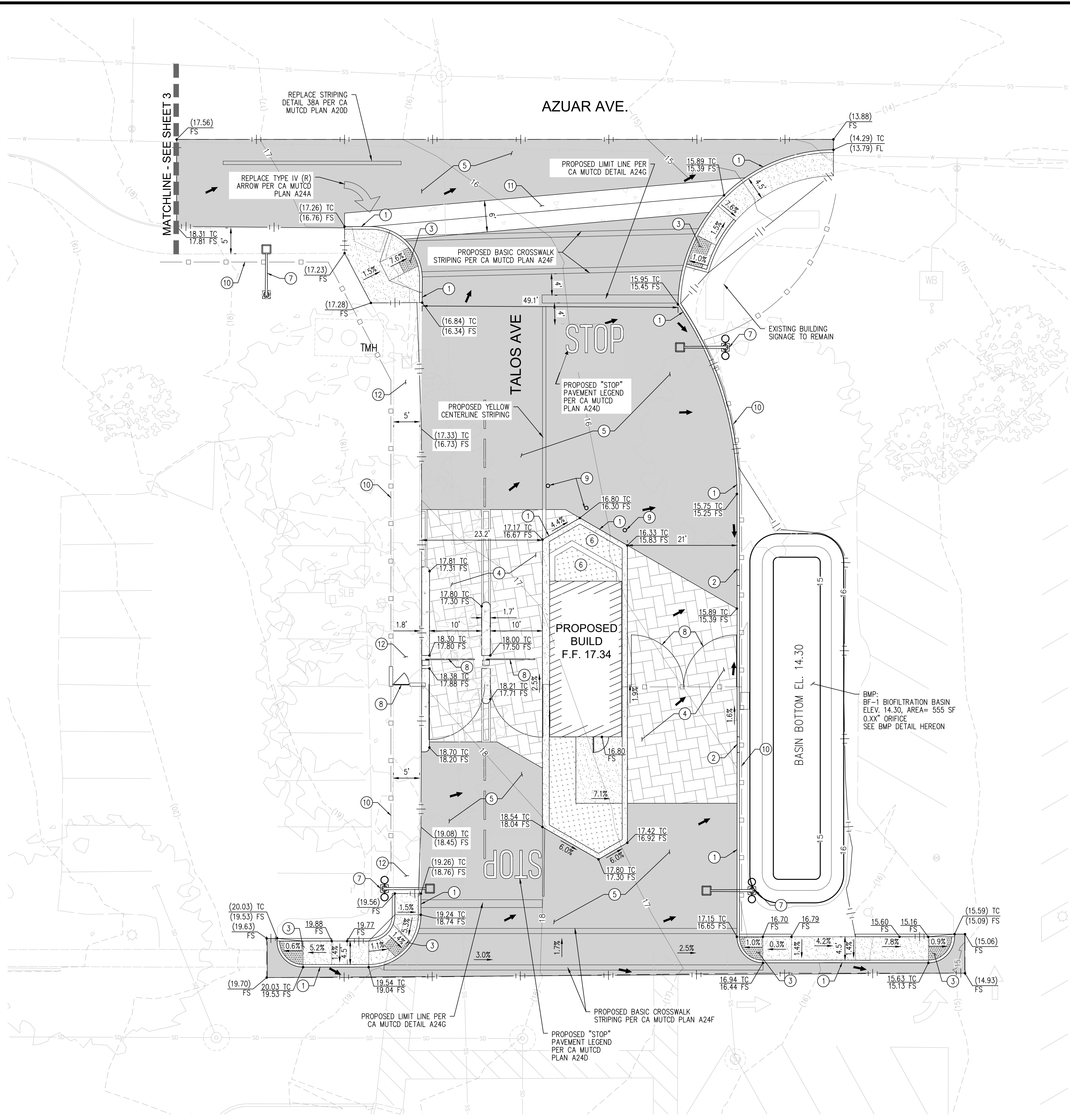
REV	DATE	REMARKS
	8/22/24	100% SCHEMATIC DESIGN
	8/14/25	PLANNING DESIGN REVIEW

TOURO UNIVERSITY
 1310 CLUB DRIVE MARE ISLAND
 VALLEJO, CA 94592
TRAFFIC DIAGRAM

DATE:
 JOB NO.: 23-296

G036

Z:\SHARED\2024\24-071 TOURO UNIVERSITY\CIVIL\DWG\PRELIMINARY IMPROVEMENT PLANS\24-071 - PRELIM-GRADING.DWG - PLOT DATE: May 13, 2025 BY: MOHSIN



ON-SITE KEYNOTES

- ① PROPOSED CURB AND/OR GUTTER
- ② PROPOSED 0" CURB CUT OUT.
- ③ PROPOSED TRUNCATED DOMES AND ADA RAMP.
- ④ PROPOSED DECORATIVE PAVEMENT.
- ⑤ PROPOSED ASPHALT PAVEMENT.
- ⑥ PROPOSED LANDSCAPE PER LANDSCAPE PLAN.
- ⑦ PROPOSED STREET LIGHT.
- ⑧ PROPOSED GATE.
- ⑨ PROPOSED BOLLARD.
- ⑩ PROPOSED FENCE.
- ⑪ PROPOSED CONC. VALLEY GUTTER.
- ⑫ EXISTING SIDEWALK & CURB TO REMAIN.

LEGEND

- 335 — EXISTING CONTOURS
- 335 — PROPOSED CONTOURS
- [Symbol] — WROUGHT IRON FENCE
- [Symbol] PROPOSED DECORATIVE VEHICULAR CONCRETE
- [Symbol] PROPOSED PEDESTRIAN CONCRETE
- [Symbol] PROPOSED AC PAVEMENT
- [Symbol] PROPOSED LANDSCAPE
- ← FLOW DIRECTION
- [Symbol] — LIMITS OF WORK

IMPERVIOUS AREAS

PROJECT AREA (LIMIT OF WORK): 14,280± SF
 EXISTING IMPERVIOUS AREA WITHIN LIMIT OF WORK: 9,740± SF
 PROPOSED IMPERVIOUS AREA (NEW AND REPLACED) WITHIN LIMIT OF WORK: 12,264 SF
 NOTE: AREA TABULATION EXCLUDES WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

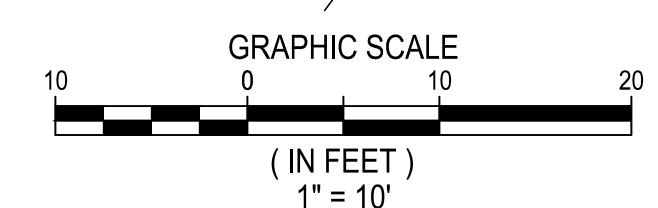
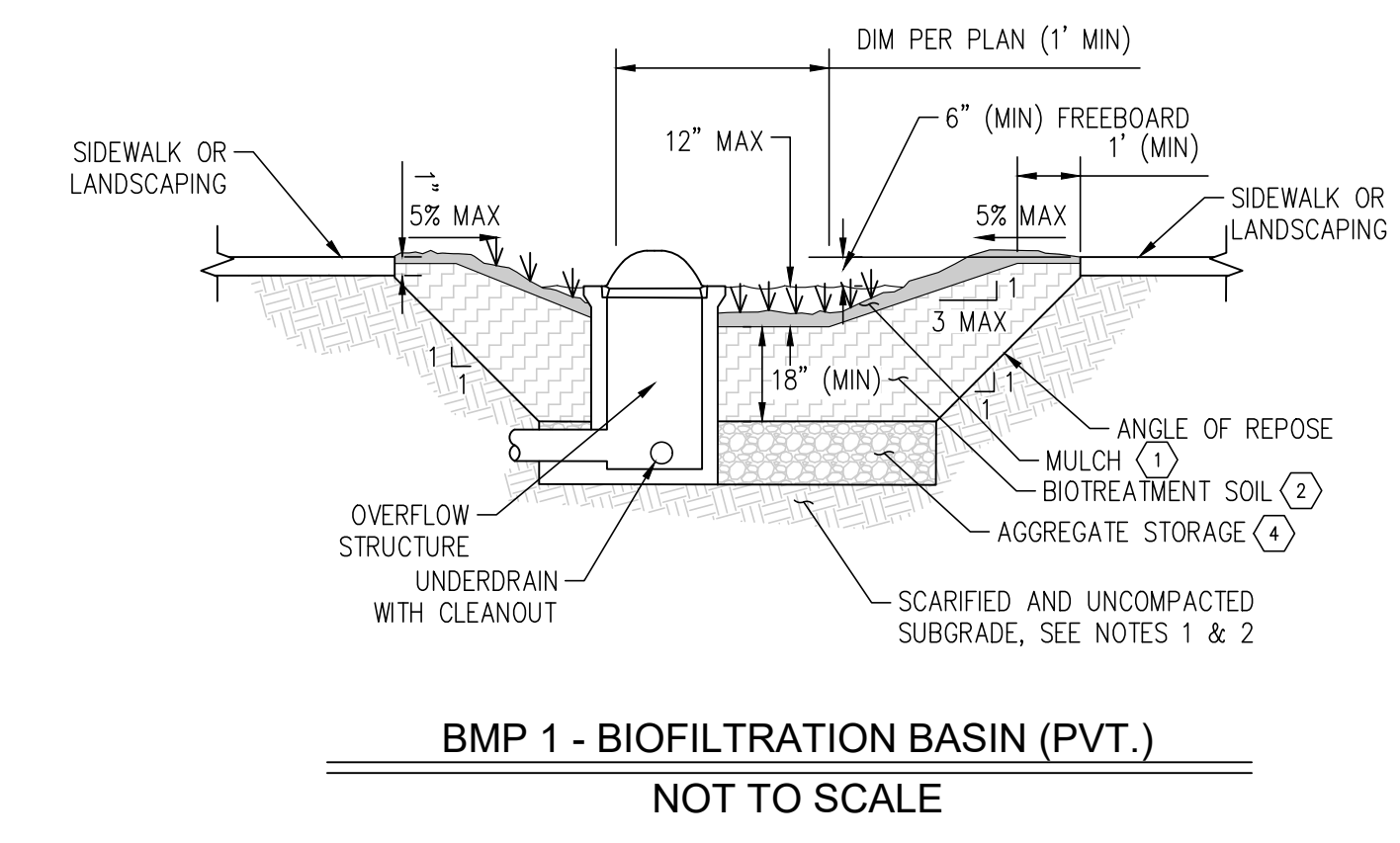
GRADING QUANTITIES

GRADED AREA	XXX [ACRES]	MAX. CUT DEPTH UNDER BUILDING 0.5 [FT]
CUT QUANTITIES	XXX [CYD]	MAX. CUT DEPTH OUTSIDE BUILDING 8.0 [FT]
FILL QUANTITIES	XXX [CYD]	MAX CUT SLOPE RATIO (2:1MAX) 2:1
EXPORT	XXX [CYD]	MAX. FILL DEPTH UNDER BUILDING 1.5 [FT]
		MAX. FILL DEPTH OUTSIDE BUILDING 2.0 [FT]
		MAX FILL SLOPE RATIO (2:1MAX) 2:1

THIS PROJECT PROPOSES TO EXPORT XX CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

BIOFILTRATION BASIN NOTES:

- BIOFILTRATION BASIN SHALL COMPLY WITH CITY OF VALLEJO STORMWATER STANDARDS.
- ① A MINIMUM OF 3" OF WELL-AGED, SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS SHALL BE PROVIDED. USE OF DOUBLE SHREDDED HARDWOOD BARK MULCH AND WETTING MULCH DURING INSTALLATION TO KNIT IT TOGETHER ARE RECOMMENDED TO PREVENT FLOATING.
- ② BIOFILTRATION MEDIA SOIL MEDIA SPECIFICATION SHALL COMPLY WITH APPENDIX F.3. MEDIA SHALL MAINTAIN A MINIMUM FILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.
- ③ A TWO-LAYER FILTER COURSE SHALL BE PROVIDED CONSISTING OF ONE 3" LAYER OF CLEAN AND WASHED ASTM 33 FINE AGGREGATE SAND OVERLYING A 3" LAYER OF ASTM NO. 8 STONE (APPENDIX F.4). FILTER COURSE SHALL BE WASHED AND FREE OF FINES. BOTH LAYERS SHALL BE SPREAD IN SINGLE LAYERS. MARKER STAKES SHOULD BE USED TO ENSURE UNIFORM LIFT THICKNESS.
- ④ WASHED ASTM NO. 57 OPEN GRADED STONE SHALL BE USED FOR THE STORAGE LAYER (APPENDIX F.4).



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REGISTERED PROFESSIONAL ENGINEER
 J. D. CHRIS TENSLEY
 No. 39629
 CIVIL
 OF CALIFORNIA

DATE	REVISIONS	BY	REVISIONS
8/14/25	PLANNING DESIGN REVIEW		

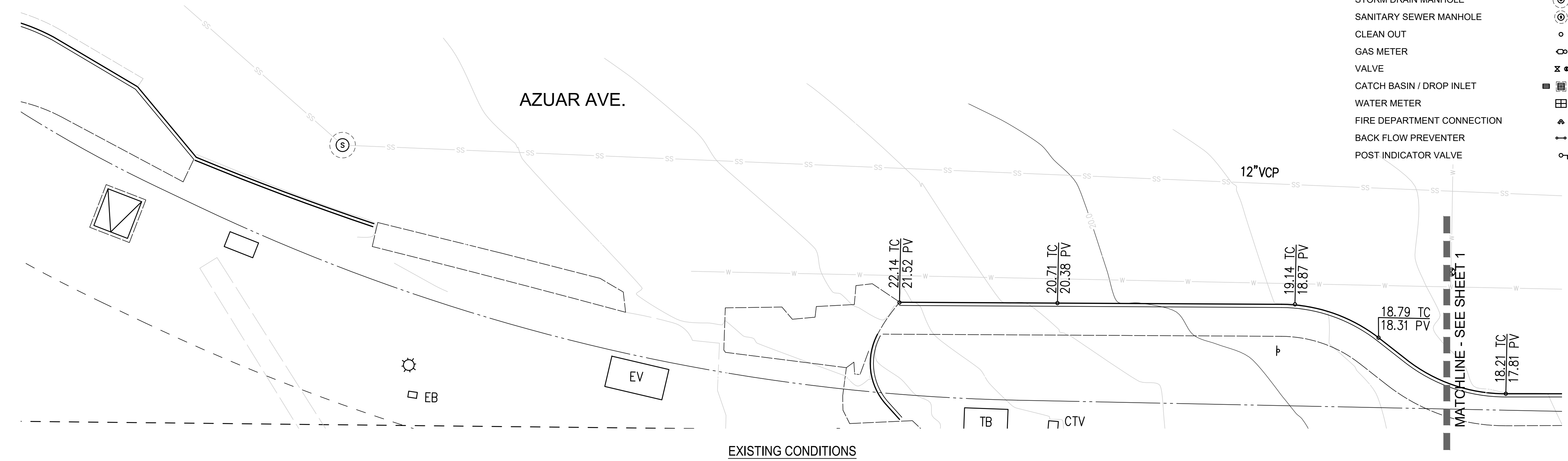
TOURO UNIVERSITY
 1310 CLUB DRIVE MARE ISLAND
 VALLEJO, CA 94592

PRELIMINARY GRADING PLAN

PROJECT NUMBER: 24-071
 PREPARED ON: 1ST SUBM
 REVISED ON:
 PREPARED BY: LDC
 CHECKED BY: NAME

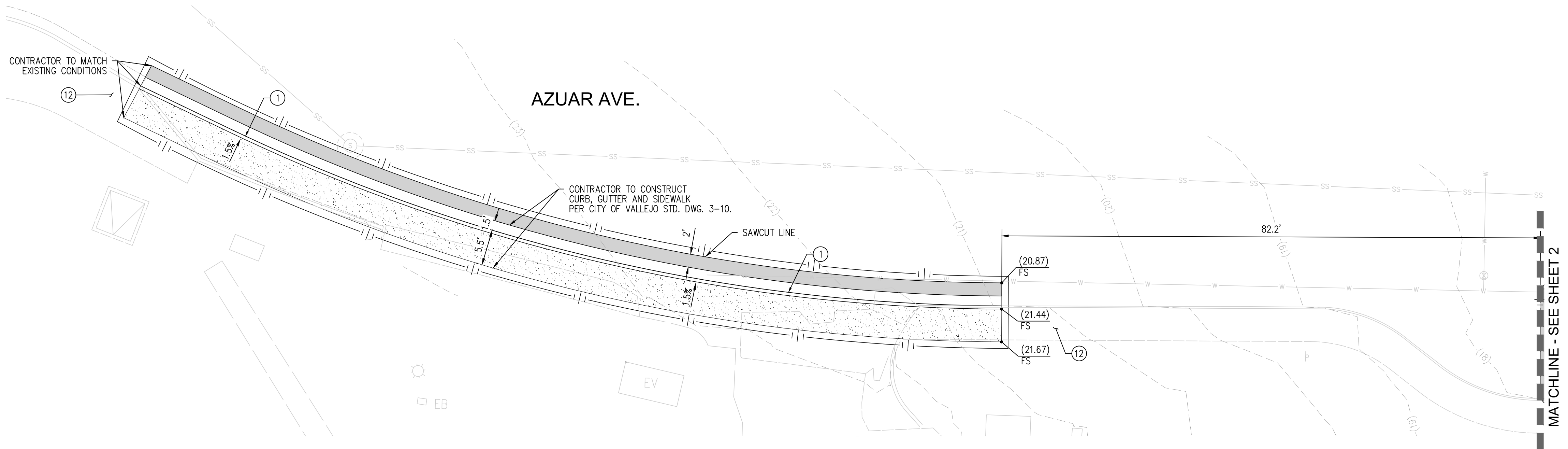
SHEET
 2 OF 5

Z:\SHARED\2024\24-071 TOURO UNIVERSITY\CIVIL\DWG\PRELIMINARY IMPROVEMENT PLANS\24-071 - PRELIM-GRADING.DWG - PLOT DATE: May 13, 2025 BY: MOHSIN



LEGEND

PROPERTY LINE	---	UTILITY BOX (SIZE VARIES)	□
ADJACENT PROPERTY LINE	---	SIGN	↑ ↓
CENTERLINE	---	RECORD INFORMATION W/ REFERENCE	(100.00)Ⓢ
EASEMENT	---	TREE W/ SIZE AND ELEVATION	● 10' ● 100.0'
BUILDING LINE W/ DOOR	---	SPOT ELEVATION	15
BUILDING OVERHANG	---	CONTOUR	---
FOUND MONUMENT AS NOTED	■	INDEX CONTOUR	---
FOUND IRON PIPE OR AS NOTED	●	CURB	---
BOLLARD LIGHT	●	CURB & GUTTER	---
LIGHT	○	CONCRETE	---
STREET LIGHT	○	FENCE	---
TRANSFORMER	⊕	RETAINING WALL	---
FIRE HYDRANT	⊕	EDGE OF PAVEMENT	---
STORM DRAIN MANHOLE	⊕	SANITARY SEWER	---
SANITARY SEWER MANHOLE	⊕	STORM DRAIN	---
CLEAN OUT	○	WATER	---
GAS METER	○	GAS	---
VALVE	○	UNDERGROUND ELECTRIC	---
CATCH BASIN / DROP INLET	⊕	TELEPHONE	---
WATER METER	⊕	LIGHTING CONDUIT	---
FIRE DEPARTMENT CONNECTION	⊕		
BACK FLOW PREVENTER	⊕		
POST INDICATOR VALVE	⊕		

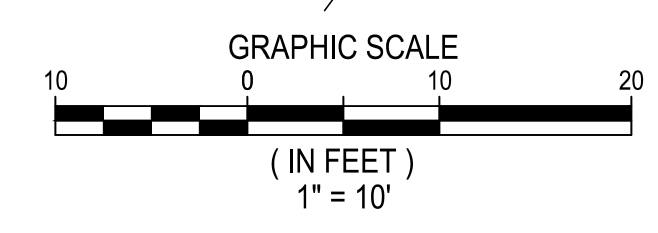


ON-SITE KEYNOTES

- 1 PROPOSED CURB AND/OR GUTTER
- 2 PROPOSED 0" CURB CUT OUT.
- 3 PROPOSED TRUNCATED DOMES AND ADA RAMP.
- 4 PROPOSED DECORATIVE PAVEMENT.
- 5 PROPOSED ASPHALT PAVEMENT.
- 6 PROPOSED LANDSCAPE PER LANDSCAPE PLAN.
- 7 PROPOSED STREET LIGHT.
- 8 PROPOSED GATE.
- 9 PROPOSED BOLLARD.
- 10 PROPOSED FENCE.
- 11 PROPOSED CONC. VALLEY GUTTER.
- 12 EXISTING SIDEWALK & CURB TO REMAIN.

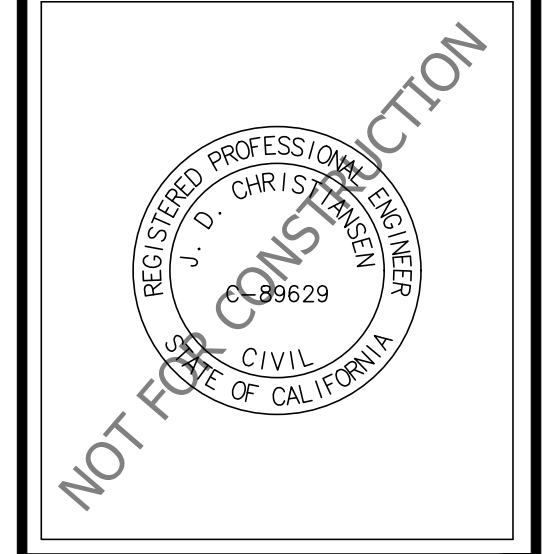
LEGEND

---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	WROUGHT IRON FENCE
---	PROPOSED DECORATIVE VEHICULAR CONCRETE
---	PROPOSED PEDESTRIAN CONCRETE
---	PROPOSED AC PAVEMENT
---	PROPOSED LANDSCAPE
→	FLOW DIRECTION
---	LIMITS OF WORK



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DATE	REVISIONS	BY
8/14/25	PLANNING DESIGN REVIEW	

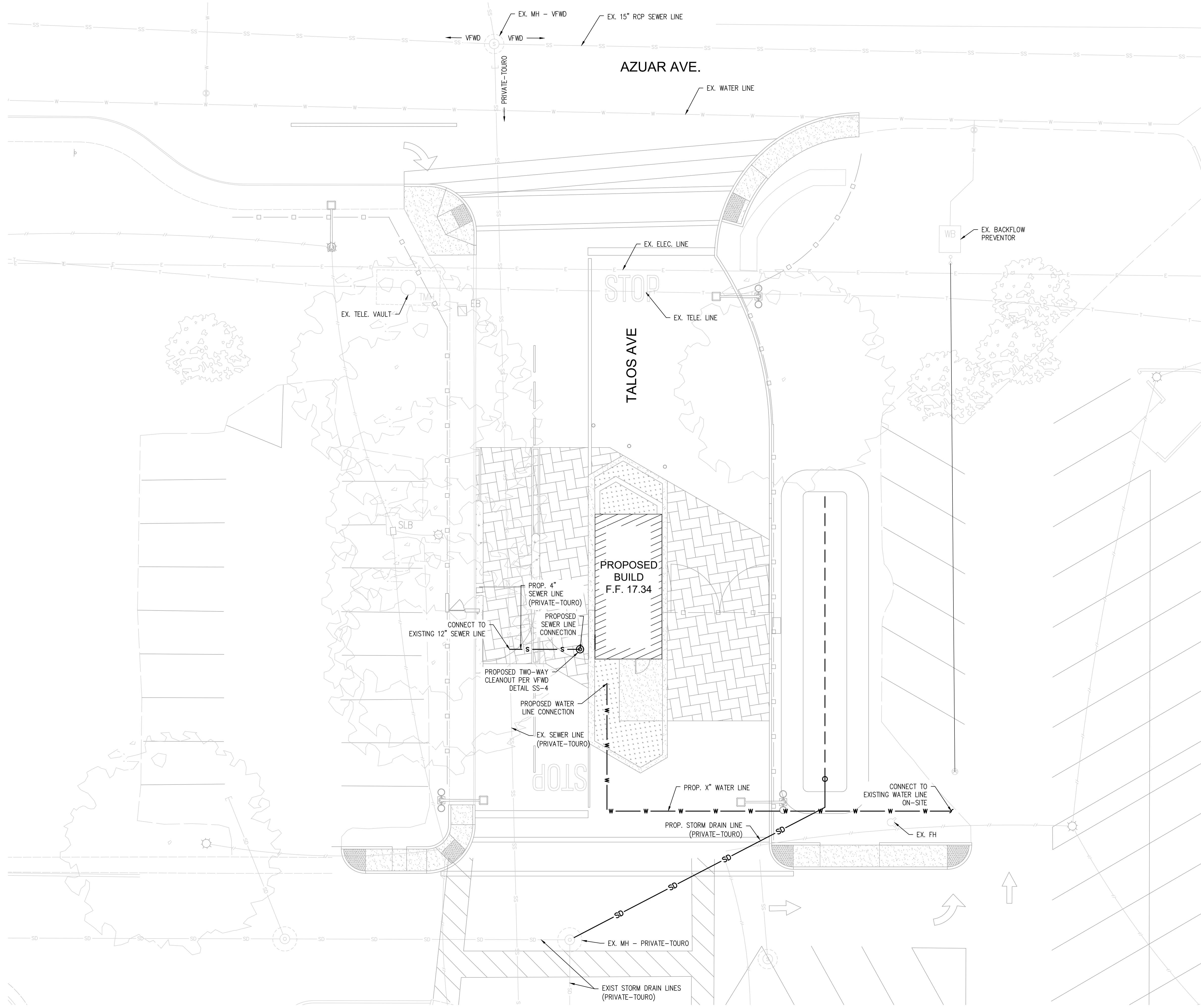
TOURO UNIVERSITY
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 VALLEJO, CA 94592

**PRELIMINARY GRADING PLAN
 AND EXISTING CONDITIONS**

PROJECT NUMBER: 24-071
PREPARED ON: 1ST SUBM
REVISED ON:
PREPARED BY: LDC
CHECKED BY: NAME
SHEET
3 OF 5

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS CIVIL DESIGN WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS CIVIL DESIGN. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS CIVIL DESIGN IS FORBIDDEN.

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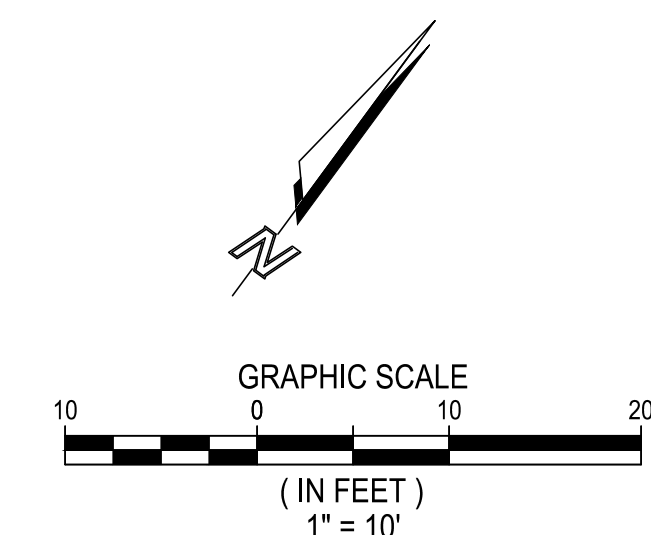


LEGEND

---	EXISTING CONTOURS
- - -	PROPOSED CONTOURS
SS	PROPOSED SANITARY SEWER
SD	PROPOSED STORM DRAIN
W	PROPOSED WATER LINE
SS	EXISTING SANITARY SEWER
SD	EXISTING STORM DRAIN
W	EXISTING WATER LINE
T	EXISTING TELECOMM LINE
E	EXISTING ELECTRICAL LINE

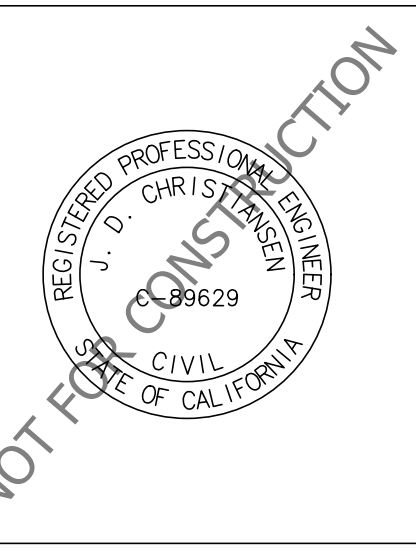
VFWD NOTES

1. ALL SANITARY SEWER WORK SHALL CONFORM TO VFWD ENGINEERING STANDARDS.
2. VFWD INSPECTION AND ACCEPTANCE REQUIRED PRIOR TO BUILDING PERMIT FINAL INSPECTION. REQUEST VFWD INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTION.
3. PRIOR TO CONNECTING TO EXISTING 12" SANITARY SEWER LATERAL, CONTRACTOR IS REQUIRED TO CCTV EXISTING SEWER IN THE PRESENCE OF VFWD INSPECTOR TO DETERMINE REUSABILITY. IF THE INSPECTOR DEEMS THE LATERAL TO BE INSUFFICIENT, REPLACEMENT WILL BE REQUIRED FROM THE NEAREST UPSTREAM MANHOLE TO THE NEAREST DOWNSTREAM MANHOLE AT AZUAR AVENUE.



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8/14/25	PLANNING DESIGN REVIEW	

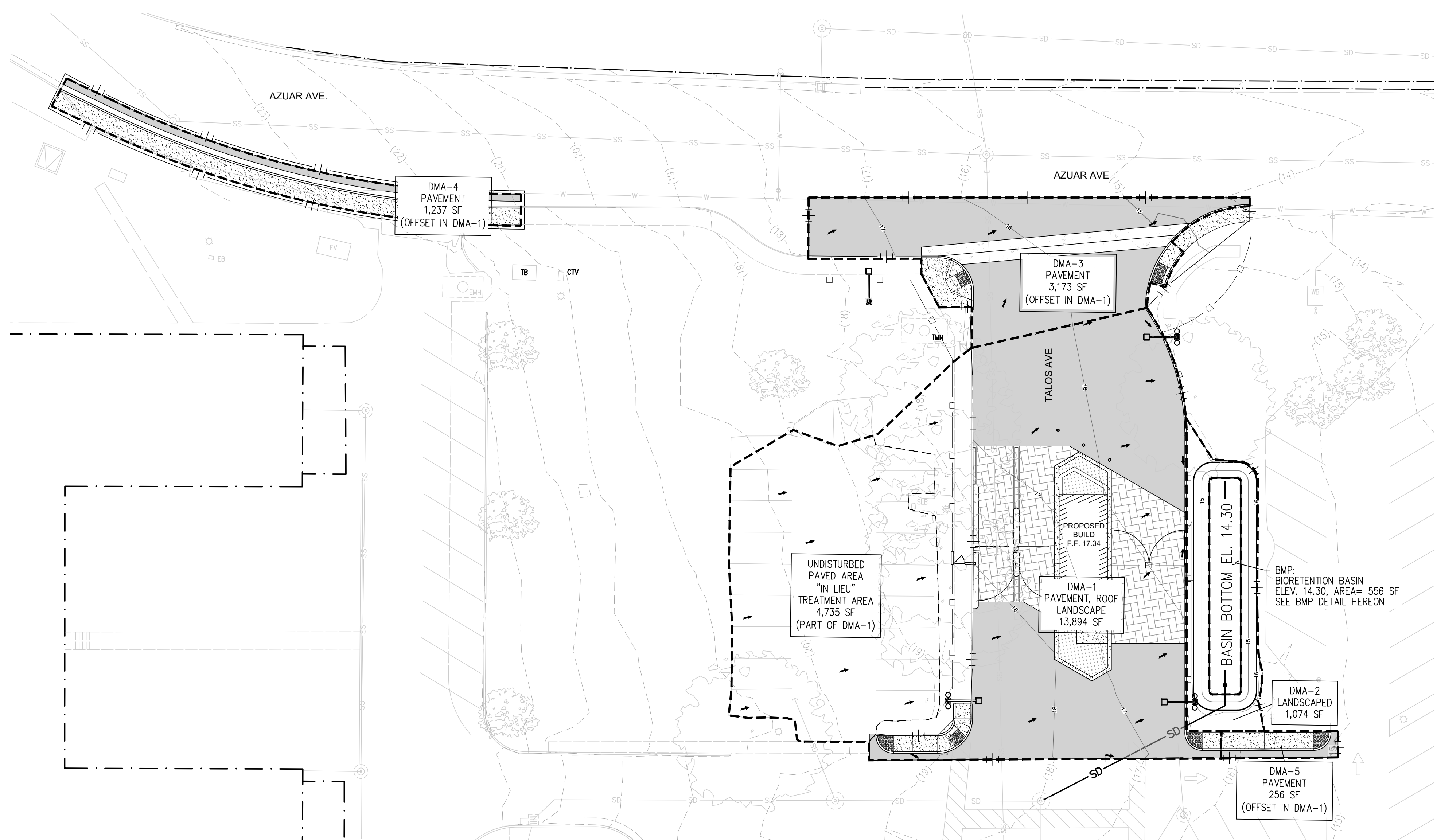
TOURO UNIVERSITY
 1310 CLUB DRIVE MARE ISLAND
 VALLEJO, CA 94592

PRELIMINARY UTILITY PLAN

PROJECT NUMBER: 24-071
PREPARED ON: 1ST SUBM
REVISED ON:
PREPARED BY: LDC
CHECKED BY: NAME
SHEET
4 OF 5

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Stormwater Control Plan Page #	BMP Description	See Plan Sheet #s
8 and Exhibit	DMA-1 connects to Bioretention basin (oversized)	5 of 5
8 and Exhibit	DMA-2 connects to Bioretention basin	5 of 5
8 and Exhibit	DMA-3 flows off-site	5 of 5
8 and Exhibit	DMA-4 flows off-site	5 of 5
8 and Exhibit	DMA-5 flows off-site	5 of 5
8 and Exhibit	DMA-1 & DMA 2 connects to Bioretention basin	5 of 5



ON-SITE KEYNOTES

- ① PROPOSED CURB AND/OR GUTTER
- ② PROPOSED 0" CURB CUT OUT.
- ③ PROPOSED TRUNCATED DOMES AND ADA RAMP.
- ④ PROPOSED DECORATIVE PAVEMENT.
- ⑤ PROPOSED ASPHALT PAVEMENT.
- ⑥ PROPOSED LANDSCAPE PER LANDSCAPE PLAN.
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- ⑧ PROPOSED GATE.
- ⑨ PROPOSED BOLLARD.
- ⑩ PROPOSED FENCE.
- ⑪ PROPOSED CONC. VALLEY GUTTER.
- ⑫ EXISTING SIDEWALK & CURB TO REMAIN.

LEGEND

- 335 --- EXISTING CONTOURS
- 335 --- PROPOSED CONTOURS
- WROUGHT IRON FENCE
- PROPOSED DECORATIVE VEHICULAR CONCRETE
- PROPOSED PEDESTRIAN CONCRETE
- PROPOSED AC PAVEMENT
- PROPOSED LANDSCAPE
- ← FLOW DIRECTION
- LIMITS OF WORK
- DMA DELINEATION BOUNDARY

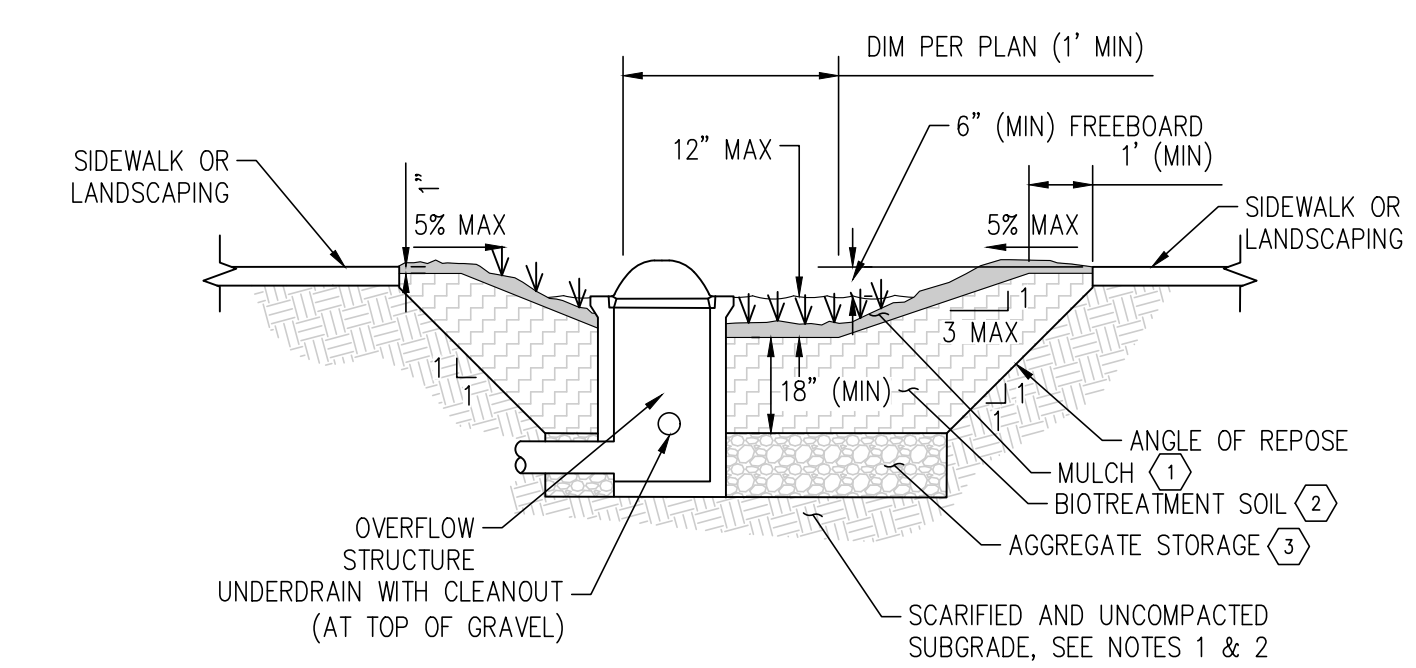
IMPERVIOUS AREAS

PROJECT AREA (LIMIT OF WORK): 14,280± SF
 PROPOSED IMPERVIOUS AREA (NEW AND REPLACED) WITHIN LIMIT OF WORK: 12,264 SF
 NOTE: AREA TABULATION INCLUDES WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

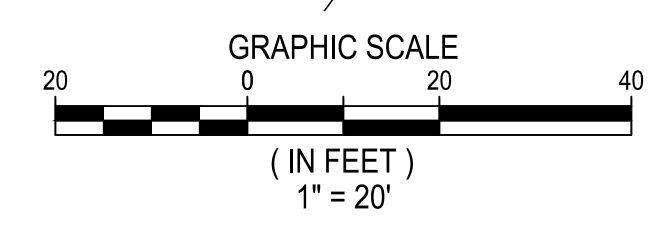
THIS PROJECT PROPOSES TO EXPORT XX CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

BIORETENTION BASIN NOTES:

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- ② BIOTREATMENT SOIL MEDIA SPECIFICATION SHALL COMPLY WITH APPENDIX F.3. MEDIA SHALL MAINTAIN A MINIMUM FILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.
- ③ 12" MINIMUM DEPTH. CLASS 2 PERMEABLE CALTRANS SPECIFICATION 68-2.02(F)(3).



BMP 1 - BIORETENTION BASIN (PVT.)
 NOT TO SCALE



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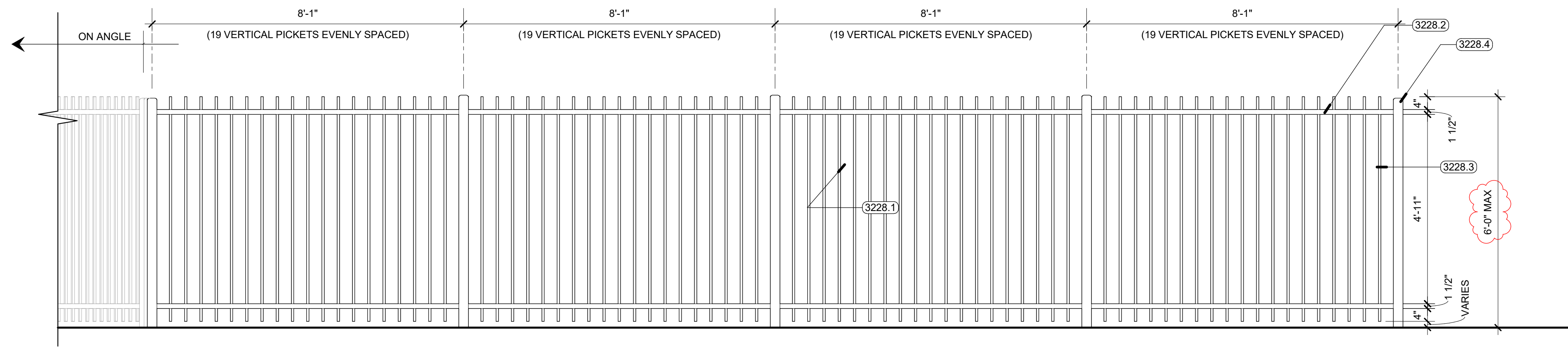
DATE	REVISIONS	BY
8/14/25	PLANNING DESIGN REVIEW	

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PRELIMINARY SWQ PLAN

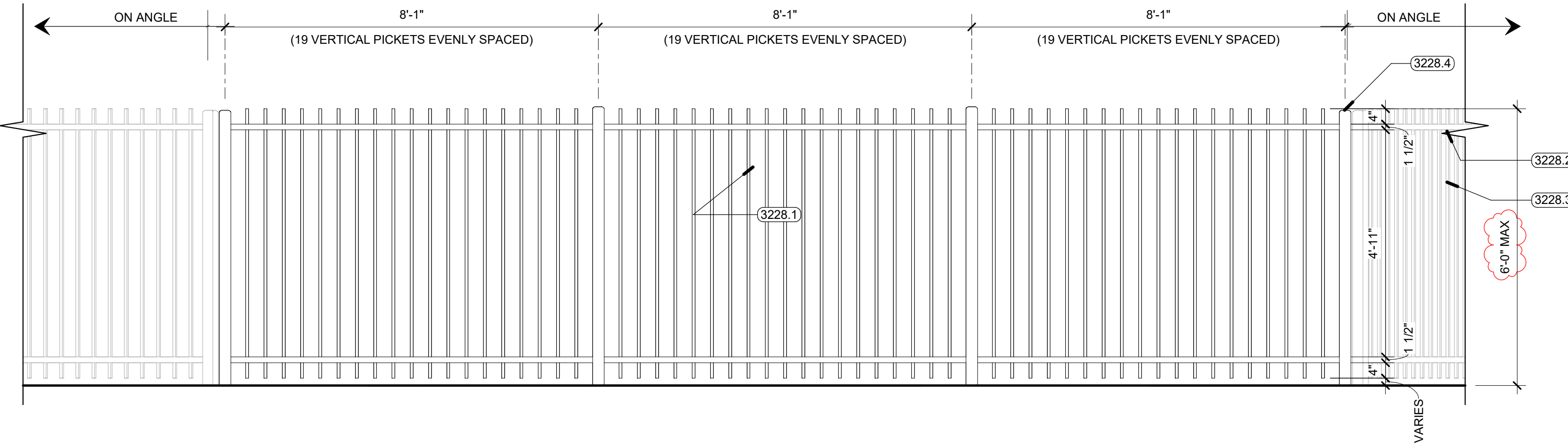
PROJECT NUMBER: 24-071
PREPARED ON: 1ST SUBM
REVISED ON:
PREPARED BY: LDC
CHECKED BY: NAME
SHEET
5 OF 5

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS CIVIL DESIGN WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS CIVIL DESIGN. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS CIVIL DESIGN IS FORBIDDEN.



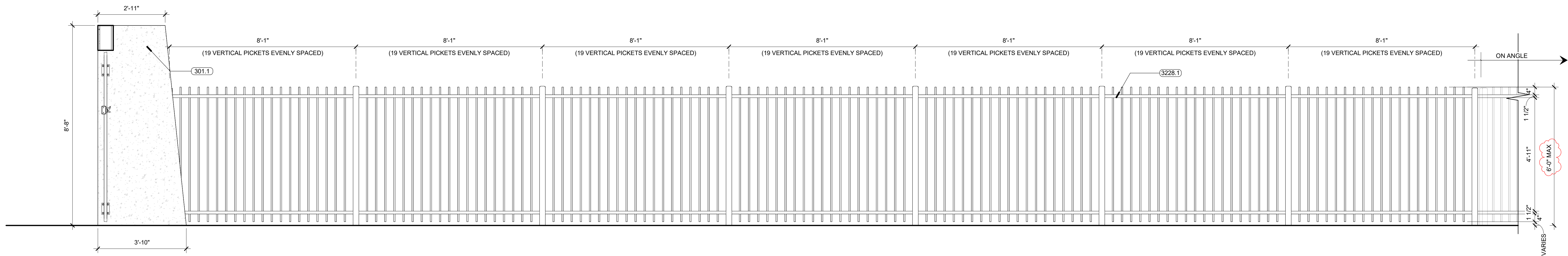
E1 FENCE ELEVATION - NORTH

SCALE: 1/2" = 1'-0"



D1 FENCE ELEVATION - NORTH EAST

SCALE: 1/2" = 1'-0"



A1 FENCE ELEVATION WEST

SCALE: 1/2" = 1'-0"



B1 FENCE ELEVATION EAST

SCALE: 1/2" = 1'-0"

KEYNOTES

- 301.1 REINFORCED CONCRETE WALL - ARCHITECTURAL GRADE FINISH WHERE EXPOSED - REFER STRUCTURAL DRAWINGS
- 3228.1 6'-0" TALL STEEL FENCE - SECURE-WELD ORNAMENTAL STEEL FENCE BY MERCHANTS MEDALS - STYLE: KENT PANEL FINISH: BLACK POWDER COAT W/PRIMER - REFER TO FENCING PLANS AND ELEVATIONS
- 3228.2 1 1/2" SQ PRE-GALV 14 GA RAIL (TOP AND BOTTOM)
- 3228.3 3/4" SQ PRE-GALV 16 GA PICKET SPACE 4 3/4" O.C.
- 3228.4 3" X 3" PRE-GALV STEEL POST



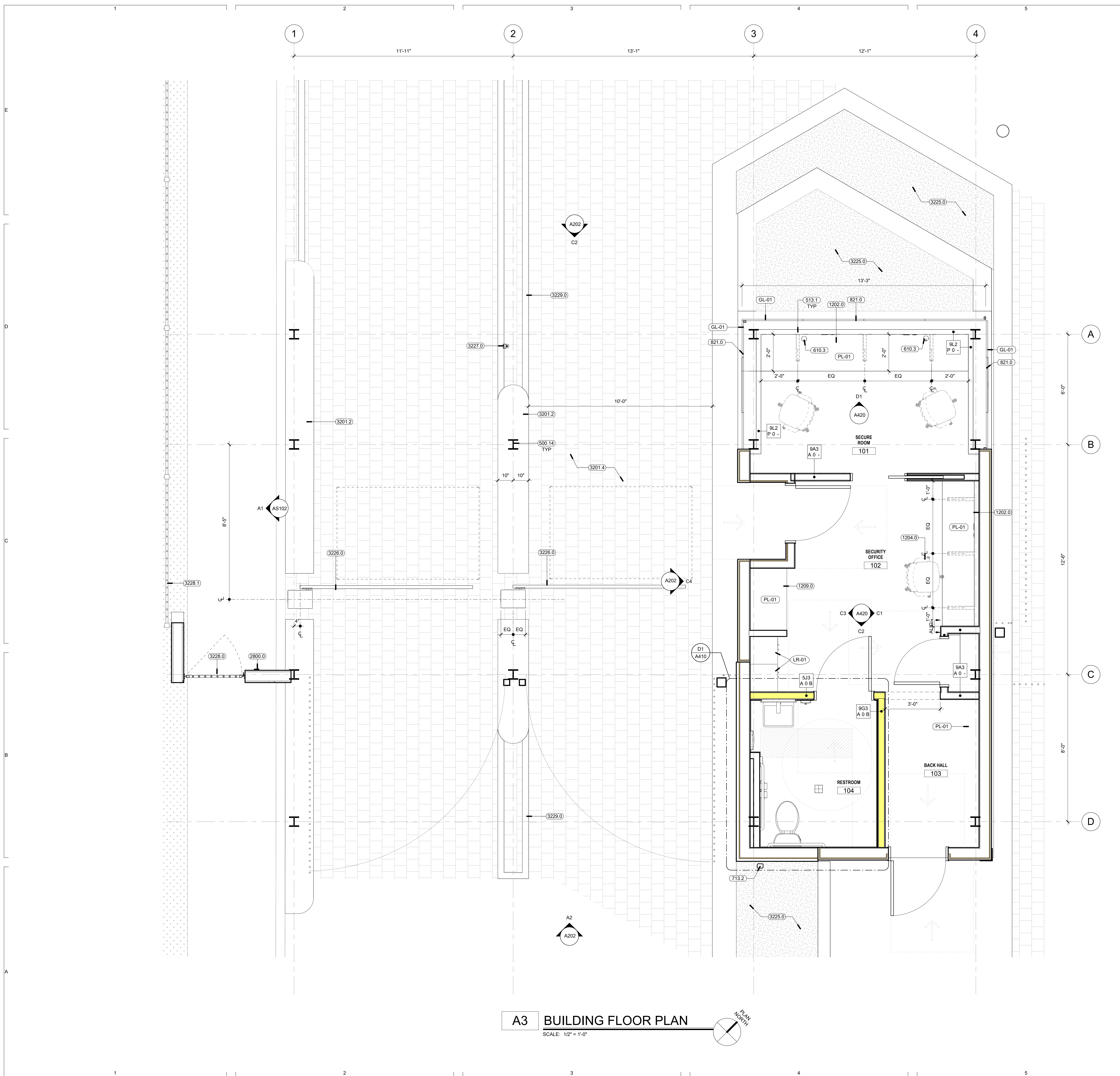
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TALOS AVENUE
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VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	8/22/24	100% SCHEMATIC DESIGN
2	8/14/25	PLANNING DESIGN REVIEW

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VALLEJO, CA 94592
FENCE ELEVATIONS

DATE:
JOB NO.: 23-296

AS102



A3 BUILDING FLOOR PLAN
SCALE: 1/2" = 1'-0"

ANNOTATED PLAN NOTES

- WHERE SHOWN, ALL FURNITURE & EQUIPMENT PLANS SHOWN AS DASHED ARE FOR REFERENCE ONLY. REFER PLANS & SPECIFICATIONS FOR ALL BASE CONTRACT FURNITURE TO BE PROVIDED.
- ALL HOUSEKEEPING PAD DIMENSIONS SHALL BE COORDINATED W/ ACTUAL EQUIPMENT TO BE PROVIDED.
- REFER FINISH SHEETS FOR FLOOR FINISH PATTERNS & FLOOR TRANSITION LOCATIONS.
- REFER CIVIL & MEP DRAWINGS FOR POINT OF CONNECTION FOR SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- CONTRACTOR TO PROVIDE BLOCKING BEHIND ALL CABINETS, COAT HOOKS, TV LOCATIONS AS WELL AS ALL WALL MOUNTED ACCESSORIES, INCLUDING TOILET ROOM ACCESSORIES, TOILET ROOM PARTITIONS, ETC.
- ALL MECHANICAL, ELECTRICAL, PLUMBING, & AV SYSTEMS SHALL BE CONCEALED WITHIN WALL PARTITIONS OR CEILING CAVITY UNLESS THERE IS EXPOSED STRUCTURE. REFER REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- REFER DOOR SCHEDULE & WINDOW ELEVATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE ACCESS DOORS IN PARTITIONS AT ALL LOCATIONS REQUIRED. ACCESS DOORS SHALL MAINTAIN FIRE RATING OF WALL. COORDINATE ALL LOCATIONS NOT SHOWN ON DRAWINGS W/ ARCHITECT PRIOR TO LOCATING IN THE FIELD.
- REFER EXTERIOR ELEVATION SHEETS FOR EXTERIOR FINISHES.
- PATCH ALL FLOOR PENETRATIONS RESULTING FROM REMOVAL OF EXISTING DUCTWORK, PIPING, ELECTRICAL RACEWAYS, ETC. FILL PENETRATION W/ CONCRETE. FILL THICKNESS & MAINTAIN EXISTING FIRE RATING OF ASSEMBLY. FINISH NEW CONCRETE IN MANNER SUITABLE FOR NEW FLOOR FINISHES.
- PATCH ALL WALL INTERSECTIONS & PENETRATIONS RESULTING FROM REMOVAL OF EXISTING WALLS, DUCTWORK, PIPING, ELECTRICAL RACEWAYS, ETC. IN INTERIOR WALLS TO REMAIN. THE PENETRATIONS SHALL BE FILLED FLUSH W/ THE SAME MATERIALS AS THE SURROUNDING WALLS, INCLUDING WORK ABOVE CEILINGS.
- ALL EXTERIOR EXPOSED METAL SHALL BE GALVANIZED.
- REFER CIVIL & LANDSCAPE DRAWINGS FOR HARDSCAPE ELEMENTS, PAVING, & SITE WORK ADJACENT TO THE BUILDING.

PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW WALL - REFER WALL TYPES SCHEDULE
- NEW GLAZING SYSTEM - REFER WINDOW ELEVATIONS
- NEW DOOR - REFER DOOR SCHEDULE
- EQUIPMENT TAG - REFER TO A400 SERIES SHEETS FOR SCHEDULE
- FINISH TAG - REFER TO A400 SERIES SHEETS FOR SCHEDULE

KEYNOTES

- 500.14 STEEL COLUMN PER STRUCTURAL - PROVIDE BLACKENED FINISH W/CLEAR COAT
- 513.1 2"x2"x1/4" WALL MOUNTED TAPERED ANGLE COUNTERTOP SUPPORT SPACED AT 48" O.C. MAX - COORDINATE W/ MILLWORK CONTRACTOR FOR FINAL QUANTITIES - BRACKETS SHALL BE PAINTED WHERE EXPOSED - REFER DETAILS
- 610.3 3" DIA. WIRE MANAGEMENT GROMMET - REFER CASEWORK LEGEND & PROJECT MANUAL
- 713.2 PREFINISHED METAL SCUPPER W/ MATCHING CONDUCTOR HEAD & DOWNSPOUT - PROVIDE CONCRETE SPLASH BLOCK
- 821.0 GL-1 BULLET PROOF GLAZING SYSTEM
- 1202.0 PLASTIC LAMINATE COUNTERTOP - REFER DETAILS & FINISH LEGEND
- 1204.0 TABLES, CHAIRS, & OTHER FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY - N.I.C. - OWNER PROVIDED & INSTALLED - TYP
- 1209.0 PLASTIC LAMINATE CASEWORK - REFER DETAILS & FINISH LEGEND
- 2800.0 ACCESS CONTROL CARD READER - WALL MOUNT - REFER ELECTRICAL DRAWINGS
- 3201.2 6" H CONCRETE PAVING OVER COMPACTED ROAD BASE & SUBBASE - REFER CIVIL DRAWINGS
- 3201.4 NEW PAVING
- 3225.0 PLANTER - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION
- 3226.0 MOTORIZED GATE ARM - HYSECURITY - MBAR W/10' ARM
- 3227.0 CARD READER STANCHION W/ INTERCOM
- 3228.0 PAINTED STEEL GATE
- 3228.1 8'-0" TALL STEEL FENCE - SECURE/WELD ORNAMENTAL STEEL FENCE BY MERCHANTS MEDALS - STYLE: KENT PANEL FINISH: BLACK POWDER COAT W/PRIMER - REFER TO FENCING PLANS AND ELEVATIONS
- 3229.0 PAVEMENT PAINT - 4" WIDE WHITE LINES

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ENTRY GUARDHOUSE
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1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592

LEVEL 1 - ANNOTATION PLAN

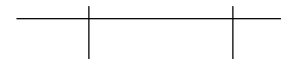

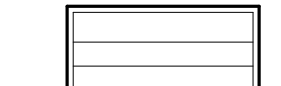

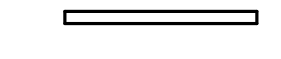




DATE: 8/2/2024
JOB NO.: 23-296

A110.1

CEILING PLAN NOTES

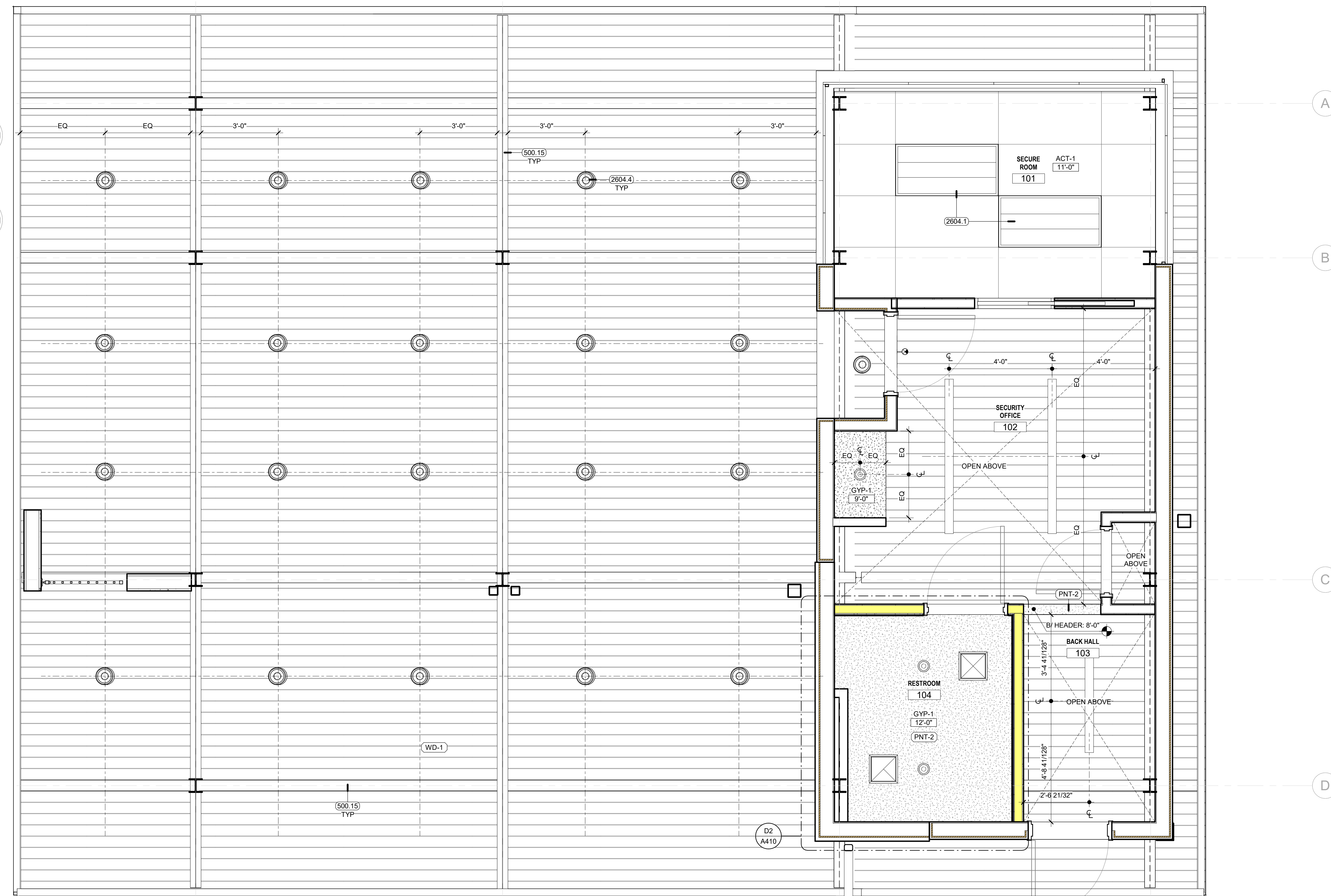
- COORDINATE W/ MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR CEILING MOUNTED ELEMENTS. NOT ALL MEP ELEMENTS ARE SHOWN ON THIS DRAWING.
- LIGHT FIXTURES, GRILLES, HEAT & SMOKE DETECTORS, SPEAKERS, SPRINKLER HEADS, ETC. SHALL BE LOCATED CENTER OF CEILING TILES.
- CEILING MOUNTED ELEMENTS SHALL BE ALIGNED & SPACED AS SHOWN ON CEILING PLANS & CEILING DETAILS.
- ALL DEVICES (JUNCTION BOXES, VAV/RYAC CONTROLS, SHUTOFF VALVES, ETC.) REQUIRING ACCESS SHALL BE REMOTELY LOCATED AWAY FROM GYP. BD. CEILINGS. COORDINATE LOCATIONS W/ MEP DRAWINGS.
- ALL FASCIAS, SOFFITS, HEADERS, & GYP. BD. CEILINGS SHALL ALIGN W/ ADJACENT WALL SURFACE IN THE SAME PLAN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT A DRAWING WHICH COORDINATES THE INSTALLATION OF ABOVE CEILING ELEMENTS (DUCTWORK, LIGHTS, SPRINKLER HEADS, ETC.) PRIOR TO SUBMISSION OF SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY CONFLICTS AT THE TIME THE COORDINATED DRAWING IS SUBMITTED.
- ALL NEW MECHANICAL DUCTWORK, PIPING, & ELECTRICAL ELEMENTS MUST BE LOCATED TO ALLOW FOR INSTALLATION OF FIXTURES INDICATED.
- COORDINATE LOCATION OF LIGHT FIXTURES W/ ARCHITECTURAL DRAWINGS.
- NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN LIGHTING FIXTURES & EXISTING CONDITIONS (PIPES, STRUCTURE, MECHANICAL, ETC.) PRIOR TO INSTALLATION OF CEILING.
- IN SPACES W/ INDEPENDENT ACOUSTICAL CEILING GRIDS, THE LAYOUT SHALL BE CENTERED IN EACH DIRECTION UNLESS OTHERWISE NOTED.
- COORDINATE LOCATION OF WALL MOUNTED LIGHT FIXTURES W/ ARCHITECTURAL ELEVATIONS.
- PROVIDE EPOXY PAINT AT ALL WET AREA GYP. BD. CEILINGS, INCLUDING BUT NOT LIMITED TO TOILET ROOMS & SHOWERS. REFER FINISH SCHEDULE.
- ALL CEILING HEIGHT ELEVATIONS ARE RELATIVE TO THE IMMEDIATELY ADJACENT CONCRETE FLOOR SLAB UNLESS OTHERWISE NOTED.

CEILING LEGEND

-  ACT-1: 24x48 SUSPENDED ACOUSTICAL LAY-IN TILE
 -  GYP-1: GYP. BD. CEILING - PAINT
 -  2x4 LIGHT FIXTURE
 -  ROUND DOWNLIGHT FIXTURE
 -  ARCHITECTURAL SUSPENDED LINEAR LIGHT FIXTURE
 -  EXIT SIGN W/ DIRECTION ARROW (AS REQ'D)
 -  DIFFUSER - SUPPLY
 -  DIFFUSER - RETURN
 -  DIFFUSER - EXHAUST
- REFER MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

KEYNOTES

- 500.15 STEEL BEAM PER STRUCTURAL - PROVIDE BLACKENED FINISH W/ CLEAR COAT.
- 713.2 PREFINISHED METAL SCUPPER W/ MATCHING CONDUCTOR HEAD & DOWNSPOUT - PROVIDE CONCRETE SPLASH BLOCK
- 2604.1 LIGHT FIXTURE - RECESSED - REFER ELECTRICAL DRAWINGS
- 2604.4 LIGHT FIXTURE - SURFACE MOUNTED - REFER ELECTRICAL DRAWINGS



NOTE: COORDINATE LOCATIONS AND QTY OF SECURITY DEVICES WITH OWNER

A3 REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"

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C-32096
2/28/2027
RENEWAL DATE
STATE OF CALIFORNIA

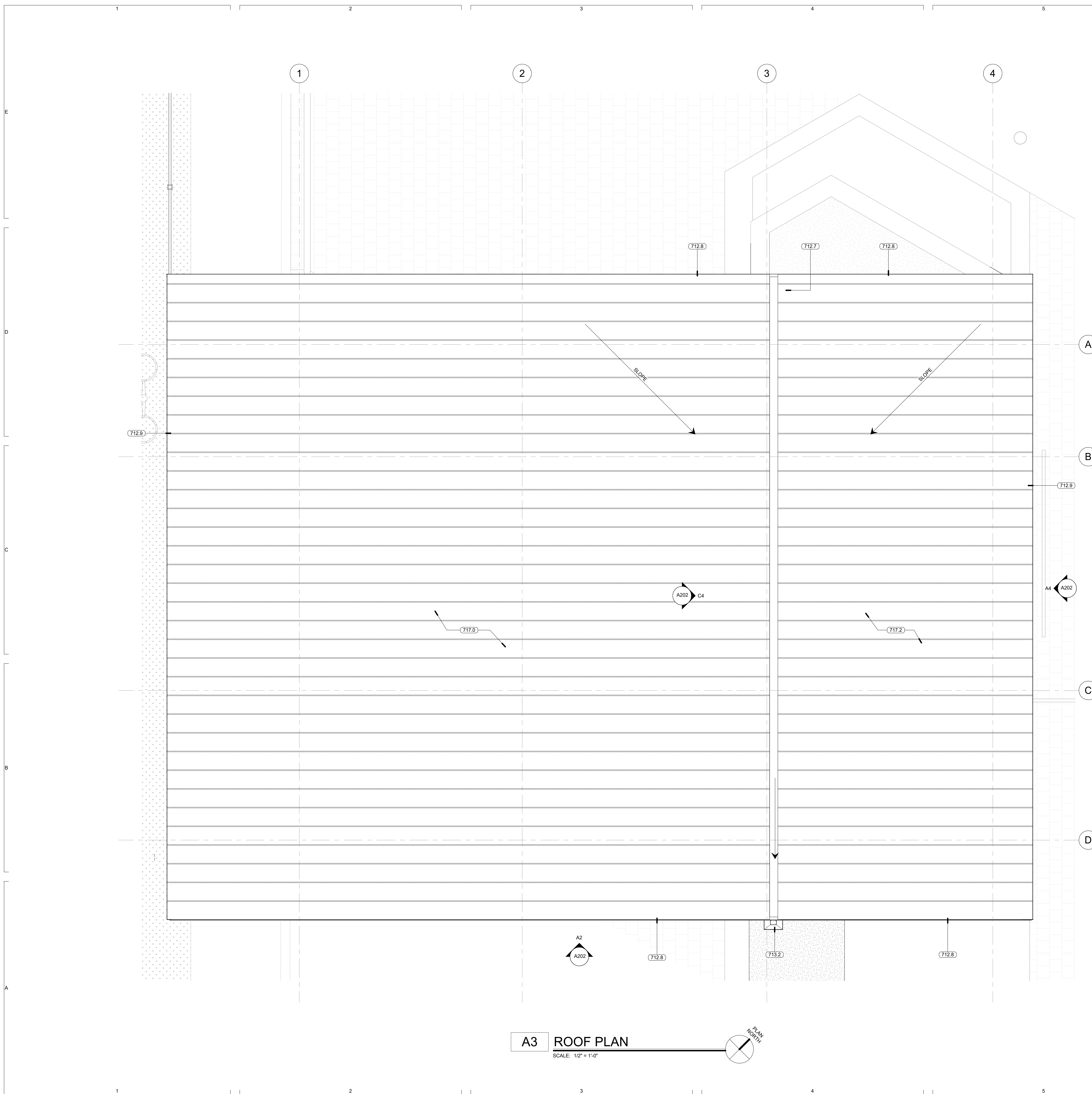
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TALOS AVENUE
1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	8/22/24	100% SCHEMATIC DESIGN
2	8/14/25	PLANNING DESIGN REVIEW

TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
LEVEL 1 - CEILING PLAN

DATE: 8/22/24
JOB NO.: 23-296

A110.4



ROOF PLAN NOTES

- REFER ROOF DETAIL SHEETS FOR TYPICAL ROOF DETAILS.
- NOT ALL ROOF MOUNTED EQUIPMENT & ROOF PENETRATIONS ARE SHOWN ON THE ARCHITECTURAL ROOF PLAN SHEET(S). IN ADDITION TO THE ARCHITECTURAL DOCUMENTS, THE CONTRACTOR IS RESPONSIBLE FOR REFERENCING THE STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING DOCUMENTS FOR ALL SUCH OCCURRENCES. ALL PENETRATIONS OF THE ROOF SHALL MEET THE ROOF MANUFACTURER'S WRITTEN RECOMMENDATIONS TO MAINTAIN INTEGRITY OF THE ROOFING SYSTEM.
- PROVIDE TERMINATION OF ROOFING MEMBRANE PER ROOF MANUFACTURER'S WRITTEN RECOMMENDATIONS & DETAILS.
- COORDINATE ALL MECHANICAL, ELECTRICAL, & PLUMBING ROOF PENETRATIONS. CONFIRM LOCATIONS PRIOR TO INSTALLATION TO VERIFY THE PROPER BOOT OR ROOFING COVERAGE IS MET BETWEEN ELEMENTS.
- VERTICAL EXTENSIONS OF ROOFING MEMBRANE SYSTEM SHALL BE 8" MINIMUM.
- ALL FLASHING, COUNTERFLASHING, & SHEET METAL WORK SHALL COMPLY WITH MINIMUM STANDARDS PER THE CURRENT EDITION OF SMACNA.
- CONTRACTOR IS RESPONSIBLE AT BIDDING FOR PROVIDING A ROOF MANUFACTURER APPROVED ROOFING DETAIL FOR ALL ROOFING CONDITIONS SO THAT THE SPECIFIED WARRANTY IS OBTAINED. IF A CONDITION SHOWN IN THESE CONSTRUCTION DOCUMENTS DOES NOT MEET THE REQUIREMENTS OF THE ROOFING MANUFACTURER, THESE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING SO AN ACCEPTABLE DETAIL CAN BE ISSUED.
- ALL EXTERIOR ROOFING ASSEMBLIES SHALL COMPLY WITH DESIGN WIND PRESSURES FOR SPECIFIED WIND LOADING REQUIREMENTS, INCLUDING ALL RELATED METAL FLASHINGS & COPINGS. REFER STRUCTURAL DRAWINGS FOR PERFORMANCE REQUIREMENTS.
- COORDINATE ALL ROOF TOP MECHANICAL UNITS LOCATIONS.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE A MINIMUM OF 10'-0" AWAY FROM EDGE OF ROOF UNLESS OTHERWISE NOTED.
- ALL METAL COPING LOCATIONS SHALL HAVE 1" SLOPE TOWARDS THE ROOF UNLESS OTHERWISE NOTED.

ROOF PLAN LEGEND

- MTL-2: STANDING SEAM METAL ROOF
- W/WP-1 WATERPROOF UNDERLAYMENT

KEYNOTES

- 712.7 PREFINISHED METAL VALLEY TRIM
- 712.8 PREFINISHED CONTINUOUS GABLE TRIM
- 712.9 PREFINISHED CONTINUOUS PEAK FLASHING
- 713.2 PREFINISHED METAL SCUPPER W/ MATCHING CONDUCTOR HEAD & DOWNSPOUT - PROVIDE CONCRETE SPLASH BLOCK
- 717.0 22 GA. x 12" WIDE PREFINISHED STANDING SEAM METAL ROOF PANEL SYSTEM OVER UNDERLAYMENT. OVER CORRUGATED METAL DECK. APPLY WOOD FINISH TO UNDERSIDE. CONDUIT FOR LIGHTING, SECURITY DEVICES, ETC TO RUN WITHIN CORRUGATED DECKING
- 717.2 22 GA. x 12" WIDE PREFINISHED STANDING SEAM METAL ROOF PANEL SYSTEM OVER UNDERLAYMENT OVER WOOD JOIST FRAMING W/INSUL-1 BTWN. APPLY WOOD FINISH TO UNDERSIDE. CONDUIT FOR LIGHTING, SECURITY DEVICES, ETC TO RUN WITHIN WOOD FRAMING

A3 ROOF PLAN
SCALE: 1/2" = 1'-0"

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VALLEJO, CA 94592
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REV	DATE	REMARKS
B	8/22/24	100% SCHEMATIC DESIGN
A	8/14/25	PLANNING DESIGN REVIEW

TOURO UNIVERSITY
1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592
ROOF PLAN

DATE: 23-296

A190.1

EXTERIOR FINISH LEGEND

DESIGNATION	DESCRIPTION	MANUFACTURER	PRODUCT	COLOR / FINISH	COMMENTS
INSULATION					
INS-1	BATT INSULATION - ROOF				
INS-2	BATT INSULATION - EXTERIOR WALLS				
WINDOW SYSTEM					
GL-1	BULLET RESISTANT WINDOW SYSTEM	TOTAL SECURITY SYSTEMS	ENERGY LOW E BALLISTIC INSULATED GLASS	TINTED 60%	LEVEL 1 / COORDINATED WITH SECURITY CONTRACTOR
GL-2	7/8" IGU WALLUM FRAME	DEFENSELITE	DEFENSELITE	TINTED 50% LOW IRON W/LOW E COATING	
CONCRETE					
CIP-1	CAST-IN-PLACE CONCRETE WALL	-	-	ARCHITECTURAL	
PCP-1	PRECAST CONCRETE TILE	CLE TILE	OUTER CLE - HERITAGE-ORIGAMI:CORDS	SLIPPER	BASIS OF DESIGN
PCP-2	PRECAST CONCRETE PANEL	SURECAST WEST	GRANTE RIBBED OR SIMILAR	MATCH ARCHITECT'S SAMPLE	ALTERNATE TO PCP-1, PENDING FINAL DECISION
METAL PANEL					
MP-1	PREFINISHED CORRUGATED METAL PANEL SYSTEM	PETERSEN ALUMINUM	16" PRECISION SERIES - HWP	SLATE GRAY	
MP-2	METAL CLADDING - WOOD STYLE	ARMSTRONG	LINEAR CLASSICS METALWORK	EFFECTS DARK CHERRY	
METAL					
MTL-1	PREFINISHED METAL FLASHING/TRIM	TAYLOR METAL PRODUCTS	REFER TO DETAILS	TERRACOTA	
MTL-2	STANDING SEAM METAL ROOF	TAYLOR METAL PRODUCTS	VERSA SPAN - 12" FLAT PAN	TERRACOTA	
STUCCO					
STU-1	CEMENT BASED STUCCO SYSTEM	STO	STOPOWERWALL MVES	MATCH ARCHITECT'S SAMPLE	
WATERPROOFING					
WP-1	ROOF UNDERLAYMENT	TAYLOR METAL PRODUCTS	TMP PROTECT HT UNDERLAYMENT		
WP-2	EXTERIOR WALL WATERPROOFING	-			
WP-3	BELOW GRADE WATERPROOFING	-			
PAVING					
SP-1	STONE PAVING	TECHO-BLOC	LINEA - LARGE RECTANGLES	ONYX BLACK 40% / SHALE GRAY 60%	LINEAR PATTERN 01

KEYNOTES

- 500.14 STEEL COLUMN PER STRUCTURAL - PROVIDE BLACKENED FINISH W/ CLEAR COAT
- 500.15 STEEL BEAM PER STRUCTURAL - PROVIDE BLACKENED FINISH W/ CLEAR COAT
- 713.2 PREFINISHED METAL SCUPPER W/ MATCHING CONDUCTOR HEAD & DOWNSPOUT - PROVIDE CONCRETE SPLASH BLOCK
- 800.0 SCHEDULED DOOR & FRAME - REFER DOOR SCHEDULE
- 1056.0 BULLET RESISTANT TALK THRU
- 1057.0 SECURE PASS HOPPER
- 3224.0 FIXED BOLLARDS - SELUX; CORRAL (SCCORL-4.5-BK)
- 3227.0 CARD READER STANCHION W/ INTERCOM

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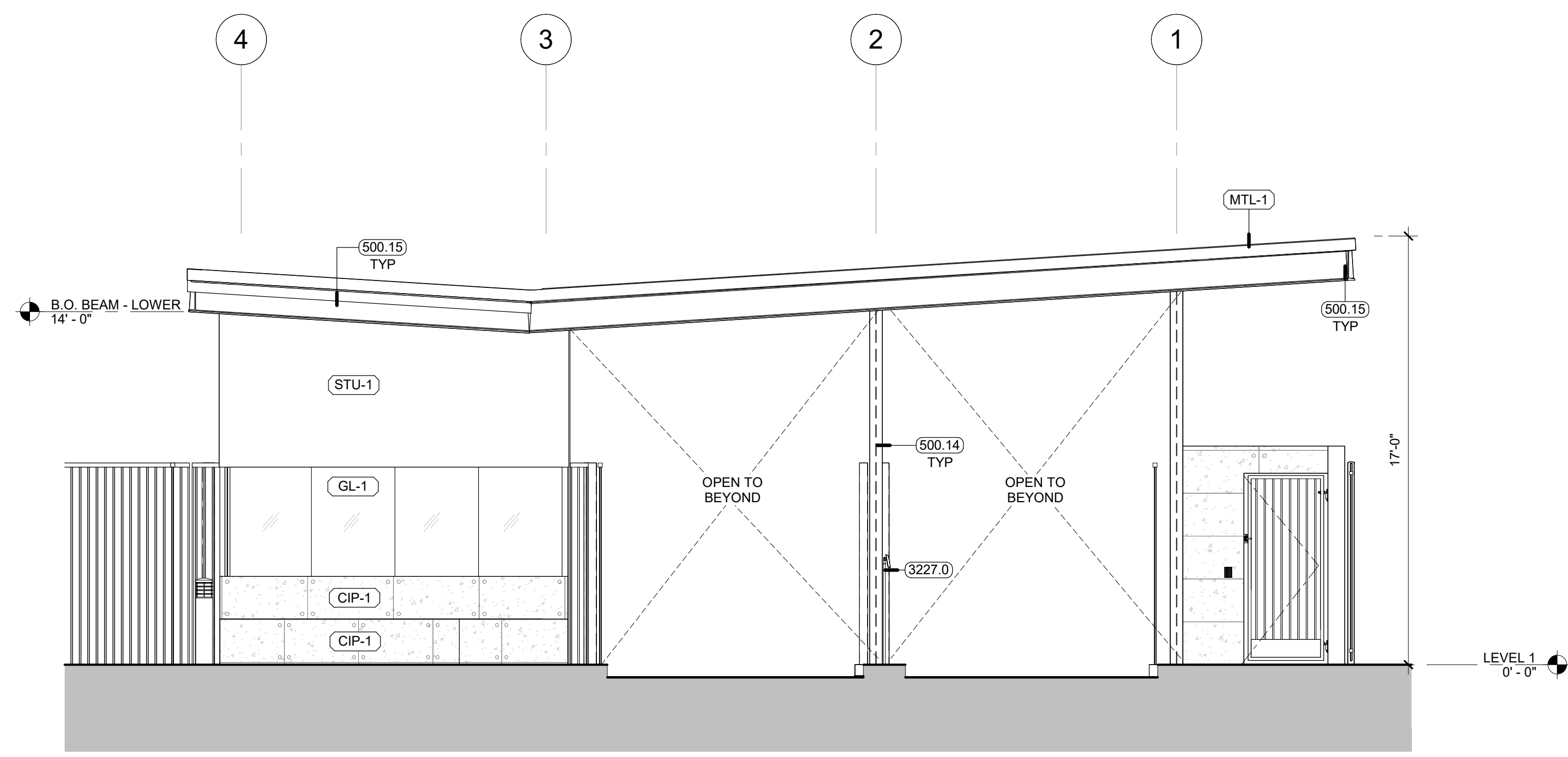
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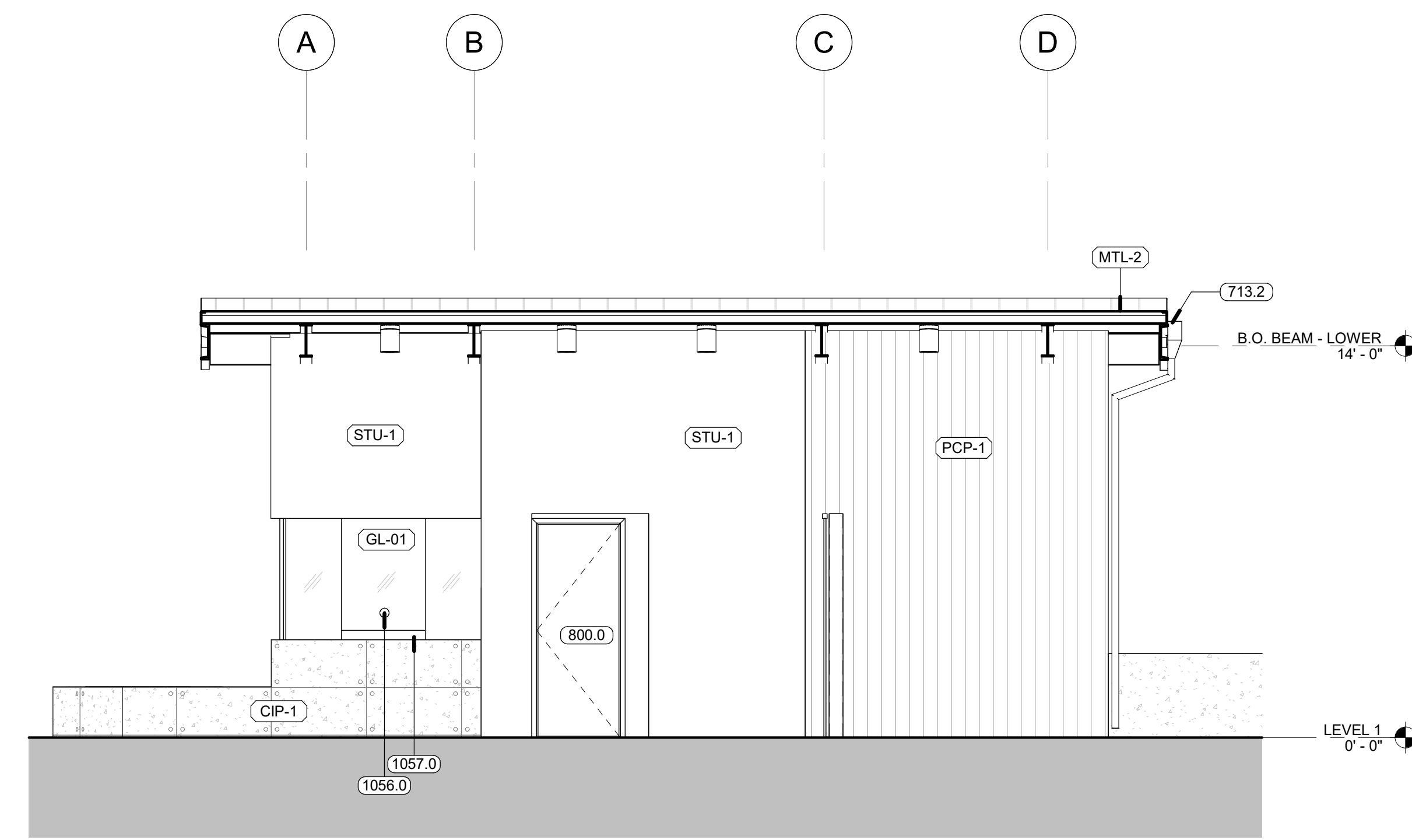
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BUILDING ELEVATIONS

DATE:
JOB NO.: 23-296

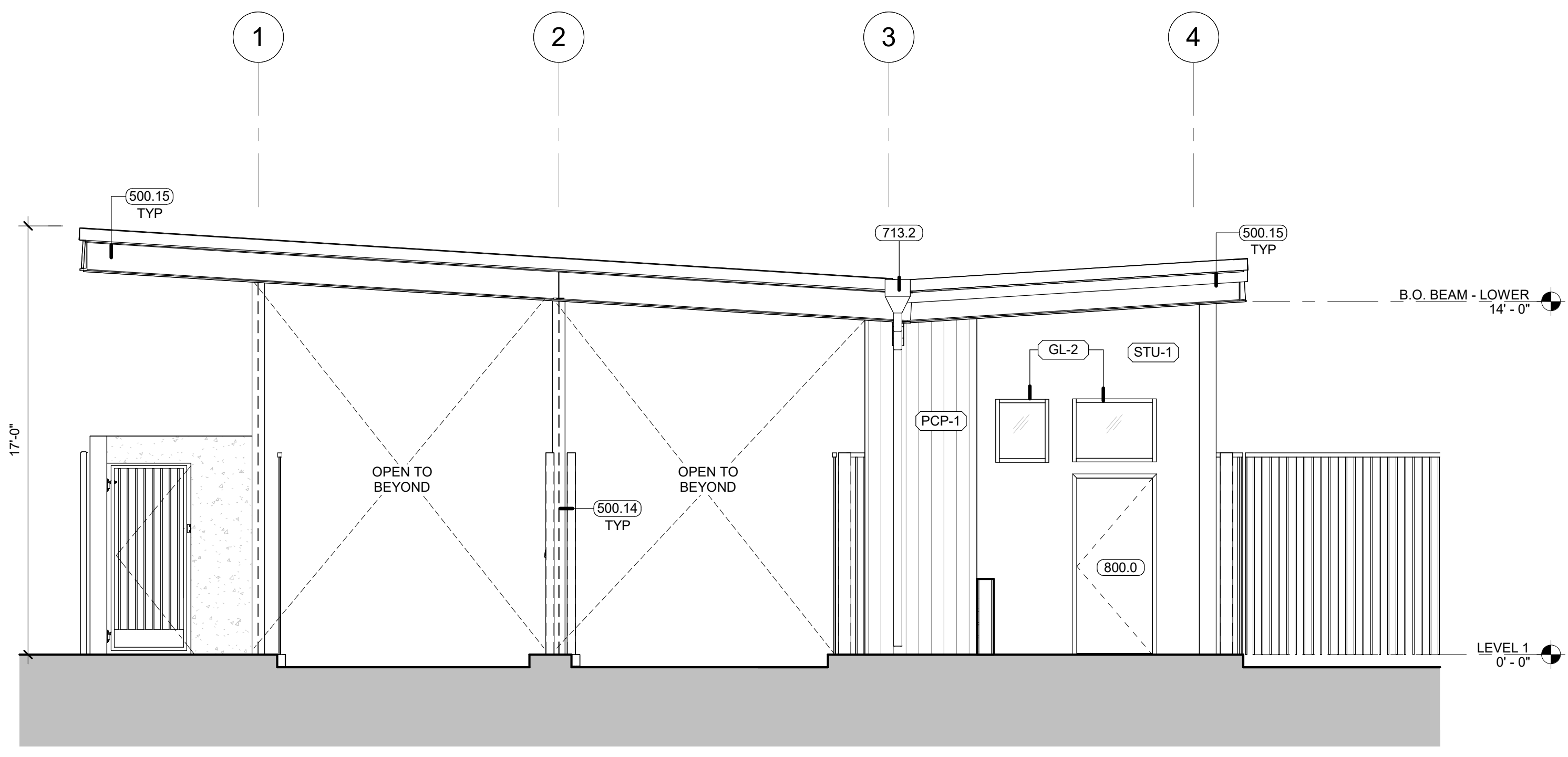
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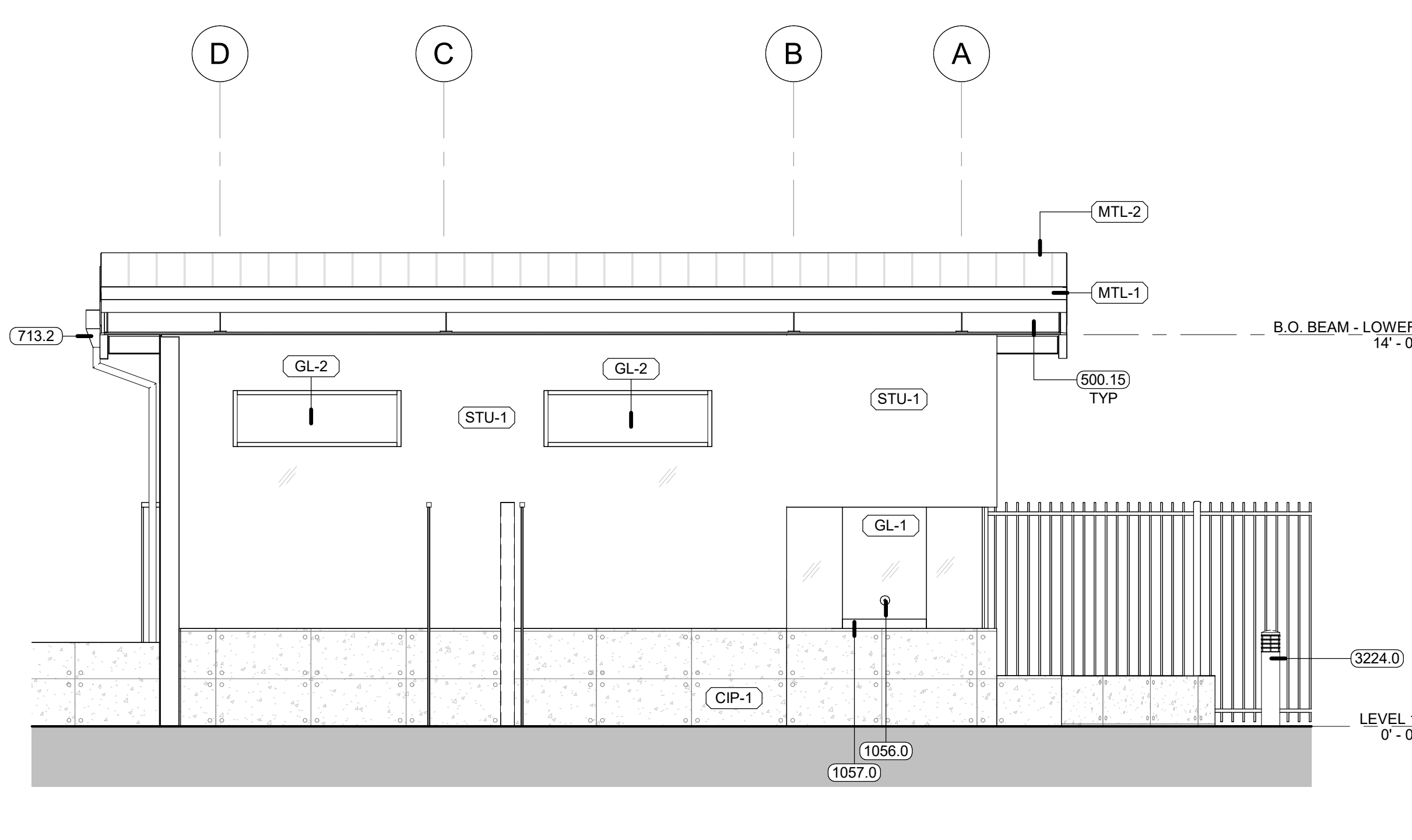
C2 NORTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



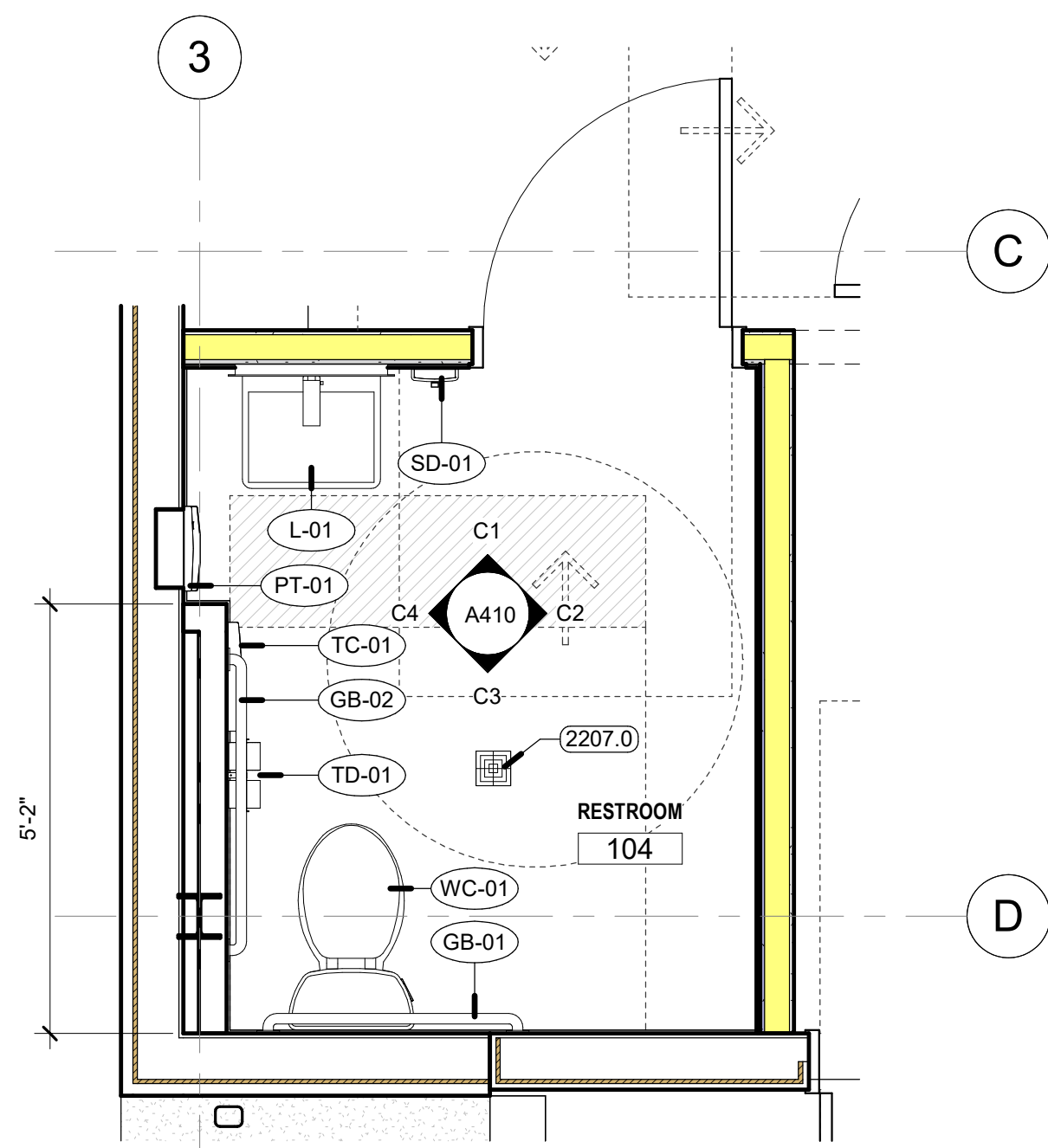
C4 WEST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



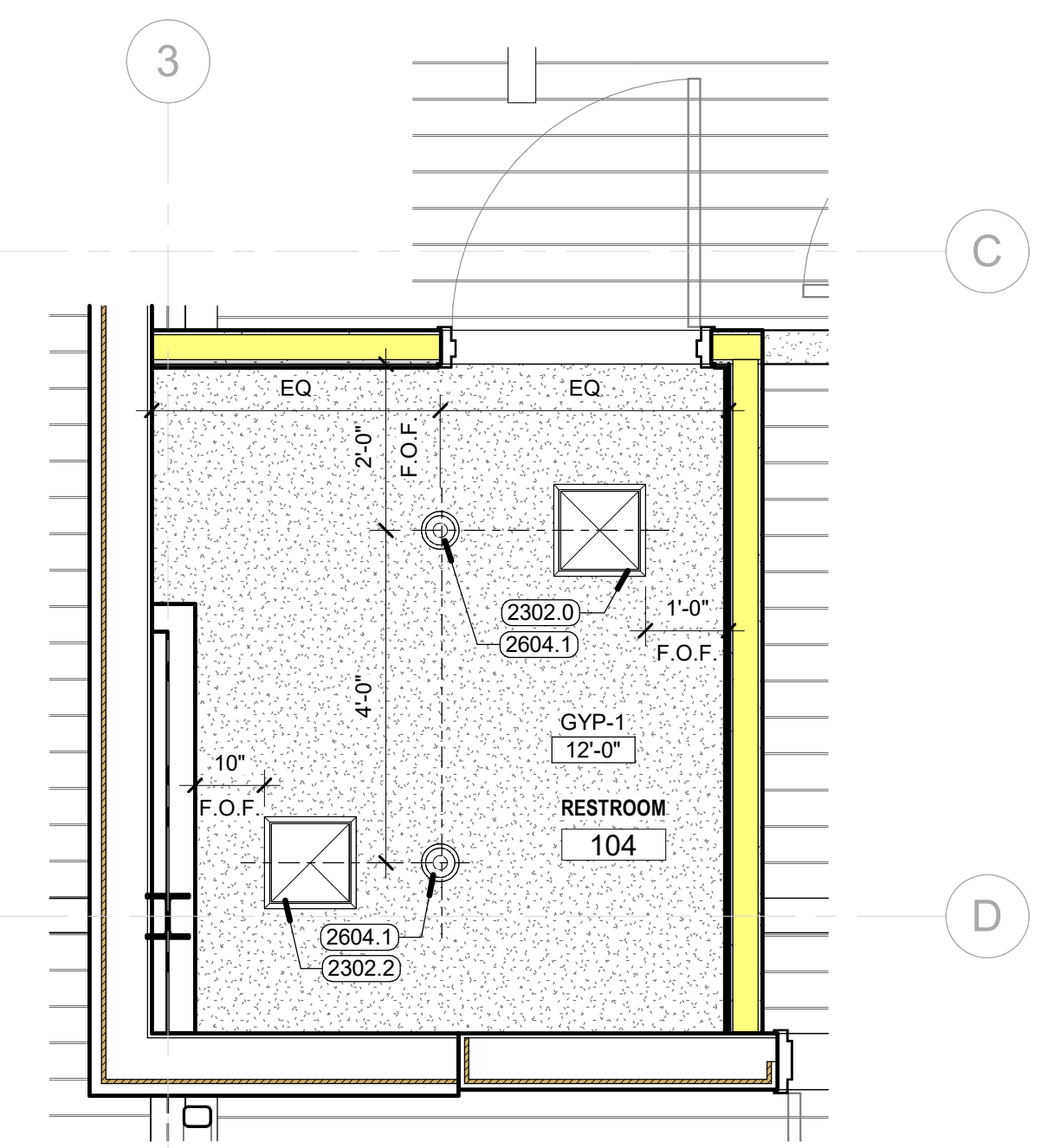
A2 SOUTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



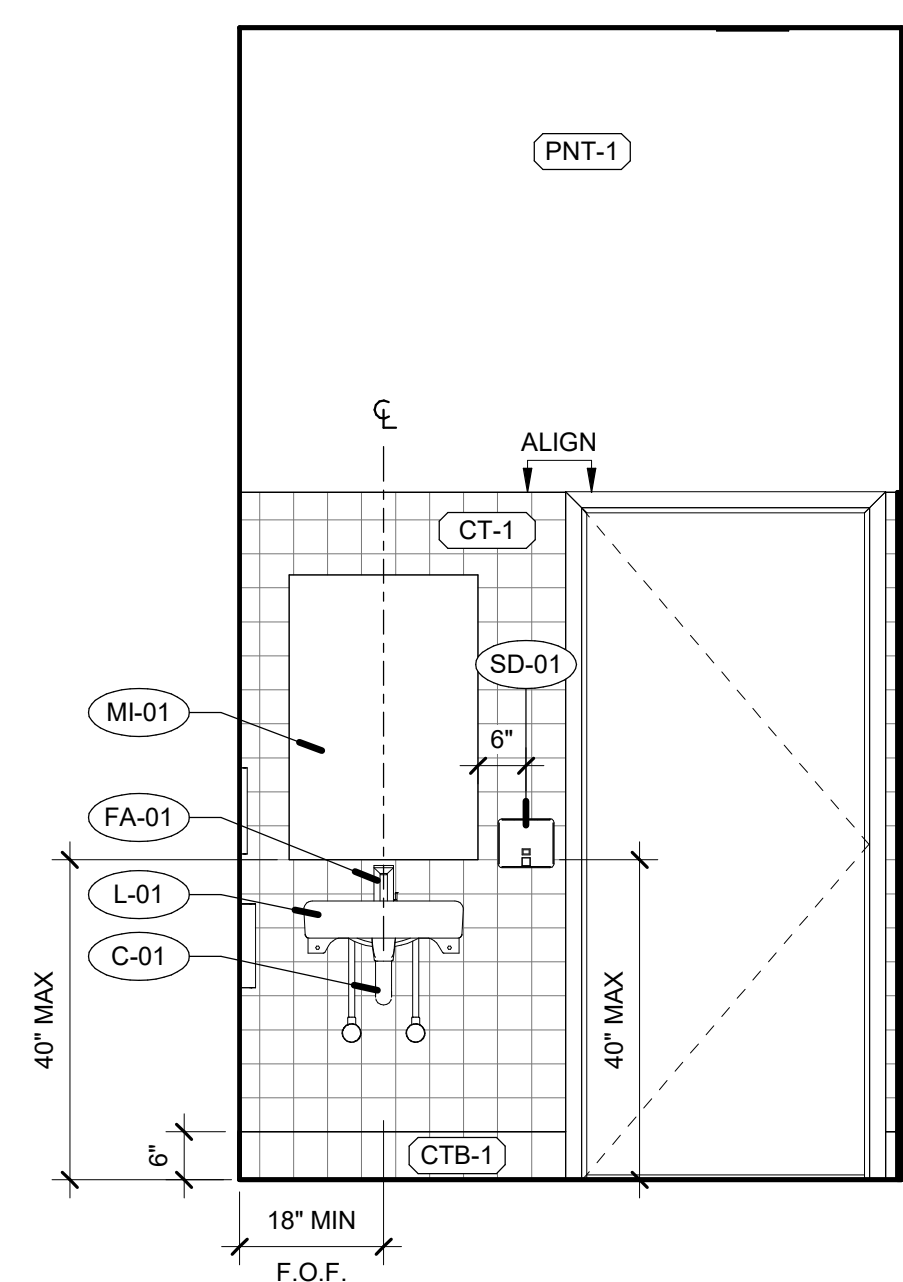
A4 EAST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



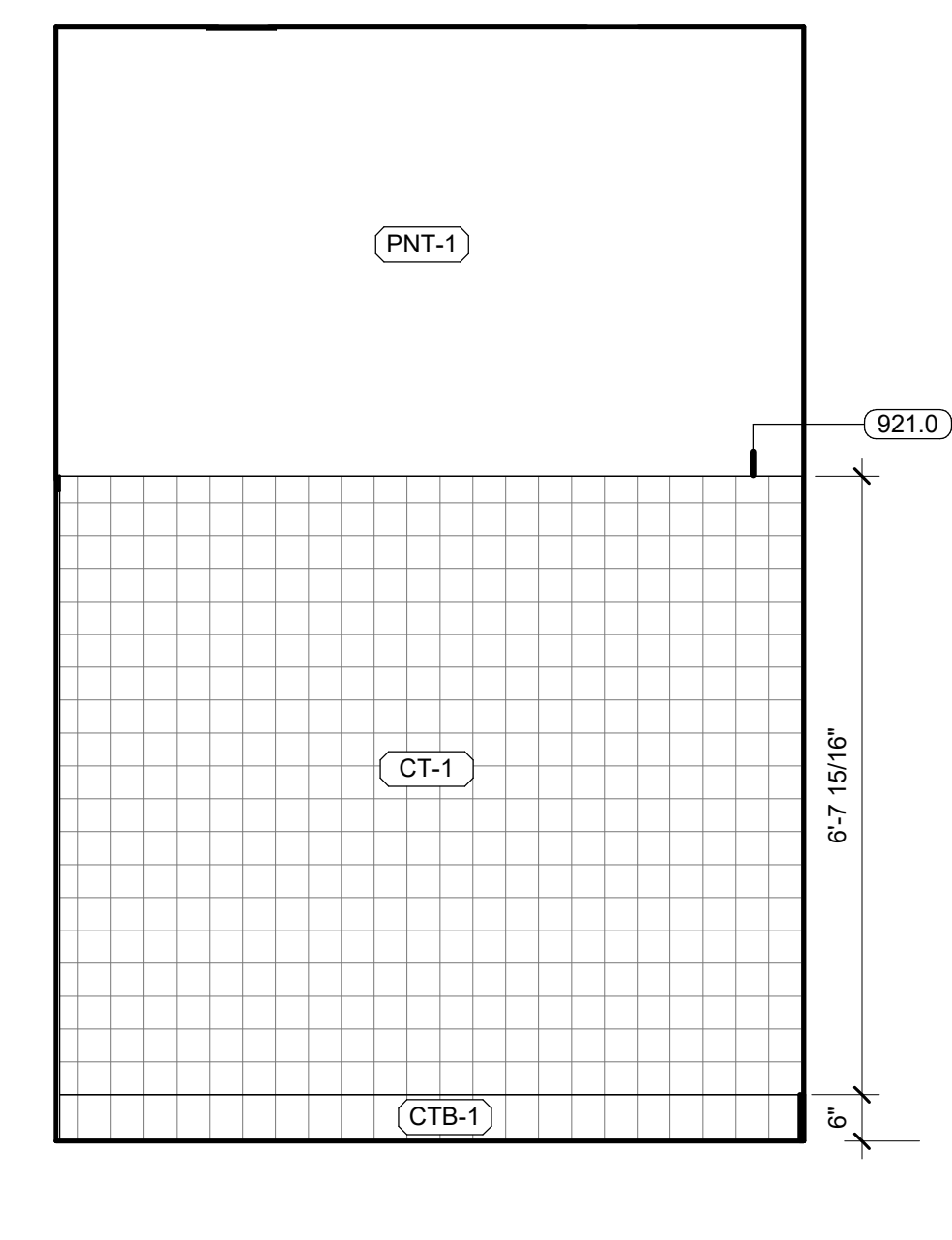
D1 ENLARGED PLAN - RESTROOM
SCALE: 1/2" = 1'-0"



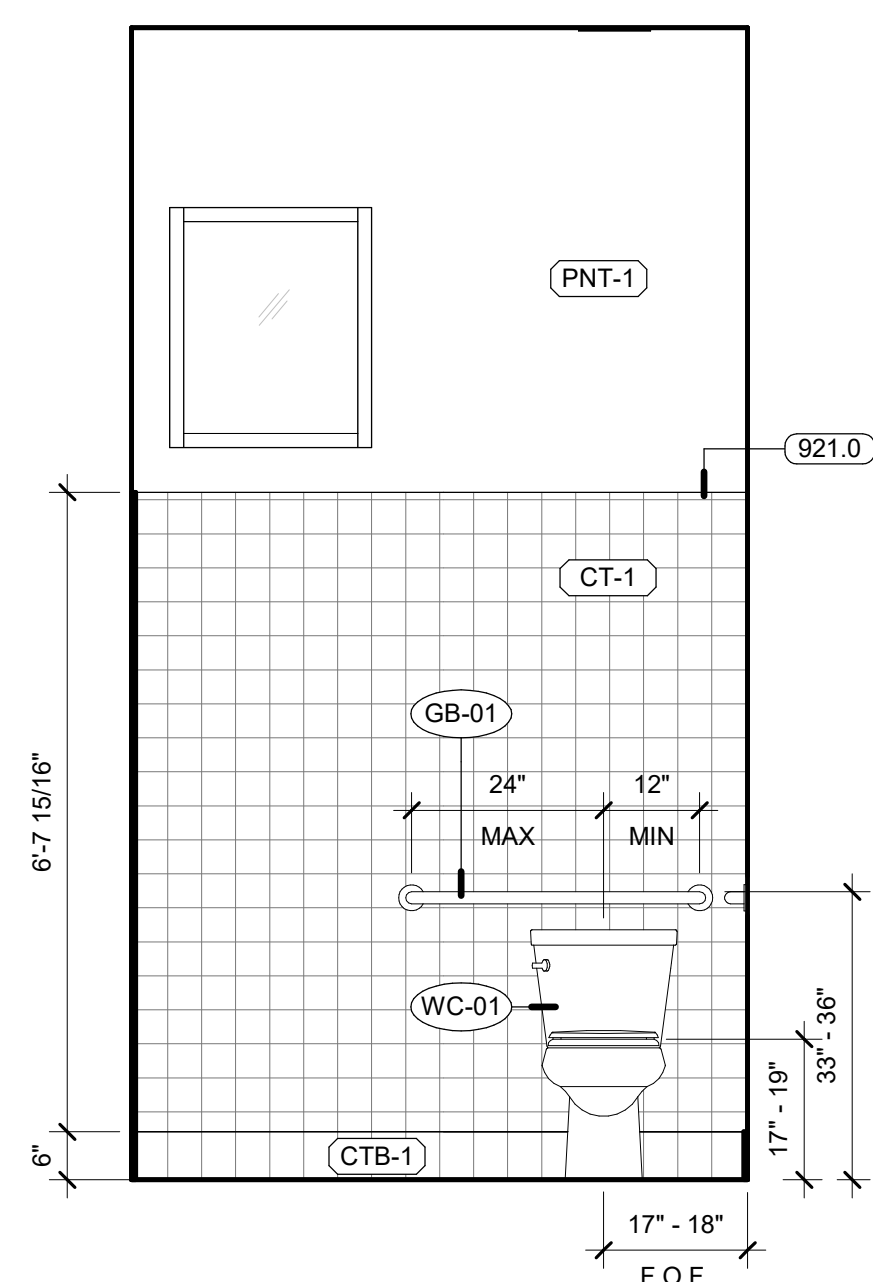
D2 ENLARGED RCP - RESTROOM
SCALE: 1/2" = 1'-0"



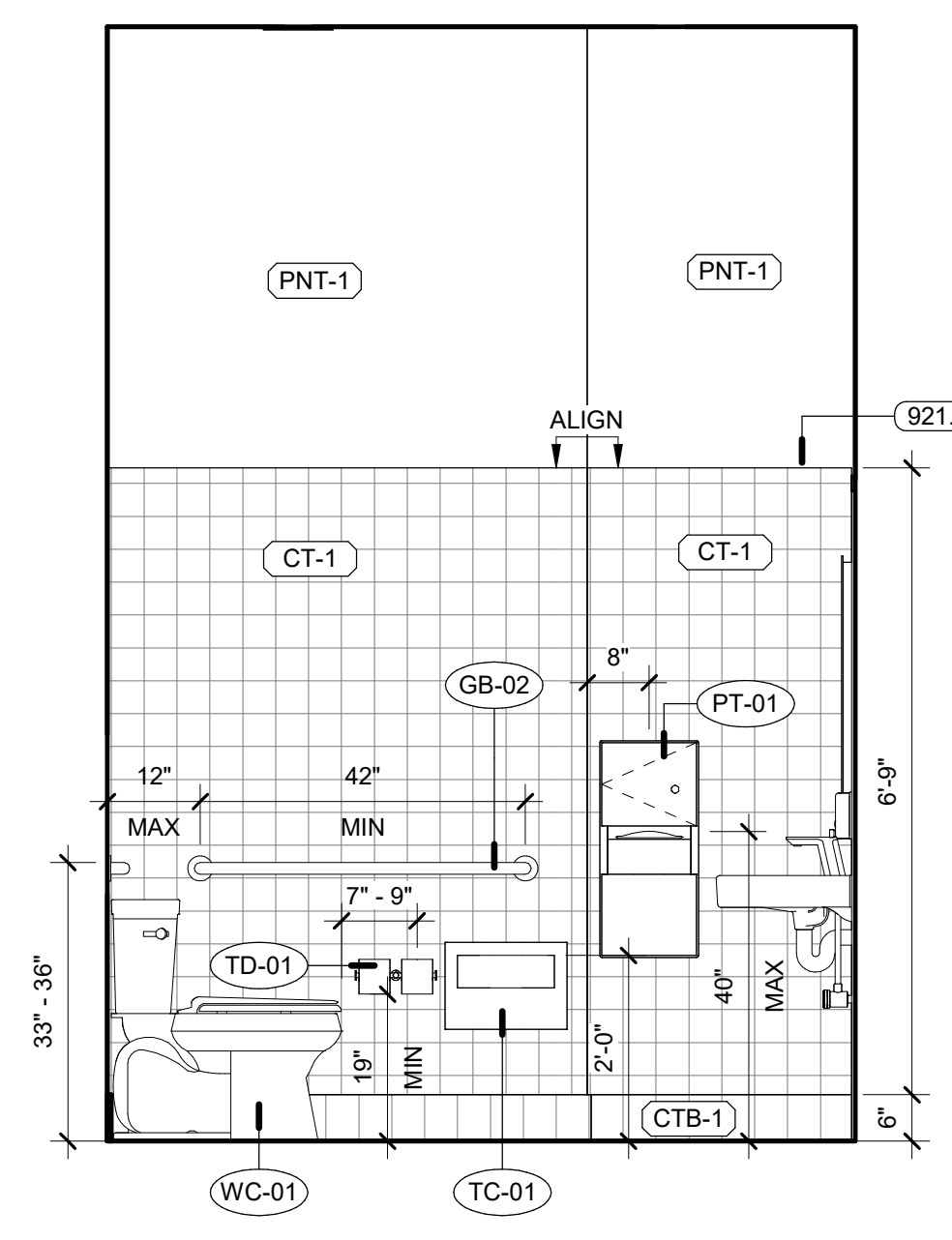
C1 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



C2 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



C3 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



C4 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"

ACCESSORIES/EQUIPMENT LEGEND

DESIGNATION	DESCRIPTION	MANUFACTURER	MODEL	FURNISHED / INSTALLED	COMMENTS
RESTROOM					
C-01	UNDERSINK PIPING COVER	TRUEBRO	LAV GUARD 2 - 102 EZ	G.C. / G.C.	
FA-01	TOUCHLESS DECK MOUNTED FAUCET	KOHLER	K-13466	G.C. / G.C.	
GB-01	36" STRAIGHT GRAB BAR	BOBRICK	B-6906 x 36	G.C. / G.C.	
GB-02	42" STRAIGHT GRAB BAR	BOBRICK	B-6906 x 42	G.C. / G.C.	
L-01	WALL MOUNTED LAVATORY	KOHLER	K-2084-0	G.C. / G.C.	
MI-01	LED BACKLIT MIRROR - 24" x 36"	BOBRICK	B-164 2436	G.C. / G.C.	
PT-01	RECESSED COMBINATION PAPER TOWEL & WASTE UNIT - SATIN - CONTURA SERIES	BOBRICK	B-4369	G.C. / G.C.	
SD-01	SURFACE MOUNTED MANUAL LIQUID SOAP DISPENSER - CONTURA SERIES	BOBRICK	B-4112	G.C. / G.C.	
TC-01	SURFACE MOUNTED TOILET SEAT COVER DISPENSER - SATIN - CONTURA SERIES	BOBRICK	B-4221	G.C. / G.C.	
TD-01	DOUBLE TOILET TISSUE ROLL HOLDER - SATIN - FINO COLLECTION	BOBRICK	B-9547	G.C. / G.C.	
WC-01	ACCESSIBLE FLOOR MOUNTED TOILET - TANK TYPE	KOHLER	K-76301-0	G.C. / G.C.	
SECURITY OFFICE					
LR-01	LOCKERS	SPACESAVER CORP	PSL2722418M	G.C. / G.C.	

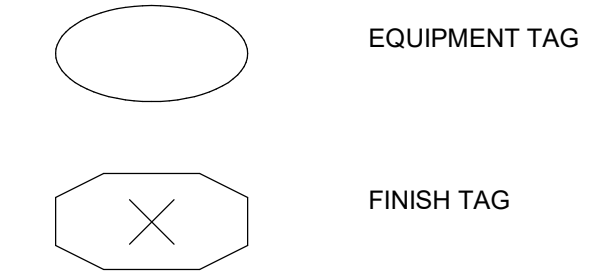
INTERIOR FINISH LEGEND

DESIGNATION	DESCRIPTION	MANUFACTURER	PRODUCT	PRODUCT SIZE	COLOR / FINISH	COMMENTS
ACOUSTICAL CEILING TILE						
ACT-1	LAY-IN CEILING TILE	ARMSTRONG	OPTIMA TEGULAR	24" x 48"	WHITE	SUPRAFINE XL 9/16" GRID
BASE						
CTB-1	CERAMIC TILE COVE BASE	DALTILE	CLASSIC - GLAZED CERAMIC - S3419T	4" x 6"	MATTE ARCHITECTURAL GRAY 0709	
RB-1	RUBBER STRAIGHT BASE	JOHNSONITE	TICHLICK - STRAIGHT TOELESS	4"	TBD	
CARPET						
CPT-1	CARPET TILE - 12" x 36"	MOHAWK GROUP	TBD	TBD	TBD	REFER FINISH PLANS FOR LAYOUT
CONCRETE						
CON-1	POLISH CONCRETE	SCOFIELD	FORMULA ONE		GRADE 2 - CLASS 2	LITHIUM DENSIFIER MP / GUARD-W
PAINT						
PNT-1	PAINT - WALL	SHERWIN WILLIAMS	EPOXY		SW 7641 - COLONNADE GRAY - EGGSHELL	
PNT-2	PAINT - CEILING	SHERWIN WILLIAMS	EPOXY		SW 7757 - HIGH REFLECTIVE WHITE - FLAT	
PNT-3	PAINT - WALL	SHERWIN WILLIAMS	LATEX		SW 7641 - COLONNADE GRAY - EGGSHELL	
PLASTIC LAMINATE						
PL-1	MILLWORK - CABINET	TBD	TBD		TBD	
TILE						
CT-1	CERAMIC TILE - WALL	TBD	TBD		TBD	REFER INTERIOR ELEVATIONS LAYOUT
GR-1	GROUT - WALL	CUSTOM BUILDING	POLYBLENDED PLUS SANDED GROUT		TBD	USE W/ CT-1
ACCESSORIES						
TR-1	TILE EDGE TRIM	SCHLUTER	QUADEC LINE		STAINLESS STEEL - EB	REFER INTERIOR ELEVATIONS & DETAILS
TR-2	CARPET - CONCRETE REDUCER	TARKETT	CTA-X-X-P		40 BLACK	
TR-3	TILE - CARPET TRANSITION	CERAMIC TOOL	CTC-38-CTS		ANODIZED ALUMINUM	

KEYNOTES

- 921.0 ALIGN WITH THE TOP OF THE DOOR FRAME HEIGHT
- 2207.0 FLOOR DRAIN - SQUARE - REFER PLUMBING DRAWINGS
- 2302.0 PREFINISHED MECHANICAL DIFFUSER - SUPPLY - REFER MECHANICAL DRAWINGS
- 2302.2 PREFINISHED MECHANICAL DIFFUSER - EXHAUST - REFER MECHANICAL DRAWINGS
- 2604.1 LIGHT FIXTURE - RECESSED - REFER ELECTRICAL DRAWINGS

LEGEND



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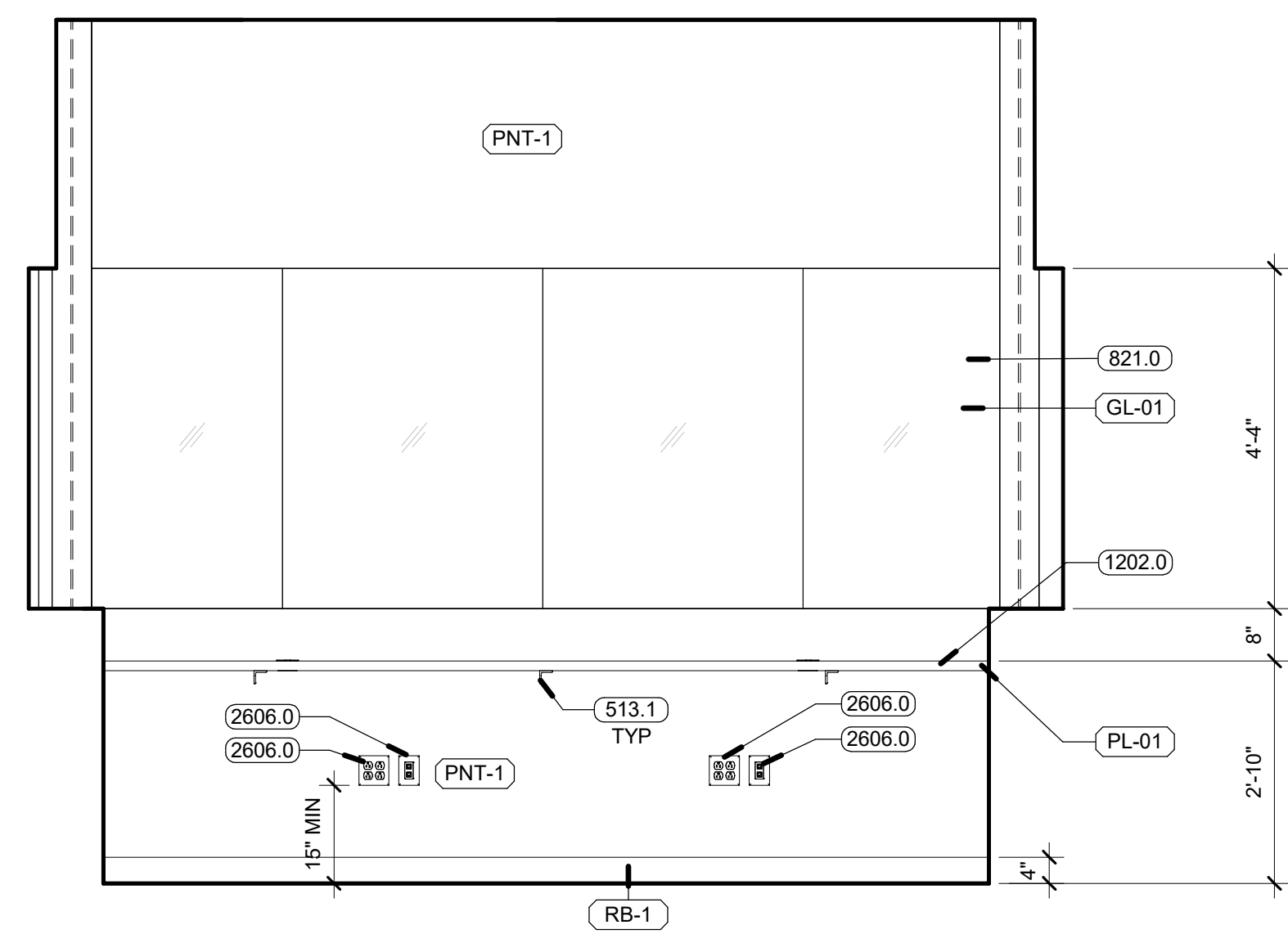
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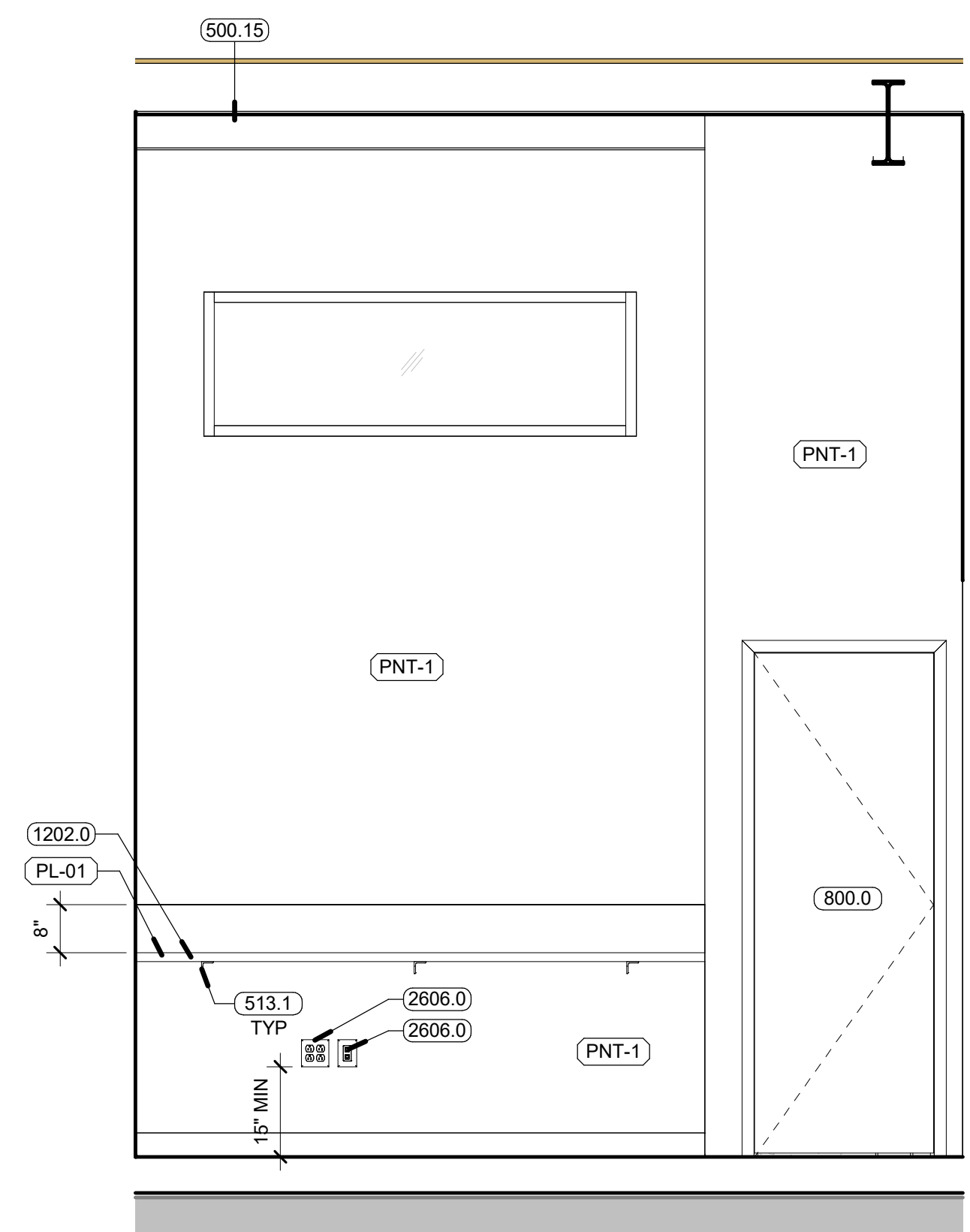
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ENLARGED PLANS & INTERIOR ELEVATIONS

DATE: _____
JOB NO.: 23-296

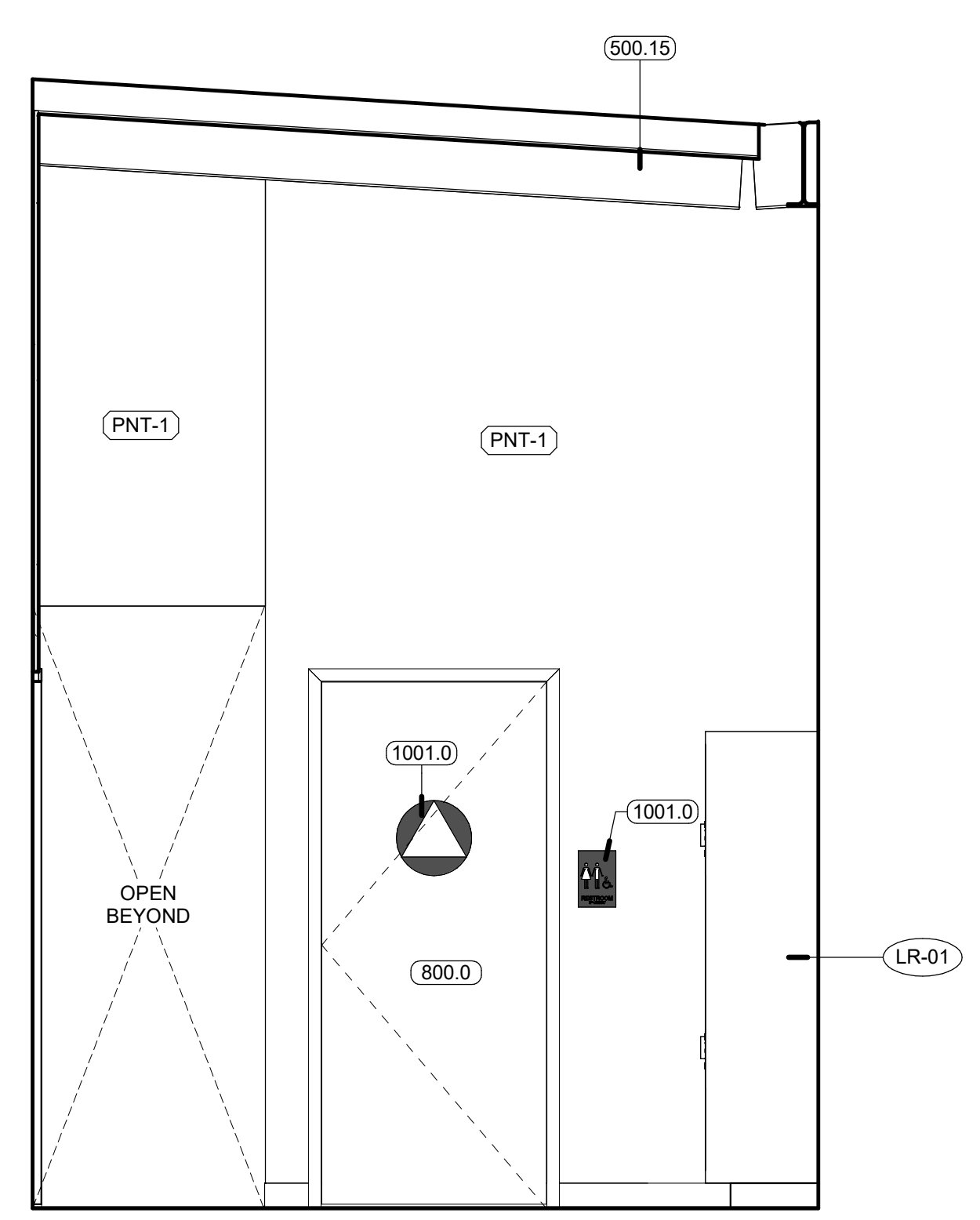
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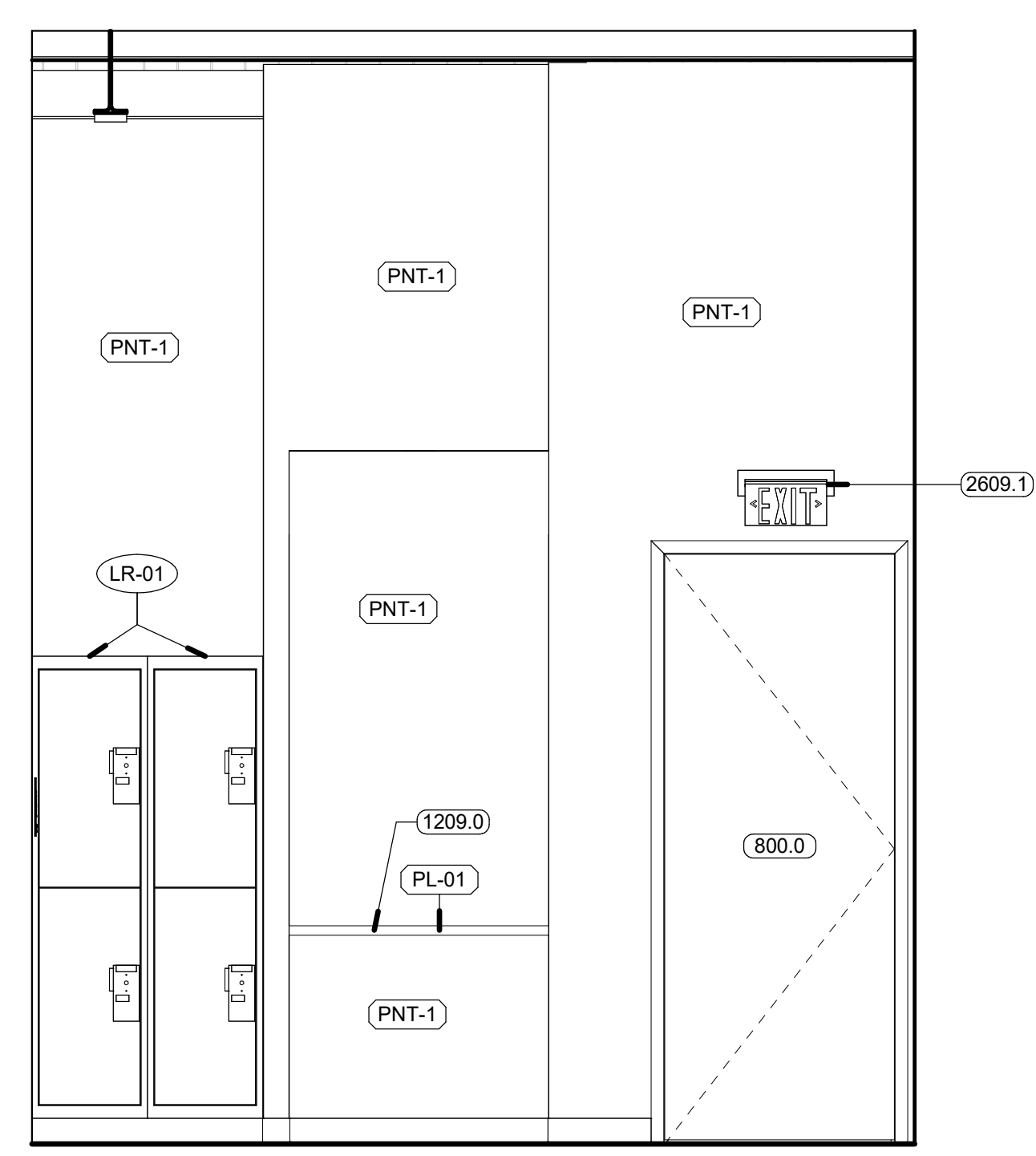
D1 SECURE ROOM ELEVATION
SCALE: 1/2" = 1'-0"



C1 SECURITY OFFICE ELEVATION
SCALE: 1/2" = 1'-0"



C2 SECURITY OFFICE ELEVATION
SCALE: 1/2" = 1'-0"



C3 SECURITY OFFICE ELEVATION
SCALE: 1/2" = 1'-0"

ACCESSORIES/EQUIPMENT LEGEND

DESIGNATION	DESCRIPTION	MANUFACTURER	MODEL	FURNISHED / INSTALLED	COMMENTS
RESTROOM					
C-01	UNDERSINK PIPING COVER	TRUEBRO	LAV GUARD 2 - 102 EZ	G.C. / G.C.	
FA-01	TOUCHLESS DECK MOUNTED FAUCET	KOHLER	K-13466	G.C. / G.C.	
GB-01	36" STRAIGHT GRAB BAR	BOBRICK	B-6806 x 36	G.C. / G.C.	
GB-02	42" STRAIGHT GRAB BAR	BOBRICK	B-6806 x 42	G.C. / G.C.	
L-01	WALL MOUNTED LAVATORY	KOHLER	K-2084-0	G.C. / G.C.	
MI-01	LED BACKLIT MIRROR - 24" x 36"	BOBRICK	B-164 2436	G.C. / G.C.	
PT-01	RECESSED COMBINATION PAPER TOWEL & WASTE UNIT - SATIN - CONTURA SERIES	BOBRICK	B-4369	G.C. / G.C.	
SD-01	SURFACE MOUNTED MANUAL LIQUID SOAP DISPENSER - CONTURA SERIES	BOBRICK	B-4112	G.C. / G.C.	
TC-01	SURFACE MOUNTED TOILET SEAT COVER DISPENSER - SATIN - CONTURA SERIES	BOBRICK	B-4221	G.C. / G.C.	
TD-01	DOUBLE TOILET TISSUE ROLL HOLDER - SATIN - FINO COLLECTION	BOBRICK	B-9547	G.C. / G.C.	
WC-01	ACCESSIBLE FLOOR MOUNTED TOILET - TANK TYPE	KOHLER	K-76301-0	G.C. / G.C.	
SECURITY OFFICE					
LR-01	LOCKERS	SPACESAVER CORP	PSL2T722418M	G.C. / G.C.	

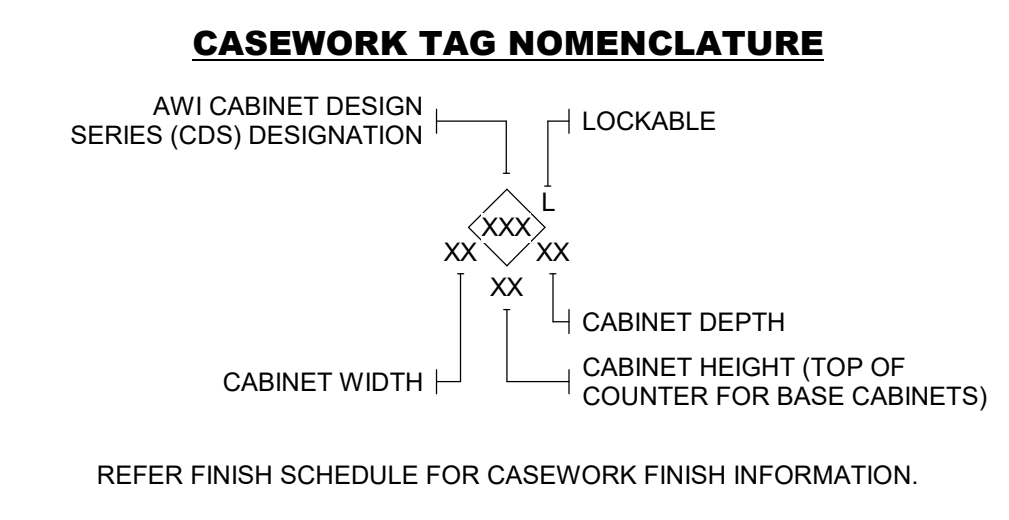
INTERIOR FINISH LEGEND

DESIGNATION	DESCRIPTION	MANUFACTURER	PRODUCT	PRODUCT SIZE	COLOR / FINISH	COMMENTS
ACOUSTICAL CEILING TILE						
ACT-1	LAY-IN CEILING TILE	ARMSTRONG	OPTIMA TEGULAR	24" x 48"	WHITE	SUPRAFINE XL 9/16" GRID
BASE						
CTB-1	CERAMIC TILE COVE BASE	DALTILE	CLASSIC - GLAZED CERAMIC - S94191	4" x 6"	MATTE ARCHITECTURAL GRAY 0709	
RB-1	RUBBER STRAIGHT BASE	JOHNSONITE	TIGLOCK - STRAIGHT TOELESS	4"	TBD	
CARPET						
CPT-1	CARPET TILE - 12" x 36"	MOHAWK GROUP	TBD	TBD	TBD	REFER FINISH PLANS FOR LAYOUT
CONCRETE						
CON-1	POLISH CONCRETE	SCOFIELD	FORMULA ONE		GRADE 2 - CLASS 2	LITHIUM DENSIFIER MP / GUARD-W
PAINT						
PNT-1	PAINT - WALL	SHERWIN WILLIAMS	EPOXY		SW 7641 - COLONNADE GRAY - EGGSHELL	
PNT-2	PAINT - CEILING	SHERWIN WILLIAMS	EPOXY		SW 7757 - HIGH REFLECTIVE WHITE - FLAT	
PNT-3	PAINT - WALL	SHERWIN WILLIAMS	LATEX		SW 7641 - COLONNADE GRAY - EGGSHELL	
PLASTIC LAMINATE						
PL-1	MILLWORK - CABINET	TBD	TBD		TBD	
TILE						
CT-1	CERAMIC TILE - WALL	TBD	TBD		TBD	REFER INTERIOR ELEVATIONS LAYOUT
GR-1	GROUT - WALL	CUSTOM BUILDING	POLYBLENDED PLUS SANDED GROUT		TBD	USE W/ CT-1
ACCESSORIES						
TR-1	TILE EDGE TRIM	SCHLUTER	QUADEC LINE		STAINLESS STEEL - EB	REFER INTERIOR ELEVATIONS & DETAILS
TR-2	CARPET - CONCRETE REDUCER	TARKETT	CTA-X-X-P		40 BLACK	
TR-3	TILE - CARPET TRANSITION	CERAMIC TOOL	CTC-38-CTS		ANODIZED ALUMINUM	

CASEWORK NOTES

- CONTRACTOR TO PROVIDE BLOCKING BEHIND ALL CABINETS, COAT HOOKS, TV LOCATIONS AS WELL AS ALL WALL MOUNTED ACCESSORIES, INCLUDING TOILET ROOM ACCESSORIES, ETC.
- ALL MILLWORK, STANDING & RUNNING TRIM, & CASEWORK WORK SHALL CONFORM TO THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY STANDARD FOR 'CUSTOM GRADE' UNLESS OTHERWISE NOTED.
- ALL MILLWORK & CASEWORK SHALL CONFORM TO ACCESSIBILITY REQUIREMENTS AS ADOPTED BY THE AIA.
- ALL MILLWORK & FINISH CARPENTRY FABRICATION SHALL BE FABRICATED FROM FIELD MEASUREMENTS W/ PROVISIONS FOR SCRIBING AS REQUIRED TO MEET FIELD CONDITIONS.
- INSTALL ALL CASEWORK & FINISHING CARPENTRY PLUMB, LEVEL, TRUE, & STRAIGHT W/ NO DISTORTIONS OR WARPS. PROVIDE SUPPORTS FOR COUNTERTOPS AS NECESSARY TO INSURE SECURE INSTALLATION.
- ADJUST CABINETWORK & HARDWARE SO DOORS & DRAWERS OPERATE SMOOTHLY & W/O WARP OR BIND. LUBRICATE OPERATING HARDWARE AS RECOMMENDED BY HARDWARE MANUFACTURER.
- ALL DOORS & DRAWERS SHALL BE ADJUSTED & ALIGNED.
- PROTECT ALL INSTALLED CASEWORK IMMEDIATELY AFTER INSTALLATION AGAINST SOILING & DAMAGE. REMOVE PROTECTION JUST PRIOR TO TENANT ACCEPTANCE & MOVE-IN TO CLEAN ALL SURFACES FOR TURNOVER.
- PROVIDE & INSTALL GROMMETS IN ALL MILLWORK AT SURFACES W/ WALL MOUNTED CONNECTIONS BELOW EXCEPT WHERE THE CONNECTION BELOW IS FOR UNDERCOUNTER EQUIPMENT. REFER INTERIOR ELEVATIONS & MILLWORK PLANS FOR COORDINATION.
- CASEWORK DIMENSION NUMBERS ARE WIDTH X HEIGHT X DEPTH.
- ALL CASEWORK DIMENSIONED FROM BASE TO TOP OF IDENTIFIED COUNTERTOP SURFACE, TYP.
- CABINET DEPTHS ARE MEASURED FROM THE WALL TO THE FACE OF THE DOOR OR DRAWER FRONT (WHERE APPLICABLE).
- PROVIDE BASE AT ALL CABINET TOE SPACE TO MATCH WALL BASE UNLESS OTHERWISE NOTED.
- PROVIDE FILLER PANELS TO INFILL SIDES & TOPS OF ALL CABINETS PLACED AT AN ANGLE TO ADJACENT WALLS & WHERE THE DOOR SWING IS ADJACENT TO A WALL.
- ALL CASEWORK TO BE FINISHED ON ALL EXPOSED SURFACES INCLUDING ENDS & KNEE SPACES.
- COORDINATE ALL EQUIPMENT CLEARANCE REQUIREMENTS PRIOR TO MILLWORK FABRICATION.

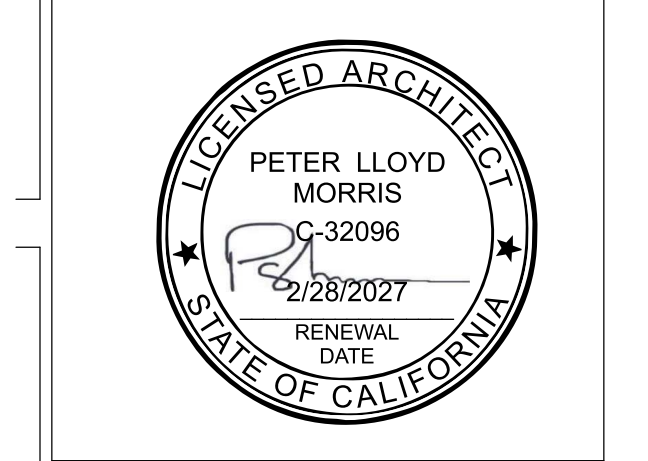
CASEWORK KEY LEGEND



KEYNOTES

- 500.15 STEEL BEAM PER STRUCTURAL - PROVIDE BLACKENED FINISH W/ CLEAR COAT
- 513.1 2"x2"x1/4" WALL MOUNTED TAPERED ANGLE COUNTERTOP SUPPORT - SPACED AT 48" O.C. MAX - COORDINATE W/ MILLWORK CONTRACTOR FOR FINAL QUANTITIES - BRACKETS SHALL BE PAINTED WHERE EXPOSED - REFER DETAILS
- 800.0 SCHEDULED DOOR & FRAME - REFER DOOR SCHEDULE
- 821.0 GL-1, BULLET PROOF GLAZING SYSTEM
- 1001.0 SIGNAGE - BUILDING - REFER SIGNAGE SCHEDULE
- 1202.0 PLASTIC LAMINATE COUNTERTOP - REFER DETAILS & FINISH LEGEND
- 1209.0 PLASTIC LAMINATE CASEWORK - REFER DETAILS & FINISH LEGEND
- 2606.0 ELECTRICAL WALL DEVICE - REFER ELECTRICAL DRAWINGS
- 2609.1 EXIT SIGN - WALL MOUNTED - REFER ELECTRICAL DRAWINGS

TWIN SISTERS ARCHITECTURE
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TOURO UNIVERSITY
ENTRY GUARDHOUSE
TALOS AVENUE

1310 CLUB DRIVE - MARE ISLAND
VALLEJO, CA 94592
ISSUED FOR PLANNING DESIGN REVIEW

REV	DATE	REMARKS
1	8/22/24	100% SCHEMATIC DESIGN
2	8/14/25	PLANNING DESIGN REVIEW

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1310 CLUB DRIVE MARE ISLAND
VALLEJO, CA 94592

INTERIOR ELEVATIONS

DATE: 8/22/24
JOB NO.: 23-296

A420