



**VALLEJO PLANNING COMMISSION
PLANNING COMMISSION &
ARCHITECTURAL HERITAGE AND
LANDMARKS COMMISSION SPECIAL
JOINT MEETING 7:00 PM**

JANUARY 29, 2026

HYBRID MEETING
www.Cityofvallejo.net

**Council Chambers
555 Santa Clara Street
Vallejo, CA 94590**

COMMISSIONERS

Planning Commission
Anthony Taylor, (Chair)
Donald Douglass, (Vice-Chair)
Phillip Balbuena
Eric Blind
Tara Beasley-Stansberry
Wanda Madeiros
Chris White
Architectural Heritage and
Landmarks Commission
Angela McDonald, (Chair)
Tanya Hall, (Vice-Chair)
Braulio Soto
Jared Chacon
Ann Adams
Brendan Riley
VACANT

<p>NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom</p>	<p>City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.</p>
<p>PUBLIC COMMENT: Members of the Public may provide public comments during the City Council Meeting in person or via ZOOM (https://ZoomRegular.Cityofvallejo.net), or via phone, by dialing (669) 900-6833.</p>	<p>For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment</p>
<p>VIEW THE MEETING: There are four different ways you can view this public meeting:</p> <ul style="list-style-type: none"> • In Person • Watch Vallejo local channel 28 • Stream from the City website: www.cityofvallejo.net/Streaming • Join the Zoom webinar: https://ZoomRegular.Cityofvallejo.net 	<p>Scan QR code for live captions and translation in Spanish and Tagalog.</p> <div align="center">  </div>
<p align="center">Hybrid Options are available for members of the public to participate. To participate remotely</p>	
<p><u>Option to Join by Computer</u> From your browser go to https://ZoomRegular.CityofVallejo.net to launch and join the zoom application. Meeting ID: 914 0075 0676# Meeting Password: 131313</p>	<p><u>Option to Join by Phone</u> Dial (669) 900-6833 Enter Meeting ID: 914 0075 0676# Meeting Password: 131313 Press *9 to digitally raise your hand from the phone. Press *6 to unmute/mute</p>
<p>Any supplemental writing related to an agenda item for an open session of a regular meeting that is distributed to all or a majority of all members of the Commission less than 72 hours before the meeting will be posted concurrently on the City’s website at www.cityofvallejo.net/agendas Written material distributed during the meeting, will be available at the meeting if prepared by the City or after the meeting if prepared by someone else. Such materials may be obtained from the Commission Secretary</p>	



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AGENDA

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **PUBLIC HEARING**
 - A. **HOLD A JOINT SPECIAL PUBLIC HEARING BETWEEN THE PLANNING COMMISSION AND THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION TO CONSIDER ADOPTING: 1) A RESOLUTION, BY THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION, APPROVING A CERTIFICATE OF APPROPRIATENESS (COA23-0005); AND 2) A RESOLUTION, BY THE PLANNING COMMISSION, APPROVING A USE PERMIT (UP18-0002), DEVELOPMENT REVIEW AND LANDSCAPE REVIEW, (PLN25-0103), FOR AN EVENT CENTER IN THE FORMER FEDERAL BUILDING LOCATED AT 823 MARIN STREET (APN: 0056-161-040)**

Project Summary: The project proposes the establishment of an event center within a building designated as a historic landmark known as the Federal Building. Events would be held on the main floor of the building only, which includes approximately 7,168 square feet of floor area able to accommodate an occupancy of approximately 175 people. Available daily rental hours for events are proposed between 6:00 a.m. and 12:00 a.m. In addition to establishing the new facility, the project includes site improvements such as the installation of two Americans with Disabilities Act (ADA)–compliant entry doors at the main entrance, drought-tolerant landscaping throughout the site, and a new trash enclosure. The project also includes a request to reduce the required number of off-street parking spaces from 90 to the existing 21 equivalent spaces.

Location: 823 Marin Street / APN:0056-161-040
Applicant: Elin Delgadillo
Owner: Luis and Leticia Delgadillo
General Plan Land Use Designation: Neighborhood Corridor

Zoning District:
CEQA:

Neighborhood Mixed-Use

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15301 (Class 1, "Existing Facilities"), Section 15303 (Class 3, "New Construction or Conversion of Small Structures") and Section 15331 (Class 31 "Historic Resource Restoration/Rehabilitation") of the CEQA Guidelines.

5. ADJOURNMENT

ADDITIONAL CITY INFORMATION

Members of the public can:

- Like us on Facebook and Instagram ([@cityofvallejo](#))
- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/subscribe)
- Sign up for emergency alerts at: alertsolano.com

I, Dalia Vidor, Staff Secretary do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to

Planning Commission
Anthony Taylor, (Chair)
Donald Douglass, (Vice-Chair)
Phillip Balbuena
Eric Blind
Tara Beasley-Stansberry
Wanda Madeiros
Chris White
Architectural Heritage and Landmarks Commission
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VACANT,

at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 11:30 AM, January 26, 2026.

Dated: January 26, 2026

Dalia Vidor

Dalia Vidor, Staff Secretary



**STAFF REPORT – PLANNING
CITY OF VALLEJO
PLANNING COMMISSION**

DATE: January 29, 2026
TO: Planning Commission
FROM: Laura Solomon, Associate Planner
SUBJECT: **HOLD A JOINT SPECIAL PUBLIC HEARING BETWEEN THE PLANNING COMMISSION AND THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION TO CONSIDER ADOPTING: 1) A RESOLUTION, BY THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION, APPROVING A CERTIFICATE OF APPROPRIATENESS (COA23-0005); AND 2) A RESOLUTION, BY THE PLANNING COMMISSION, APPROVING A USE PERMIT (UP18-0002), DEVELOPMENT REVIEW AND LANDSCAPE REVIEW, (PLN25-0103), FOR AN EVENT CENTER IN THE FORMER FEDERAL BUILDING LOCATED AT 823 MARIN STREET (APN: 0056-161-040)**

PROJECT INFORMATION

Project Summary:

The project proposes the establishment of an event center within a building designated as a historic landmark known as the Federal Building. Events would be held on the main floor of the building only, which includes approximately 7,168 square feet of floor area able to accommodate an occupancy of approximately 175 people. Available daily rental hours for events are proposed between 6:00 a.m. and 12:00 a.m. In addition to establishing the new facility, the project includes site improvements such as the installation of two Americans with Disabilities Act (ADA)–compliant entry doors at the main entrance, drought-tolerant landscaping throughout the site, and a new trash enclosure. The project also includes a request to reduce the required number of off-street parking spaces from 90 to the existing 21 equivalent spaces.

Location: 823 Marin Street / APN:0056-161-040

Applicant: Elin Delgadillo

Owner: Luis and Leticia Delgadillo

General Plan Land Use Designation: Neighborhood Corridor

Zoning District: Neighborhood Mixed-Use

CEQA: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15301 (Class 1, “Existing Facilities”), Section 15303 (Class 3, “New Construction or Conversion of Small Structures”) and Section 15331 (Class 31 “Historic Resource Restoration/Rehabilitation”) of the CEQA Guidelines.

RECOMMENDATION

Staff recommend the Planning Commission and the Architectural Heritage Landmark Commission hold a joint public hearing and then take the following actions:

Subject: HOLD A JOINT SPECIAL PUBLIC HEARING BETWEEN THE PLANNING COMMISSION AND THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION TO CONSIDER ADOPTING: 1) A RESOLUTION, BY THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION, APPROVING A CERTIFICATE OF APPROPRIATENESS (COA23-0005); AND 2) A RESOLUTION, BY THE PLANNING COMMISSION, APPROVING A USE PERMIT (UP18-0002), DEVELOPMENT REVIEW AND LANDSCAPE REVIEW, (PLN25-0103), FOR AN EVENT CENTER IN THE FORMER FEDERAL BUILDING LOCATED AT 823 MARIN STREET (APN: 0056-161-040)

1. Architectural Heritage Landmark Commission find the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3, "New Construction or Conversion of Small Structures") and Section 15331 (Class 31 "Historic Resource Restoration/Rehabilitation"), and approve a Certificate of Appropriateness (COA23-0005) subject to conditions of approval provided in the attached Resolution; and
2. Planning Commission find the project to be exempt from CEQA pursuant to CEQA Guidelines Section 15303 (Class 3, "New Construction or Conversion of Small Structures"), and Section 15331 (Class 31 "Historic Resource Restoration/Rehabilitation"), and approve a Use Permit, Development Review and Landscape Review (UP18-0002, PLN25-0103) subject to conditions of approval provided in the attached Resolution.

ATTACHMENTS

1.	Staff Report
2.	Recommended Resolution - AHLC
3.	Exhibit B - Historic Impact Analysis
4.	Recommended Resolution - PC
5.	Exhibit B - General Plan 2040 Policies
6.	PC Reso Exhibit C - Supporting Tables Event Center
7.	Project Plans
8.	Business Plan
9.	ParkingStudy
10.	GDG Sound Analysis

CONTACT

Laura Solomon - Associate Planner
707-648-5391
laura.solomon@cityofvallejo.net

BACKGROUND AND DISCUSSION

In September 1933, the existing building was constructed on the subject property to serve as the first Vallejo Post Office. In 1968, the building was remodeled and converted into a federal building which housed a variety of Federal offices/services including a local Social Security office, Civil Service Commission, FBI, and IRS offices. In March 2003, the City of Vallejo Architectural Heritage Landmark Commission designated the subject site as a landmark. In early 2011, the subject property was vacated, and it has remained vacant since that time.

On February 18, 2018, Elin Delgadillo, the applicant, on behalf of The Postmark Hall, LLC, and the property owner, formally submitted an application for a Minor Use Permit requesting to convert the former 'Federal Building' (which is still vacant) into an event center with on-site alcohol service allowed subject to individual hosts licensing.

On May 10, 2023, the applicant modified the application with a request for a Certificate of Appropriateness to facilitate review of exterior modifications to the historic landmark building, including primarily, the replacement of certain windows with American Disabilities Act (ADA) compliant doors.

On May 20, 2025, the applicant modified the application again with a request for a Development Review, Landscape Review and Minor Use Permit (subsequently converted to a Major Use Permit by the Director, see 'Required Entitlements' section below for more details) to facilitate review of site improvements including parking lot improvements, a new soundwall along the western property line, and a new trash enclosure; landscape rehabilitation including the installation of new drought-tolerant landscaping throughout the site; and a request for reduction of required off-street parking spaces from 90 to 21 equivalent spaces. The full project was routed to various city departments and outside agencies for their review, and the application was deemed complete for processing on June 20, 2025.

Location, Land Use Context & Existing Conditions

The project site is located at 823 Marin Street, between Carolina Street and Capitol Street and is within the Saint (St.) Vincents Hill Historic District. The site is surrounded by existing residential and commercial uses with Carolina Street to the north, with commercial and residential uses on the other side, Marin Street to the east, with commercial and residential uses on the other side, Kissel Alley, with commercial and residential uses to the south, and residential uses to the west on the other side of the site's existing parking lot (see Figure 1).

State Route 29/Sonoma Boulevard (SR-29) is located approximately 0.1 miles to the east and State Route 37 (SR-37) is located approximately 1.6 miles to the north. Each provides regional access to the site, while Marin Street, Carolina Street and Kissel Alley provide direct access to the site. The site's General Plan 2040 land use designation is Neighborhood Corridor (NC), and the zoning is Neighborhood Mixed-Use (NMX) District, which is consistent with the NC General Plan land use designation.

As previously mentioned, the subject property was originally constructed as a post office and was later converted to a federal building; however, it is currently vacant. The 26,000 square foot parcel slopes upward toward the northwest. The south end of the building is one story over a raised basement; at the north end the main building level is partially below grade. The symmetrical 10,064 square foot building is characterized by a restrained and modernistic interpretation of Art Deco known as Starved Classicism. It is nearly square in plan, with the main (west) façade and rear elevation slightly longer than side elevations. The building is steel frame and concrete construction and clad in buff brick set in English bond. It has a flat roof with parapet. The foundation and wide main entrance steps are stone, as are the built-in planters that flank the steps. The steps have simple metal handrails that appear to have been installed within a decade of original construction. The terra-cotta cornice and frieze are adorned with zigzag and starburst motifs; incised lettering between them reads United States Post Office. Below the frieze, heavy stylized pilasters divide the central main façade into seven deeply recessed bays. The center bay has fully glazed aluminum-frame replacement doors topped with a transom fitted with multiple-light steel sash in a geometric pattern (originally, there were entrances in the three center bays). The other openings are fitted with steel windows in the same pattern as the transoms. Smaller windows at either end of the façade are framed with decorative patterns executed in brick and fitted with the same type of decorative steel windows. Postal Service mottos are incised into walls below main façade windows (see Figure 2 below for a picture of the current façade).

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Figure 1 – Location Map



Figure 2 – Existing Conditions



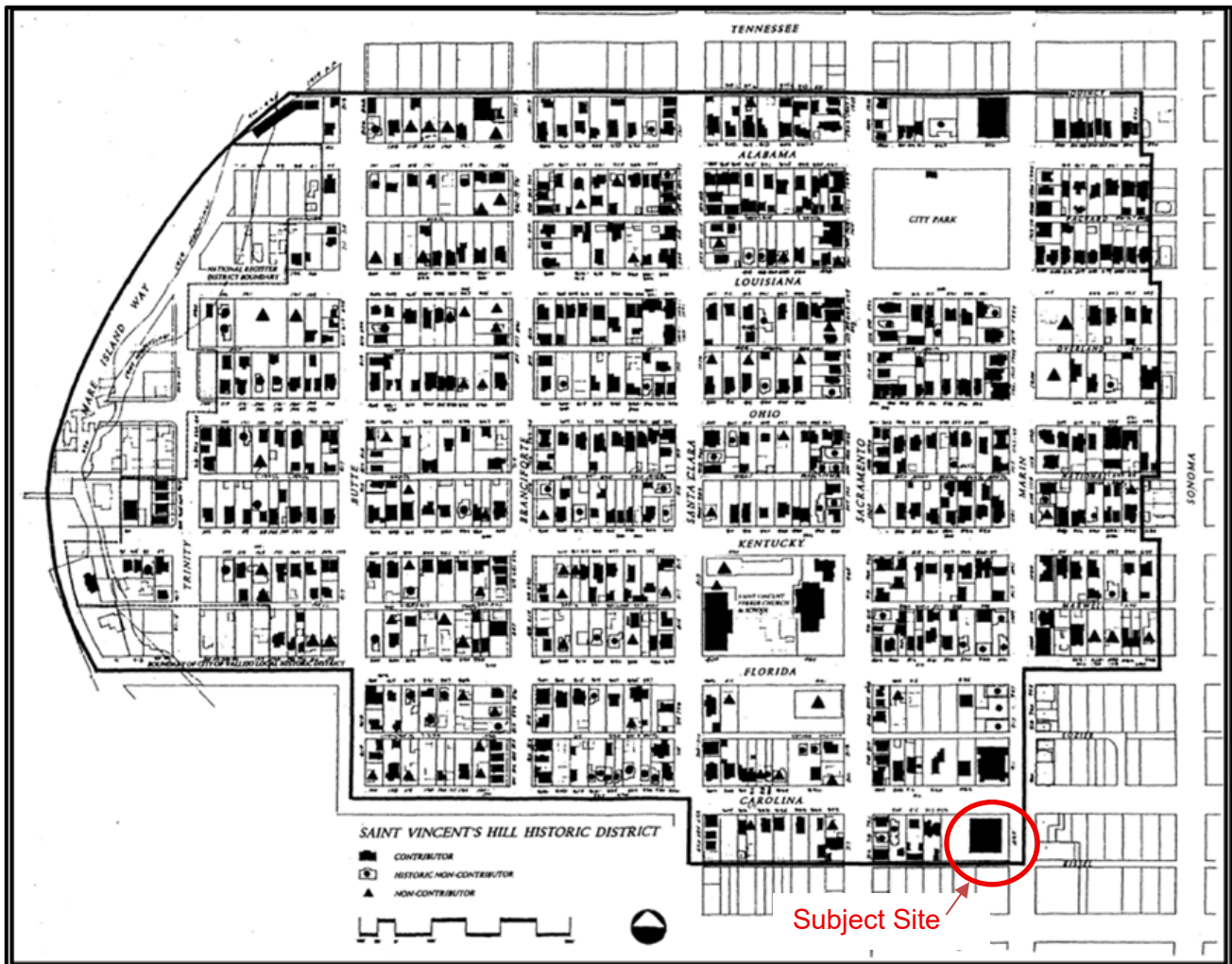
St. Vincent's Hill Historic District

The subject property is located within the St. Vincent's Hill Historic District, which was formally listed in the National Register of Historic Places as the Vallejo Old City Historic District in 2003. The district is generally bounded by Mare Island Way and Butte Street to the west, Marin Street, and properties adjacent to Sonoma Boulevard to the east,

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Quincy Alley to the north and Florida Street, Carolina Street and Kissel Alley to the south (see figure 3). The district is comprised of mid-nineteenth to late-twentieth century residences, including examples of the Greek & Gothic Revival, Vernacular; Late Victorian such as Italianate, Queen Anne, Eastlake, Shingle Style; along with Colonial Revival, Tudor Revival, Mission, Craftsman, Prairie, and Art Deco Styles. The period of significance is from 1868 to 1947.

Figure 3 – Saint Vincent’s Historic District Boundary Map



Project Description

The proposed project consists of a request to establish an events center within the vacant building. Use of the

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facility would be allowed during the hours of 6 a.m. to 12 a.m., seven days a week, with an expected average event length of 6 hours per event. Events would be held on the 7,168 square-foot main floor that is accessible from Marin Street through a 1,231 square-foot lobby area. The 4,470 square-foot basement level of the building, made up of storage rooms and a manager's office, would be restricted from patrons and would only be accessible by facility staff. The event space would be of sufficient size to accommodate approximately 175 people per event, and on-site security would be required for each event to ensure appropriate safety. As described in the applicant's business plan (see Attachment 3), individual event hosts would be allowed to serve alcoholic beverages on-site during events only if they obtain proper licensing from the California Department of Alcoholic Beverage Control (ABC) and follow the procedures outlined in Section 4 of the business plan, which include serving procedures and enhanced on-site security requirements for each event.

To accommodate future events, a new 135 square-foot trash enclosure is proposed to be constructed along the south property line facing Kissel Alley. Site improvements proposed include re-stripping and partial resurfacing of the existing parking lot, replacement of existing exterior stairs at the northwest corner of the building with code-compliant stairs, creation of one new ADA parking space within the parking lots, installation of an ADA-compliant lift in the rear loading dock, construction of a sound wall between the rear parking area and adjacent residential uses, reconfiguration of existing perimeter security fencing with new gates to accommodate the new parking layout and new stairs, and removal of deteriorated 'Federal Building' signage in order to restore the original United States Post signage. Also, all exterior doors are proposed to be replaced. The main entrance door (along Marin Street) is proposed to be replaced with a two-door aluminum panel door with a satin anodized finish, the two adjacent windows would be replaced with single door aluminum panel doors with anodized finished, and the basement door accessible from Kissel Alley would be replaced with a new hollow metal door. Finally, the project proposes a total of 21 equivalent off-street parking spaces (20 standard spaces and 4 motorcycle parking spaces). A request is being made to reduce the required off-street parking spaces from 90 to 21.

Proposed on-site landscaping enhancements include rehabilitation of 5,979 square feet of existing planting areas with new drought-tolerant landscaping. The landscaping palette would be made up of trees, shrubs, perennial, ground cover, and ornamental grasses. A total of nine new trees would be planted along Marin and Carolina Streets and two would be installed along Kissel Alley. New light fixtures would also be installed at the entrance of the building, along pathways, and on entrance stairs, and within the parking lot.

Required Entitlements & Findings

The project requires a Minor Use Permit¹ for: 1) establishing an events center, or "community assembly" use as defined by the Vallejo Municipal Code (VMC), greater than 5,000 square feet, and 2) the request for the reduction of required off-street parking spaces. Development Review² is required for the on-site improvements. A Certificate of Appropriateness³ is required for the façade alteration, due to the property being a designated historic landmark.

Vallejo Municipal Code (VMC) Section 16.606.02: Procedures – Minor Use Permit states, "*the director shall review, approve, conditionally approve, or deny an application for a minor use permit based on consideration of the requirements of this chapter. The director may, at his/her discretion, refer any application for a minor use permit for*

¹ VMC Chapter 16.606 – Minor and Major Use Permits

² VMC Chapter 16.605 – Development Review

³ VMC Chapter 16.614 – Certificate of Appropriateness

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a project the director determines may generate substantial public controversy or involve significant land use policy decisions to the planning commission for a decision. In that case, the application must be processed as a major use permit." In accordance with the VMC, the director has referred the application for the minor use permit to the Planning Commission and as such, it will be processed as a Major Use Permit.

VMC Table 16.614-A: Review Authority and Public notice states, "*alterations to buildings within the historic district require secretary review, unless the alteration is visible from the street and [then it] shall be reviewed by the Architectural Heritage and Landmarks Commission.*"

Since the full project requires approval from two separate hearing bodies, a joint public hearing is being held, which will be followed by: 1) an action from the Architectural Heritage and Landmarks Commission on the Certificate of Appropriateness, and then 2) an action by the Planning Commission on the Major Use Permit, Development Review, and Landscape Review. In addition, and subsequent to these entitlements, this project would also require a building permit(s) from the City of Vallejo.

A. Certificate of Appropriateness Findings (Architectural Heritage and Landmarks Commission)

VMC Section 16.614.09 (E), requires the review authority to make the applicable findings prior to granting the Certificate of Appropriateness:

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the historic district or landmark.
2. For projects located in a historic district, the proposed project is consistent with any conservation plan or specific plan adopted for the historic district.
3. For projects that require demolition, the architectural heritage and landmarks commission shall also find, as applicable:
 - a. It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost.
 - b. The retention of the structure constitutes a hazard to public safety.
 - c. The structure is a deterrent to a major improvement program which substantially benefits the city.
 - d. Retention of the structure in the judgment of the commission is not in the interest of the majority within the historic district.
 - e. Conditions of Approval. The director may impose or recommend that the architectural heritage and landmarks commission impose, such conditions in a certificate of appropriateness that are necessary to accomplish the purposes of this code and prevent or minimize adverse impacts upon the public. These conditions shall run with the land and not be affected by a change in ownership.

B. Use Permit Findings (Planning Commission)

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VMC Section 16.606.03 (Required Findings), requires that the approving authority make the following findings prior to granting a use permit establishing a community assembly use greater than 5,000 square feet:

1. The proposed use is conditionally allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning Code and all other titles of the Vallejo Municipal Code.
2. The proposed use is consistent with the General Plan and any applicable Specific Plan or Planned Development and any other applicable plans.
3. The subject parcel is physically suitable for the type of land use being proposed.
4. The proposed use is compatible with existing and permissible land uses within the zoning district and the general area in which the proposed use is to be located which may include but not be limited to size, intensity, hours of operation, number of employees, or the nature of the operation.
5. The physical location or placement of the use on the site is compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.
6. The proposed use and related project features will not create any nuisances arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding ambient conditions and would not otherwise be detrimental to the public interest, health, safety, or general welfare.
7. The project has been reviewed in compliance with the California Environmental Quality Act (CEQA), if applicable, and the requirements of this Chapter.

VMC Section 16.508.14.B (Modification and Reduction of Parking Requirements) requires that the approval authority make the following findings in order to waive or reduce the requirement for off-street parking.

1. The parking requirement modification will meet the purposes of the district related to improvement and support for mixed-use development, alternative transportation, pedestrian improvements and activity, or similar policies; **and**
2. The use is located one-half mile or less from a transit corridor; **or**
3. The use is located one-quarter of a mile or less from a publicly accessible parking facility, the use of which is not limited to a specific business or activity during the use's peak parking demand; **or**
4. A parking [study] conducted under procedures set forth by the planning department finds that within five hundred feet or less of the use, on non-residential streets, at least two times the number of spaces requested for reduction are available through on-street parking spaces for at least two of the four hours of the use's peak parking demand; **or**
5. The proposed development includes at least twenty percent affordable housing units and at least fifty percent of the ground floor is occupied by any of the following neighborhood-serving uses: food and beverage retail sales, food service establishments, and/or personal/household service(s). These uses include, but are not limited to: dry cleaning and laundry agents, drug stores, food products stores, household items repair shops, and/or laundromats; **or**
6. There are other factors, such as alternative TDM strategies or trip-reduction programs in place, that will reduce the parking demand generated by the use.

C. Development Review Findings (Planning Commission)

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VMC Section 16.605.03 requires the Review Authority to make findings with regard to the project prior to granting the Development Review. Specifically, that the project:

1. Complies with all applicable specific standards and criteria of this Zoning Code;
2. Is consistent with the general plan and any applicable approved specific plan or planned development;
3. Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a major or minor use permit, variance, specific plan, planned development, or tentative map applicable to the project or the location where it is proposed;
4. Is in substantial compliance with any applicable adopted design guidelines;
5. Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;
6. Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area; **and**
7. That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.

STAFF ANALYSIS

- A. Staff believes that the Architectural Heritage and Landmarks Commission can make all the applicable **Certificate of Appropriateness** findings listed above. A summary of staff's analysis is included below, with specific analysis associated with each required finding, including recommended statements of fact, incorporated into the attached Resolution (Attachment 1 of this report).

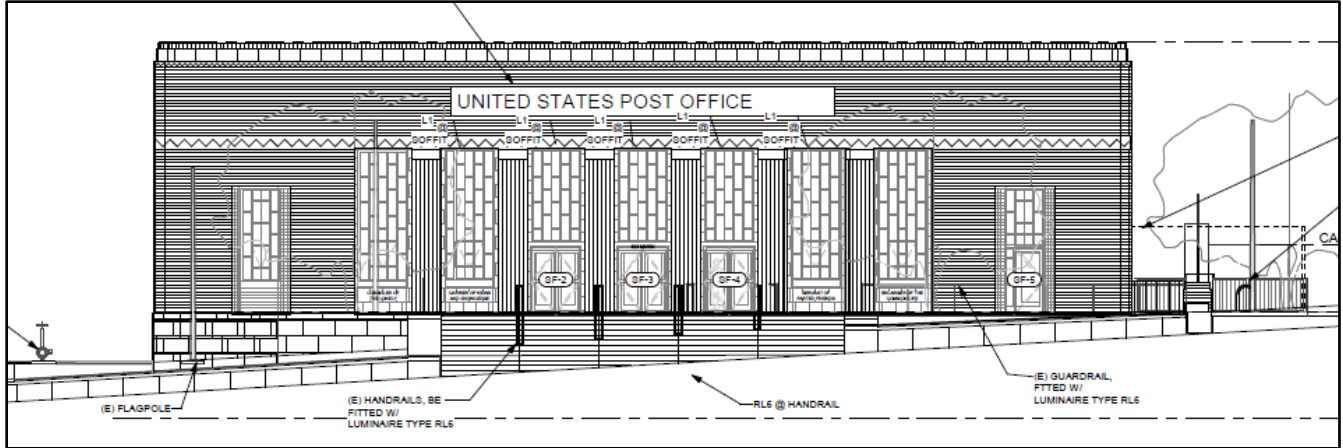
Code Compliance:

1. Architectural Analysis (Entry Door Changes)

The project includes replacement of the non-functional entryway doors along Marin Street, with a two-door aluminum panel door system with a satin anodized finish, and the two adjacent windows would be replaced with single door aluminum panel door systems with an anodized finish. (See Figure 3 and Figure 4). The project also proposes removal of the deteriorated 'Federal Building' signage in order to restore the original United States Post signage which was integral to the original building façade and still exists underneath.

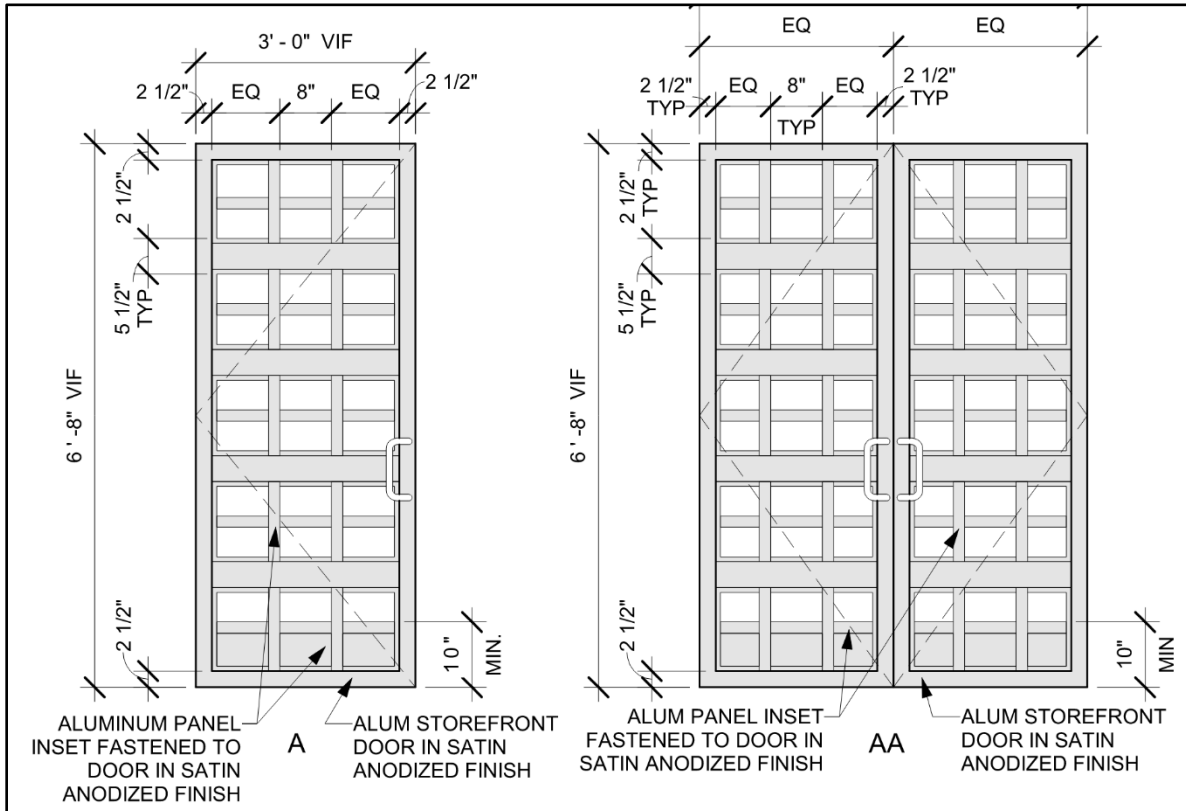
Figure 3 – Proposed Door Systems & Restored Signage

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Figure 4 – Proposed Door Details



To ensure the exterior modifications to the historic landmark are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and no defining features would be altered, the City of Vallejo contracted with Kara Brunzell, from Brunzell Historical LLC, to prepare a technical analysis (Exhibit B to the AHLC Resolution [Attachment 1]) to ensure consistency. According to the analysis, previous documentation related to the site did not include a list of character-defining features, nor a formal period of significance. The official period of significance would have begun with the construction of the building in 1933, and ended in 1968, when it was abandoned as a post office. Thus, alterations to the building performed after 1968 would not qualify as character-defining. Based on review of previous documentation, along with a field visit and the preparer's familiarity with the National Registration of Historic Places for eligible post offices, the character defining features of the subject property include the following components (also see figure 4):

- Simple geometry of the building's symmetrical massing.
- Flat roof and nearly square plan.

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-
- Primary and side facades divided into bays aligning with stylized stone pilasters.
 - Wide main façade entrances stairs.
 - Stone foundation and carved cornerstone.
 - Cornice and frieze with zigzag and starburst motifs formed of terracotta.
 - Polychrome brick cladding in Flemish bond with decorative brickwork in geometric motifs.
 - Large terracotta panels bearing postal slogans below main façade windows.
 - Tall window openings fitted with steel sash in a decorative multiple-light pattern on east, west, and north façades.
 - Incised postal slogans below main facade windows.
 - Original rear loading dock.
 - Decorative features carried around to all four sides of the building.
 - Interior lobby decorative features, including wood to ceiling, wood trim, mural, and tall tables.

Figure 5 – Historic Photo of Front façade



The Secretary of the Interior's Standards for the Treatment of Historic Properties provide guidelines for the preservation and rehabilitation of historic resources. Adherence to these standards is accepted as a

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method of avoiding significant effects on historic buildings while allowing their continued use. According to this analysis, Rehabilitation Standards No. 1 through 10 apply to the project and are analyzed as follows:

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

The property was originally used as a post office and is currently vacant. Its proposed new use as an event center will require no alterations to its distinctive materials, features, spaces, or spatial relationships. Therefore, the proposed project conforms to Standard 1.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

The proposed project includes minimal changes to the building and will not have a negative impact on the historic character of the property. The property's character-defining features, such as its plan, form, massing, style, materials, and decorative features including geometric exterior ornament executed in terra-cotta and interior lobby features will be preserved. Therefore, the proposed project conforms to Standard 2.

3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed project includes minimal changes to the building entry doors, which will not substantially impact on the existing building facade. To avoid creating a false sense of historical development, no conjectural historic architectural details, nor conjectural features from other buildings, will be utilized in the project. Therefore, the proposed project conforms to Standard 3.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

There are no changes to the property that have acquired historic significance in their own right; therefore Standard 4 does not apply to the proposed project.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The distinctive materials, features, finishes, and examples of craftsmanship that characterize the building as described in detail above will be preserved; no historic fabric will be removed from the exterior façades or the interior lobby. Therefore, the proposed project conforms to Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in*

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design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

As mentioned above, the project includes removal of the deteriorated 'Federal Building' signage on the main façade in order to restore the original United States Post signage (which was integral to the original building façade) and still exists underneath. Other historic features of the building such as exterior brick and terra-cotta appear to be in good condition. The project does not propose replacement of distinctive features. Therefore, the project is in compliance with Rehabilitation Standard No. 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No chemical treatments will be utilized. If physical treatments (such as cleaning of exterior brick surfaces) are required, the gentlest means possible will be used. No sandblasting or other treatments that cause damage to historic materials will be used. Therefore, the proposed project conforms to Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The proposed project does not include excavation of any previously undisturbed areas. Therefore, the proposed project conforms to Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed project includes *exterior alteration to the existing doors which were replaced when the building was renovated to be a Federal Building. The entryway doors and windows are to be replaced with three ADA compliant door systems in a design to match the original doors, which will not destroy historic materials.* Therefore, the proposed project conforms to Standard 9.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed project elements, such as new entryway doors, trash enclosure, and parking lot grading for ADA compliance, do not include changes to the historic features of the building and would not be constructed in a manner that would impair the essential form and integrity of the historic property, should they be removed in the future. Therefore, the proposed project conforms to Standard 10.

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The replacement of the non-functional entryway doors and two windows with three ADA compliant door systems would reestablish the historical function of three entryways into the building without altering any of the character defining features. The new use for the vacant building would allow local residents to regain access to a public building that has been vacant for many years. Utilization of the property as an event venue would also provide a financial incentive for its ongoing maintenance, repair, and restoration. The project therefore conforms to the Secretary of the Interior's Standards for the Treatment of Historic Properties.

St. Vincent's Historic District

As mentioned above, the St. Vincent's Historic District is characterized by mid-nineteenth to late-twentieth century residences, including examples of the Greek & Gothic Revival, Vernacular; Late Victorian such as Italianate, Queen Anne, Eastlake, Shingle Style; along with Colonial Revival, Tudor Revival, Mission, Craftsman, Prairie, and Art Deco Styles. The period of significance within the District is from 1868 to 1947. Within the NRHP historic district nomination form, which was prepared by Historic Architect Judy Irvin on behalf of the St. Vincent's Hill Neighborhood Association, the subject property was specifically mentioned and described as follows:

"This large rectangular building with a flat parapet roof is constructed of buff brick and decorative terra cotta and rests on a plinth of large stone blocks. A wide continuous terra cotta frieze band with chevrons at the top surrounds the building. A second continuous terra cotta frieze band with chevrons is located at the top of the tall window openings. All four corners have stepped brick zigzag edges. The symmetrical facade has a group of seven impressive tall openings including three sets of double doors with transoms overextending to a two-story overall height flanked on each side by two windows with similar muntins. Transoms and the four flanking windows have steel muntins in a vertical running bond pattern. U.S. Post Office mottos are incised in the panels below the facade windows. The central windows and doors are separated by wide flat fluted terra cotta panels suggesting Beaux Arts Corinthian columns. Steel sash windows on the sides of the buildings are similarly divided by columns. A monumental staircase of gray stone is adjusted to the slope of Marin Street and has four free standing steel and bronze handrails. The bricks on the sides of the openings for windows and doors on the corners of the building step inward in a zigzag pattern. A utilitarian shed roof loading dock is located at the rear of the building. A handsome WPA tile mural is located in lobby entitled, "Festival Following the Completion of the Dry Docks, Mare Island, 1885" designed by Earl Barnett and executed by Gladding & McBean, a noted California manufacturer of decorative terra cotta. Although the interior has been altered, this building is a superb example of WPA civic projects that provided work for talented architects, designers and artists during the Great Depression."

Since the proposed project includes no changes to any of the historic character defining features, and only minimal façade modifications including replacement of the non-functional entryway doors and two windows with three ADA compliant door systems in order to reestablish the historical function of three

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entryways into the building, staff has concluded that the proposed project will remain consistent with the Historic District.

- B. Staff believes that the Planning Commission can make all the applicable **Use Permit and Development Review** findings listed above. A summary of staff’s analysis is included below, with specific analysis associated with each required finding, including recommended statements of fact, incorporated into the attached Resolution (Attachment 2 of this report).

Code Compliance

1. General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is Neighborhood Corridor (NC). The General Plan characterizes this designation as follows:

The NC designation is intended to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multifamily developments, retail, personal and automotive services, professional offices, community facilities, and other uses conducted primarily inside of buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The maximum permitted FAR in the NC designation is 2.0, with minimum residential density of 18 dwelling units per acre up to 30 dwelling units per acre.

The project is consistent with the NC designation in that it would create an events center that can be used by local and regional residents, create a mixed-use environment, and is consistent with applicable General Plan 2040 policies and actions, as listed in Table 1 below.

Table 1 - General Plan 2040 Policies and Actions	
<p>Policy NBE-1.10: Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.</p>	<p><i><u>Facts in support:</u> The proposed project will reuse a historic building and rehabilitate the entryways. The project proposes to preserve all character-defining exterior architectural features as well as the character-defining interior lobby, as described above, which are original to the building.</i></p>
<p>Policy NBE-1.11: Historic Districts. Preserve the integrity of the City’s historic districts, including downtown, as physical changes occur within them.</p>	<p><i><u>Facts in support:</u> This project supports the preservation and reuse of a City Landmark within the St. Vincents Historic District. The project would also provide a new use for the currently vacant space, allowing local residents to regain access to a public building that has been vacant for many years. Utilization of the property as an event venue would</i></p>

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	<i>revitalize the building and help to provide for its ongoing maintenance, repair, and restoration.</i>
<p>Policy NBE-1.12: Historic Preservation. Promote community awareness of the benefits of historic preservation.</p>	<i><u>Facts in support:</u> Due to the high-profile and visibility of this project, it would promote community awareness of the historic building, as well as the connection between this historic resource and the economic well-being of the community by giving new purpose to a vacant building and incentivizing other property owners to also invest in rehabilitation.</i>
<p>Policy EET-1.3: Visitor Destination. Make Vallejo an important visitor destination in the bay area.</p>	<i><u>Facts in support:</u> The proposed use of an event space would attract visitors and businesses to utilize this City Landmark and support further development of downtown.</i>
<p>Policy EET-1.5: Arts and Entertainment. Foster a vibrant local arts community to strengthen Vallejo's position as a regional destination for arts and entertainment.</p>	<i><u>Facts in support:</u> The project would provide a new venue for arts and entertainment activities, community events, festivals, and other types of events.</i>
<p>Policy CP-3.8: Recreational and Cultural Facilities. Encourage recreational and cultural venues in neighborhoods, corridors, urban villages, and downtown, including private commercial recreational facilities, to complement activities and programs provided by GVRD.</p>	<i><u>Facts in support:</u> This project would create a new cultural venue within a Neighborhood Corridor within the St. Vincents Historic District. The project would allow the public to access this City Landmark, offering an opportunity to rent the historic building and grounds to host events.</i>

2. Zoning Code Compliance

The project site is zoned Neighborhood Mixed-Use (NMX). The Zoning Code provides the following description of the NMX zoning district:

The NMX Zoning District is intended to create and establish regulations for neighborhood-serving mixed-use areas along the primary commercial corridors of Tennessee Street, Solano Avenue, Springs Road,

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Broadway, Sonoma Boulevard as well as other areas. Design and development standards will ensure that development at neighborhood nodes, as identified in the General Plan, is appropriately scaled to ensure the physical form relates to and does not overwhelm adjacent single-family residential neighborhoods.

VMC Table 16.102-A: Zoning Districts provides that the NMX Zoning District implements the NC General Plan Land Use Designation. VMC Table 16.301 – A: Land Use Regulations provides that “Community Assembly, Large” is permitted through the approval of a Minor Use Permit and subject to the additional development standards found in VMC Chapter 16.313 – Community Assembly. Since the project has been forwarded to the Planning Commission, the request will be processed as a Major Use Permit.

Development Standards

The proposed project was reviewed against applicable development standards found in the following sections:

- VMC Chapter 16.203 – NMX Zoning District,
- VMC Chapter 16.313 – Community Assembly
- VMC Section 16.501.08 – Solid Waste, Recycling, and Organic Waste Storage
- VMC Section 16.504 – Landscaping
- VMC Section 16.508 – Off-Street Parking and Loading

See Table 2 below for a detailed compliance review.

Table 2 – NMX Applicable Development Standards			
Development Standard		Proposal	Compliant
<i>VMC Chapter 16.203 (Table 16.203-A) – NMX District</i>			
<i>Minimum Lot Size</i>	<i>5,000 sq.ft.</i>	<i>26,000</i>	<i>Yes</i>
<i>Minimum Lot Width</i>	<i>50 feet</i>	<i>140 feet</i>	<i>Yes</i>
<i>Maximum Non-Residential Floor Area Ratio</i>	<i>2.0</i>	<i>45.9% to 52%</i>	<i>Yes</i>
<i>Minimum Setbacks</i>	<i>Front: 0 feet</i>	<i>No change to existing</i>	<i>Yes</i>
	<i>Interior: 0, where abutting R District</i>	<i>20 feet from alley</i>	<i>Yes</i>
	<i>Rear: 5 feet</i>	<i>66 feet 9 inches</i>	<i>Yes</i>
	<i>Corner Build Area: 30 feet</i>	<i>Building is built within 30 feet</i>	<i>Yes</i>
<i>Building Maximum Height</i>	<i>5 stories; 75 feet</i>	<i>2 stories; 28 feet 1 inch</i>	<i>Yes</i>
<i>Ground Floor Minimum Height</i>	<i>15 feet</i>	<i>28 feet 1 inch</i>	<i>Yes</i>
<i>First Floor Ceiling Minimum Height</i>	<i>12 feet</i>	<i>18 feet 6 inches</i>	<i>Yes</i>
<i>VMC Chapter 16.203 – NMX District</i>			

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Street Trees	30 feet on center, at least 15 gallons in size when planted and 10% will be at least 24-inch box	4 street trees 30 feet on center; 22 total trees shown on plans and all are 24-inch box	Yes
Orientation	Facades shall be designed to be oriented towards the public street or to a common courtyard, if provided.	Facades facing the street are enhanced with multiple entrances, windows, and architectural features.	Yes
VMC Chapter 16.313 – Community Assembly			
VMC Section 16.313.02.A: Maximum lot area	The total lot area in any residential zoning district shall not exceed forty thousand square feet	26,000	Yes
VMC Section 16.313.02.B: Buffer Required	At least 20 feet adjacent to any residential zoning district. This buffer area may be used for parking or landscaping but shall not be used for structures or outside activities. Where a buffer is used for parking, at least four feet of landscaping shall be provided along the length of the parking	A buffer of 66 feet 9 inches has been provided. The buffer is used for parking and landscaping, with four feet of landscaping provided along the length of the parking lot.	Yes
VMC Section 16.313.02.B(1-3): Buffer Areas	B1 – Exceptions permitted (N/A) B2 – Parking areas shall be screened consistent with Chapter 16.504 B3 – Outdoor areas used for recreation, meetings, services or other activities involving groups of persons shall be at least fifty feet from any residential zoning district or use (N/A)	The parking lot is screened in compliance with Chapter 16.504.	Yes
VMC Section 16.501.08 – Solid Waste, Recycling and Organic Waste Storage			
VMC Section 16.501.08(D): Size	Enclosures must be sized to accommodate all dumpsters, and or solid waste, recycling and organic waste carts or containers picked up by the city or its franchise waste hauler(s).	The proposed trash enclosure would be of appropriate size to accommodate all required containers.	Yes
VMC Section 16.501.08(E): Location	All solid waste, recycling, and organic waste storage areas shall be located:	The proposed trash enclosure would be located adjacent to the rear of the existing	Yes

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	<p><i>a. Outside of any required parking, driveway, landscape, utility easement, or setback area, unless there is no feasible alternative;</i></p> <p><i>b. A minimum of five feet from an adjacent parking space;</i></p> <p><i>c. At minimum of five feet from the property line of an abutting single-unit residential zoning district; and</i></p> <p><i>d. A minimum of ten feet from the public right-of-way line or access easement.</i></p>	<p><i>building, outside of any required parking, driveway, landscape, utility easement, or setback area, and more than five feet from parking and the abutting residential zoning district.</i></p>	
<p>VMC Section 16.501.08(F): Visibility</p>	<p><i>1. Solid waste, recycling, and organic waste enclosures must not be visible from a public right-of-way as required by Vallejo Municipal Code Section 7.54.030 (R).</i></p> <p><i>2. All outdoor storage of solid waste, recycling, and organic waste materials, and other items or material intended to be discarded or collected shall be screened from public view.</i></p> <p><i>3. On property where solid waste, recyclable, and organic waste materials are both stored and collected adjacent to an alley or other public right-of-way, the solid waste and recyclable materials shall be designed or approved by the director as follows:</i></p> <p><i>a. Screened from public view on at least three sides by a solid opaque impact-resistant wall not less than five feet or more than eight feet in height; and</i></p> <p><i>b. Screened on the fourth side by a solid opaque impact-resistant gate not less than five feet or more than eight feet in height, or of other such material or design.</i></p> <p><i>c. The gate securing the area shall be maintained in working order and</i></p>	<p><i>The enclosure would not be visible from the public right-of-way as it will be installed in the rear of the building.</i></p>	<p>Yes</p>

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	<i>shall remain closed except during such times as solid waste, recycling, and organic waste materials and other such items are being discarded, placed for collection, or collected.</i>		
<p>VMC Section 16.501.08(l): Materials, Construction and Design</p>	<p><i>1. Minimum Height of Screening. Solid waste and recycling storage areas located outside or on the exterior of any building shall be screened with a solid enclosure at least six feet high and include a roof structure.</i></p>	<p><i>The enclosure is 8 feet 11 inches in height.</i></p>	<p>Yes</p>
	<p><i>2. Enclosure Material. Enclosure material shall be wood, solid masonry, or concrete tilt-up with decorated exterior-surface finish. The trash enclosure shall match and complement the color scheme and architecture of the building.</i></p>	<p><i>The enclosure would be constructed with solid masonry matching the color scheme of the building.</i></p>	<p>Yes</p>
	<p><i>3. Gate Material. Latching, view-obscuring gates shall be provided to screen trash enclosure openings.</i></p>	<p><i>The gate would be a latching, view-obscuring gate.</i></p>	<p>Yes</p>
	<p><i>4. Access to Enclosure from Residential Projects. Each solid waste, recycling, and organic waste enclosure serving a residential project shall be designed to allow disposal to the appropriate receptacle without having to open the main enclosure gate.</i></p>	<p><i>Not applicable</i></p>	<p><i>Not applicable</i></p>
	<p><i>5. Enclosure Pad. Pads shall be a minimum of four-inch-thick concrete.</i></p>	<p><i>The pad would be a minimum of 4-inch-thick concrete.</i></p>	<p>Yes</p>
	<p><i>6. Bumpers. Bumpers shall be two inches by six inches thick and made of concrete, steel, or other suitable material, and shall be anchored to the concrete pad.</i></p>	<p><i>The bumpers would be concrete curbs, anchored to the concrete pad.</i></p>	<p>Yes</p>
	<p><i>7. Protection for Enclosures. Concrete curbs or the equivalent shall protect enclosures from</i></p>	<p><i>The concrete curbs are proposed to protect the enclosure.</i></p>	<p>Yes</p>

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	<i>adjacent vehicle parking and travel ways.</i>		
	<i>8. Clear Zone. The area in front of and surrounding all enclosure types shall be kept clear of obstructions, and shall be painted, striped, and marked "No Parking."</i>	<i>As shown in the plans, the area in front of the enclosure would be kept clear of obstructions and is not within the parking lot.</i>	Yes
	<i>9. Drainage. The floor of the enclosure shall have a drain that connects to the sanitary sewer system.</i>	<i>As conditioned the floor of the enclosure would have a drain that connects to the sanitary sewer system.</i>	Yes
VMC Chapter 16.504 – Landscaping			
VMC Table 16.504-A: Minimum % of Landscaping Area	20%; 5,200 sq feet	23%; 5,979.37 sq feet	Yes
VMC Chapter 16.508 – Off-Street Parking			
VMC Table 16.508-B: Minimum Number of Off-Street Parking Spaces	1 per 80 sq feet of indoor assembly area; 90 total spaces needed for 7,168 sq feet	21	No; Reduction requested through Minor Use Permit – See section below.
Required Landscape Islands and Buffers	A landscaped island that is at least four feet wide and nine feet long (the length of a parking stall) and containing at least one fifteen- gallon-size tree shall be provided at each end of each interior row of parking stalls and between every eight consecutive parking stalls.	The project includes a 4- foot by 9-foot landscaped island between at minimum eight consecutive parking stalls and in the rear between 4 consecutive stalls.	Yes
VMC Table 16.508-D: Bicycle Parking	Short Term: The greater of 1 per 2,500 sq. ft. or 2	5 spaces are provided.	Yes
	Long Term: The greater of 1 per 2,500 sq. ft. or 2	3 spaces would be provided.	Yes
VMC Section 16.508.12 (B) Bicycle Parking Location	Long-Term Bicycle Parking Spaces. Long-Term spaces shall be located with direct access for bicycles without requiring use of stairs. The design shall provide safe and	A bike rack for long term parking would be located inside the building.	Yes

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	<i>convenient access to and from bicycle parking facilities.</i>		
	<i>Short-Term Bicycle Parking Spaces. Short-Term spaces shall be located, as feasible, near all main pedestrian entries to the use to which they are accessory.</i>	<i>5 short-term bicycle parking spaces would be located near the main entrance.</i>	Yes

As proposed and conditioned, the project is consistent with all applicable development standards of the VMC.

Site Access, Circulation and Parking Reduction Analysis

Primary access to the project site is provided off Marin Street, Carolina Street and Kissel Alley. Vehicular traffic would be able to access the proposed off-street parking lot, including 20 standard parking spaces and 4 motorcycle spaces (a total of 21 equivalent spaces), off Kissel Alley and Carolina Street. Pedestrian and bicycle traffic would be able to access the site off Marin Street, Carolina Street and Kissel Alley with pedestrian access directly off Marin Street. VMC Table 16.508 – B: Off Street Parking Requirements states, “Community Assembly 2,000 square feet or more without fixed seats requires one (1) off-street parking space per 80 square feet of indoor assembly area.” Future events at the facility are proposed to be held in the main 7,198 square-foot assembly room with no fixed seats. According to the VMC, a minimum of 90 off-street parking spaces is required for the 7,198 square-foot assembly room. Therefore, the proposed project is short 69 parking spaces.

VMC Section 16.508.14 (B), allows for the total number of required parking spaces to be reduced for the project, if findings can be made, as described above.

In support of this requested parking reduction, the applicant hired a consultant, Ali G. Mahalatina of Mahalat Engineering Corporation, to conduct a parking study which was subsequently peer reviewed by the City’s Traffic Engineer (see Attachment 4), dated May 9, 2025.

VMC Section 16.508.14(B.4) indicates that a parking reduction can be supported if a parking study is conducted and it finds that there are at least two times the number of spaces requested for reduction available within five hundred feet or less of the use, for at least two of the four hours of the use’s peak parking demand, and those spaces are either on non-residential streets, or within public parking lots. This means that in order to compensate for the shortage (69 parking spaces), twice this amount of available public parking would be required (138 public parking spaces) within five hundred feet or less of the use, for at least two of the four hours of the use’s peak parking demand, and those spaces must either be on non-residential streets, or within public parking lots.

Utilizing these guidelines, the consultant conducted a parking study over five different days, between the hours of 10 a.m. to 7:45 p.m. on a Tuesday, Thursday, two different Saturdays and a Sunday. The study indicates

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that for non-residential streets within 500 feet of the subject property, there are a total of 195 legal parking stalls available, but the average availability of these spaces during the use's peak parking demand period (between 10:00 am and 8:00 pm) would only be 69 spaces. Therefore, the street parking by itself would not support the project demand; however, if those street spaces are combined with nearby public parking lot spaces within a one-quarter mile radius, found within City Lots D, F, and K, (see Figure 6 below) then the needed capacity can be met. The existing City Lots provide an additional total capacity of 274 spaces; however, the average availability of spaces during the use's peak demand period would be approximately 174 spaces. The combined average of both available parking types (69 on-street spaces and 174 public parking lot spaces) would equal 243 total unoccupied/available spaces within the required one-quarter mile radius of the project site and during the use's peak demand period.

In addition to the study work conducted, the study also recommended that the facility take measures to encourage use of the public parking lots over on-street spaces, by: 1) providing shuttle or valet services for events, 2) encouraging the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) providing maps and directions for available public parking lot locations to event patrons. As mentioned above, the City's Public Works staff has reviewed the parking study and agrees with the recommendations, and as such, has included all recommendations as conditions of approval.

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Figure 6 – Public Parking Lots



ENVIRONMENTAL REVIEW

Under the CEQA, the state has identified a list of classes of projects which have been determined to not have significant effect on the environment and are therefore exempt from the requirements of CEQA. This project is categorically exempt from the provisions of the CEQA Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15303 (Class 3 “New Construction or Conversion of Small Structures”) and Section 15331 (Class 31 “Historic Resource Restoration/Rehabilitation”).

Section 15303 - Class 3, “New Construction or Conversion Of Small Structures”

Subject: HOLD A JOINT SPECIAL PUBLIC HEARING BETWEEN THE PLANNING COMMISSION AND THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION TO CONSIDER ADOPTING: 1) A RESOLUTION, BY THE ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION, APPROVING A CERTIFICATE OF APPROPRIATENESS (COA23-0005); AND 2) A RESOLUTION, BY THE PLANNING COMMISSION, APPROVING A USE PERMIT (UP18-0002), DEVELOPMENT REVIEW AND LANDSCAPE REVIEW, (PLN25-0103), FOR AN EVENT CENTER IN THE FORMER FEDERAL BUILDING LOCATED AT 823 MARIN STREET (APN: 0056-161-040)

Facts in support: The Class 3 exemption includes installation of small new equipment and facilities in small structures, and the addition (new construction) of accessory (appurtenant) structures on the site. The proposed project includes minor site improvements and construction of new minor facilities and structures, including minor parking lot improvement (paving, striping, and new pedestrian stairs to connect the parking lot to the main building entrance), construction of a new soundwall along the western property line, construction of a new freestanding trash enclosure, and landscape rehabilitation within all existing planter areas throughout the site.

Section 15331 - Class 31, “Historical Resource Restoration/Rehabilitation”

The Class 31 exemption applies to “maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the [Secretary’s Standards]” The project includes minor façade changes to an existing historic landmark; however, the changes proposed, including replacement of two façade windows with new ADA compliant doors to match the existing, have been analyzed under the Secretary of the Interior Standards for the Treatment of Historic Properties and have been found to be in conformance therewith and, therefore, the proposed project will not have any impact on the existing designated historic landmark.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

NOTICE AND COMMENTS

On January 15, 2026, pursuant to VMC Section 16.602.08, a notice of this hearing was published in the Times Herald, mailed to all active neighborhood groups, all property owners within 500 feet of the subject property, any other interested parties, the Vallejo Unified School District, local agencies expected to provide water, wastewater treatment, and/or other essential facilities or services to the project, the applicant, and electronically sent to the members of the Planning Commission and Architectural Heritage and Landmarks Commission.

As of the writing of this staff report, staff has not received any comments or questions regarding the project.

CONCLUSION

Based on the analysis contained in this staff report and attachments, Staff recommends the following actions, in the following order:

- 1) Architectural Heritage and Landmark Commission find the project exempt from CEQA pursuant to CEQA Guidelines Section 15303 (Class 3 “New Construction or Conversion of Small Structures”) and Section 15331 (Class 31 “Historic Resource Restoration/Rehabilitation”), and approve a Certificate of Appropriateness (COA23-0005), subject to conditions of approval provided as Exhibit A to the Resolution (Attachment 1), and

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- 2) Planning Commission find the project exempt from CEQA pursuant to CEQA Guidelines Section 15303 (Class 3 “New Construction or Conversion of Small Structures”) and Section 15331 (Class 31 “Historic Resource Restoration/Rehabilitation”), and approve a Use Permit, Development Review, and Landscape Review (UP18-0002, PLN25-0103) subject to conditions of approval provided as Exhibit A to the Resolution (Attachment 2).

APPEAL PROCEDURE

The applicant, or any party adversely affected by the decision of the Architectural Heritage and Landmarks Commission and/or the Planning Commission may, within ten days after the rendering of such decision, appeal in writing to the City Council by filing a written appeal with a fee as prescribed in the Master Fee Schedule with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Architectural Heritage and Landmarks Commissioner and/or the Planning Commission. Such appeal shall not be filed timely unless it is received by the City Clerk or designee no later than the closing of business on the tenth calendar day after the date of the decision. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council’s consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the project boundary. The Council may affirm, reverse, or modify any decision of the Architectural Heritage and Landmarks Commissioner and/or the Planning Commission that is appealed.

LEVINE ACT:

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$500 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$500 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$500 made to the City Officers, such as the Mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$500 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #26-XX

**A RESOLUTION OF THE ARCHITECTURAL HERITAGE AND LANDMARKS
COMMISSION APPROVING A CERTIFICATE OF APPROPRIATENESS (COA23-
0005) FOR EXTERIOR ALTERATIONS TO A HISTORIC LANDMARK AT 823 MARIN
STREET AND FINDING THE ACTION EXEMPT PURSUANT TO CEQA GUIDELINES
SECTION 15303 (CLASS 3, “NEW CONSTRUCTION OR CONVERSION OF SMALL
STRUCTURES”) AND SECTION 15331 (CLASS 31 “HISTORIC RESOURCE
RESTORATION/REHABILITATION”)
(APN: 0056-161-040)**

WHEREAS, the building at 823 Marin Steet (“subject property”) was the first purpose-built and federally funded local post office in Vallejo, and was completed in September 1933; and

WHEREAS, in 1968, the building was remodeled and converted into a federal building which housed a variety of federal offices/services including a local Social Security office, Civil Service Commission, FBI and IRS offices; and

WHEREAS, in March 2003, the City of Vallejo Architectural Heritage and Landmark Commission designated the subject property as a historic landmark; and

WHEREAS, the subject property is located within the St. Vincent’s Hill Historic District, which was formally listed in the National Register of Historic Places as the Vallejo Old City Historic District in November 2003; and

WHEREAS, in early 2011, the subject property was vacated; and

WHEREAS, on August 29, 2017, the City of Vallejo City Council adopted General Plan 2040; and

WHEREAS, the subject property has a General Plan 2040 land use designation of Neighborhood Corridor (NC); and

WHEREAS, on June 22, 2021, the City Council adopted the new Zoning Code and Zoning Map, and the subject property is located within the Neighborhood Mixed-Use (NMX) Zoning District; and

WHEREAS, on February 18, 2018, Elin Delgadillo, the applicant, on behalf of Luis R. and Leticia Delgadillo, the property owners, formally submitted an application for a Minor Use Permit (UP18-0002) to convert the subject property into an event center; and

WHEREAS, on May 10, 2023, the applicant modified the application with a request for a Certificate of Appropriateness (COA23-0005) to allow exterior modifications to a historic landmark in order to replace two of the façade’s front windows with American Disabilities Act (ADA) compliant doors; and

WHEREAS, on May 20, 2025, the applicant modified the application again to add a Development Review and Landscape Review (PLN25-0103) in order to facilitate review of site improvements including parking lot improvements, a new soundwall along the western property line, and a new trash enclosure; landscape rehabilitation including the installation of new drought-tolerant landscaping throughout the site; and a request for reduction of required off-street parking spaces from 90 to 21 equivalent spaces; and

WHEREAS, on June 20, 2025, the full project application for the project was determined to be complete for processing; and

WHEREAS, on September 9, 2025, the City of Vallejo contracted with Brunzell Historical to conduct a Historical Resources Impact Assessment for the proposed project to determine compliance with "The Secretary of the Interior's Standards for the Treatment of Historic Properties" (see Exhibit B, attached); and

WHEREAS, in accordance with the Vallejo Municipal Code (VMC) Section 16.606.02, the director has referred the application for Minor Use Permit to the Planning Commission, and in accordance with VMC Table 16.614-A, any alteration to a building in the historic district that is visible from the street shall be reviewed by the Architectural Heritage and Landmarks Commission (which is the case with this proposed project); and

WHEREAS, since the full project requires approval from two separate hearing bodies, a joint public hearing has been scheduled with the Planning Commission, which will be taking action on the use permit, development review and landscape review by separate resolution; and

WHEREAS, on January 15, 2026, pursuant to Vallejo Municipal Code (VMC) Section 16.602.08(A), notice of the special joint public hearing of the Planning Commission and the Architectural Heritage and Landmarks Commission was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property, the Vallejo City Unified School District, all other local agencies expected to provide water, wastewater treatment, or other essential facilities or services to the project, the applicant and property owner, and electronically mailed to the members of the City of Vallejo Planning Commission and Architectural Heritage and Landmarks Commission; and

WHEREAS, on January 29, 2026, at 7 p.m., the City of Vallejo Planning Commission and Architectural Heritage and Landmarks Commission, after giving all public notices required by State law and the City of Vallejo Municipal Code, conducted a duly noticed public hearing.

NOW, THEREFORE, LET IT BE RESOLVED that the AHLC hereby finds, determines and resolves as follows:

Section 1. Recitals

The foregoing recitals are true and correct, and the same are incorporated herein by reference.

Section 2. Record

The Record of Proceedings ("Record") upon which the Architectural Heritage and Landmarks Commission bases its decision includes but is not limited to: the application, including all designs, plans, studies, data and correspondence submitted to the City in connection with the project; all staff reports, decision letters, and other documentation and information produced by or on behalf of the City in connection with the project; all documentary and oral evidence received at the public hearings regarding the Project; all matters of common knowledge and all official enactments and acts of the City, including without limitation: (a) the City of Vallejo General Plan 2040 and its related EIR; (b) the 2021 Zoning Code and its Initial Study and Mitigated Negative Declaration; (c) the Vallejo Municipal Code; (d) all designs, plans, studies, historic impact analysis, data and correspondence submitted to the City in connection with the project; (e) all documentary and oral evidence received at the public hearing regarding the project; (f) other applicable City of Vallejo policies and regulations; and (g) all applicable state and federal laws, rules, regulations, reports, records and projections related to development within the City of Vallejo and its surrounding areas.

The Custodian of Record is the Director of the Planning and Development Services of the City of Vallejo, 555 Santa Clara Street, Vallejo, California 94590.

Section 3. California Environmental Quality Act

Under the California Environmental Quality Act, the State has identified a list of classes of projects which have been determined to not have a significant effect on the environment and are therefore exempt from the requirements of CEQA. The proposed project is exempt under CEQA Guidelines, Section 15303 (Class 3, "New Construction or Conversion of Small Structures") and Section 15331 (Class 31, "Historical Resource Restoration/Rehabilitation").

Section 15303 - Class 3, "New Construction or Conversion Of Small Structures"

The Class 3 exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Facts in support: The proposed project includes the construction of minor parking lot improvements (paving, striping, and new pedestrian stairs to connect the parking lot to the main building entrance), construction of a new soundwall along the western property line, construction of a new freestanding trash enclosure, and landscape rehabilitation within all existing planter areas throughout the site.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

Section 15331 - Class 31, "Historical Resource Restoration/Rehabilitation"

The Class 31 exemption applies to "maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the [Secretary's Standards]"

Facts in support: The project includes minor alterations to the façade of an existing historic landmark; however, the alterations proposed, including replacement of two façade windows with new ADA compliant doors to match the existing doors, have been analyzed under "The Secretary of the Interior's Standards for the Treatment of Historic Properties" (see Section 4, below, for details) and have been found to be in conformance therewith and, therefore, the proposed project will not have any impact on the existing designated historic landmark.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

Section 4. Certificate of Appropriateness Findings

- A. The project is in conformance with "The Secretary of the Interior's Standards for the Treatment of Historic Properties" applicable to the project and any ordinance designating the Historic District or Landmark.**

Facts in support: “The Secretary of the Interior’s Standards for Historic Properties” relevant to “Rehabilitation” are applicable to the project and are as follows:

- 1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

Facts in support: The subject building was constructed in 1933 to serve as a Post Office, and was later acquired by the Federal Government to allow the use of the building for a Social Security Office, the Civil Service Commission and FBI offices. The building is currently vacant. The proposed use of an event center, including banquet facility, will require the replacement of the windows flanking to the main entrance doors, to be ADA compliant doors. This exterior modification will include installation of new doors that will closely resemble the existing doors, but will not alter any of the building’s distinctive materials, features, spaces, or spatial relationships. Therefore, the project complies with Rehabilitation Standard No. 1.

- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.**

Facts in support: The current building modifications proposed, including minimal changes to the main entry doorways, will not have a negative impact on the historic character of the property. The property’s character-defining features, such as its plan, form, massing, style, materials and decorative features including geometric exterior ornament executed in terra-cotta and interior lobby features will be retained and preserved. As a result, the project complies with Rehabilitation Standard No. 2.

- 3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

Facts in support: The proposed project includes minimal changes to the building entry doors, which will not substantially impact the existing building facade. Conjectural features, such as historic architectural details and conjectural features from other buildings, will not be utilized in new construction in order to avoid creating a false sense of historical development. As a result, the project is in conformance with Rehabilitation Standard No. 3.

- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

Facts in support: There are no changes to the property that have acquired historic significance in their own right; therefore Standard 4 does not apply to the proposed project.

- 5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

Facts in support: The proposed project includes minimal changes to the building façade, including removal of non-historic windows and replacement with new entry doors to match the existing historic doors. The project also includes removal of the deteriorated ‘Federal Building’ signage on the main façade in order to restore the original United States Post signage (which was integral to the original building façade) and still exists underneath. Existing distinctive materials, features, finishes,

and examples of craftsmanship that characterize the building, will be preserved; no historic fabric will be removed from the exterior façades or the interior lobby. As a result, the project conforms with Rehabilitation Standard No. 5.

- 6) **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

Facts in support: As mentioned above, the project includes removal of the deteriorated 'Federal Building' signage on the main façade in order to restore the original United States Post signage (which was integral to the original building façade) and still exists underneath. Other historic features of the building exterior brick and terra-cotta appear to be in good condition. The project does not propose replacement of distinctive features. Therefore, the project is in compliance with Rehabilitation Standard No. 6.

- 7) **Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

Facts in support: No chemical treatments will be utilized. If physical treatments (such as cleaning of exterior brick surfaces) are required, the gentlest means possible will be used. No sandblasting or other treatments that cause damage to historic materials will be used. Therefore, the project is in compliance with Rehabilitation Standard No. 7.

- 8) **Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

Facts in support: The project does not include excavation of previously undisturbed areas. The project therefore conforms with Rehabilitation Standard No. 8.

- 9) **New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

Facts in support: The proposed project includes exterior alteration to the existing doors which were replaced when the building was renovated to be a Federal Building. The entryway doors and windows are to be replaced with three ADA compliant door systems in a design to match the original doors, which will not destroy historic materials. Therefore, the proposed project conforms to Standard No. 9.

- 10) **New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Facts in support: Potential future reversal of the proposed project will not impair the essential form and integrity of the historic property. The proposed project elements, such as new entryway doors, trash enclosure, and parking lot grading for ADA compliance, do not include changes to the historic features of the building and will not be constructed in a manner that would impair the essential form and integrity of

the historic property, should they be removed in the future. The project therefore conforms to Rehabilitation Standard No. 10.

The replacement of the non-functional entryway doors and two windows with three ADA compliant door systems would reestablish the historical function of three entryways into the building without altering any of the character defining features. The new use for the vacant building would allow local residents to regain access to a public building that has been vacant for many years. Utilization of the property as an event venue would also provide a financial incentive for its ongoing maintenance, repair, and restoration. The project therefore conforms to "The Secretary of the Interior's Standards for the Treatment of Historic Properties".

B. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.

Facts in support: The subject property is within the St. Vincent's Historic District. There is no applicable adopted conservation plan, nor specific plan.

C. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (4) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.

Not Applicable; no demolition is proposed as part of the project.

Section 5. Time Limitations & Indemnity

- a) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees from any claim, action, or proceeding brought against the City or its agents, officers, attorneys, or employees to attack, set aside, void, or annul the action(s) at issue herein. This indemnification shall include damages or fees awarded against the City, if any, costs of suit, attorneys' fees, and other costs and expenses incurred in connection with such action whether incurred by the Applicant, the City, and/or parties initiating or bringing such action.
- b) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees for all costs incurred in additional investigation of or study of, or for supplementing, preparing, redrafting, revising, or amending any document, if made necessary by said legal action and the Applicant desires to pursue securing such approvals, after initiation of such litigation, which are conditioned on the approval of such documents in a form and under conditions approved by the City Attorney.
- c) In the event that a claim, action, or proceeding described in paragraphs a. or b. above is brought, the City shall promptly notify the Applicant of the existence of the claim, action, or proceeding, and the City will cooperate fully in the defense of such claim, action, or proceeding. Nothing herein shall prohibit the City from participating in the defense of any claim, action, or proceeding; the City shall retain the right to: (1) approve the counsel to so defend the City; (ii) approve all significant decisions concerning the manner in which the defense is conducted; and (iii) approve any and all settlements, which approval shall not be unreasonably withheld. The City shall also have the right not to participate in said defense, except that the City agrees to cooperate with the Applicant in the defense of said claim, action, or proceeding. If the City chooses to have counsel of its own to defend any claim, action, or proceeding where the Applicant has already retained counsel to defense

the City in such matters, the fees and expenses of the counsel selected by the City shall be paid by the City. Notwithstanding the immediately preceding sentence, if the City Attorney's Office participates in the defense, all City Attorney fees and expenses shall be paid by the Applicant.

- d) The Applicant, property owner and/or any successor(s) in interest, whether in whole or in part, to either of them, indemnifies the City for the City's costs, fees, and damages which the City incurs in enforcing the above indemnification provisions.

Section 6. Decision

NOW, THEREFORE, LET IT BE RESOLVED that the Architectural Heritage and Landmarks Commission hereby determines the project is exempt from environmental review under the CEQA Guidelines Section 15303 (Class 3, "New Construction or Conversion of Small Structures") and Section 15331 (Class 31, "Historical Resource Restoration/Rehabilitation").

BE IT FURTHER RESOLVED that the Architectural Heritage and Landmarks Commission hereby approves Certificate of Appropriateness (COA23-0005) based on the findings contained herein and subject to the Conditions of Approval contained in Exhibit A of this Resolution.

PASSED AND ADOPTED at a special joint meeting of the Planning Commission and Architectural Heritage and Landmarks Commission of the City of Vallejo, State of California, on the 29th day of January, 2026, by the following vote to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

ANGELA MCDONALD, CHAIRPERSON
City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

ROBBY THACKER, SECRETARY
City of Vallejo Architectural Heritage and Landmarks Commission

Exhibits:

- A. Conditions of Approval
- B. Historic Impact Analysis – Brunzel Historical

**CONDITIONS OF APPROVAL
CERTIFICATE OF APPROPRIATENESS
(COA23-0005)
823 MARIN STREET
APN # 0056-161-040**

A. PLANNING DIVISION

1. **Project Authorization.** The project shall be constructed and operated in substantial conformity with the authorized use as described in the application materials, the Planning Commission/Architectural Heritage and Landmarks Commission joint staff report dated January 29, 2026, and the approved plans, date stamped September 27, 2025, and as amended by the following conditions of approval. Any additional uses or facilities beyond those approved herein, shall require a separate application.
2. **Compliance Review.** Before building permit issuance, applicant shall submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list should be submitted to the project planner, who will coordinate continued development review of the project. A copy of all conditions of approval shall also be included in the building permit set, after the cover sheet.
3. **Compliance with Other Requirements.** The project applicant shall be responsible for compliance with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to, those imposed by the City's Building Division, Fire Department, Water Department, Public Works Department, Vallejo Flood and Wastewater District, and Department of Transportation, as applicable.
4. **Noise.** Construction, demolition, and related loading/unloading activities that may generate noise shall be limited to the following: 7 a.m. to 6 p.m. Monday-Friday and 9 a.m. to 6 p.m. on Saturdays, with noise generating activities prohibited on Sundays and holidays.
5. **Exterior Building Treatments.** If physical treatments (such as cleaning of exterior brick surfaces) are required for the existing building during construction and or restoration activities, the gentlest treatments possible shall be utilized. No sandblasting or other treatments that cause damage to historic materials shall be permitted
6. **Effective Date and Expiration.** This approval shall become effective immediately following the appeal period of ten (10) calendar days, unless an appeal is filed. Pursuant to VMC Section 16.602.12(A)(14), approval of this application shall automatically expire two years from the date of approval, or on January 29, 2028, unless rights are exercised or extended. If a permit is granted in conjunction with approval of new construction, the issuance of a Building Permit shall constitute the exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - a. The Building Permit expires;
 - b. Final inspection is not completed, or Certificate of Occupancy is not issued within the time specified as a condition of project approval; or
 - c. The rights granted under the permit are not exercised within one year following the earliest to occur of: issuance of a Certificate of Occupancy, or if no Certificate of Occupancy is required, the last required VMC final inspection for the new construction. (Section 16.602.12.B.15 of the VMC).

7. Indemnification. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.



October 27, 2025

Laura Solomon
Associate Planner
City of Vallejo | Planning and Development Services
555 Santa Clara Street
Vallejo, CA 94590

Subject: Historic Impact Analysis of the Proposed Post Office Event Center Project. The proposed project is located at 823 Marin Street, Vallejo, Solano County, California.

Dear Laura,

I. INTRODUCTION

The letter report that follows analyzes a proposed project for potential negative impacts to the historic Vallejo Post Office at 823 Marin Street, Assessor Parcel Number 0056-161-040 (the subject property). This study reviews the proposed project's compatibility with the Secretary of the Interior's Standards for the Treatment of Historic Properties (SOI Standards). This study has been undertaken at the request of the City of Vallejo on behalf of the current property owner. The purpose of study is to ensure that the proposed project avoids negative impacts to the historical resource pursuant to the California Environmental Quality Act (CEQA); the property is a contributor to a National Register of Historic Places (NRHP) historic district and thus qualifies as a historical resource. It is not re-evaluated for historic eligibility in this study.

Methodology

Brunzell Historical personnel carefully reviewed previous documentation of the subject property in order to become familiar with its architectural and historical significance and character-defining features. Documentation reviewed included a Department of Parks and Recreation (DPR) 523 form prepared for the City of Vallejo in 1979 and the National Park Service 10-900 nomination prepared in October 1990 for the St. Vincent's Hill Historic District; the district, which includes the subject property as one of more than 500 contributing resources, was formally added to the NRHP in 2003. Detail about the history and significance of the subject property in the earlier studies was minimal; Brunzell Historical personnel therefore undertook limited primary-source research.

Brunzell Historical Principal Kara Brunzell visited the subject property on October 17, 2025. She photographed the exterior and interior of the building as well as the site, and setting. Ms. Brunzell met with the property owners/project proponents as well as Associate Planner Laura Solomon from the City of Vallejo to develop an understanding of the purpose and details of the proposed project. Personnel reviewed as-built elevations and project plans to assess the current condition and historic integrity of the subject property. The SOI Standards were then utilized to assess whether the proposed project appropriately preserves character-defining features of the historical resource and avoids negative impacts.

Summary of Findings

The Vallejo Post Office is a historically and architecturally significant building that retains historic integrity and thus continues to qualify as a historical resource pursuant to CEQA. The proposed project conforms to the SOI Standards will not result in a negative impact to the historical resource. Thus, the proposed project will not result in a negative impact under CEQA.

II. REGULATORY FRAMEWORK

California Environmental Quality Act

Lead agencies (local governments with permit approval) are required by CEQA to carry out environmental impact analysis. Historical resources are considered part of the environment and are subject to review under CEQA. Historical resources are defined by CEQA Guidelines (California Code of Regulations [CCR] Title 14, Chapter 3, 15064.5) as follows:

1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Public Resource Code [PRC] 5024.1, Title 14 CCR, Section 4850 et seq.).
2. A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (CRHR).

California Register of Historical Resources

The State Historical Resources Commission has designed this program for use by state and local agencies, private groups and citizens to identify, evaluate, register and protect California's historical resources. The CRHR is the authoritative guide to the state's significant historical and archeological resources.

The California Register program encourages public recognition and protection of resources of architectural, historical, archeological and cultural significance, identifies historical resources for state and local planning purposes, determines eligibility for state historic preservation grant funding and affords certain protections under CEQA.

The CRHR Criteria for Designation (which are based on the National Register of Historic Places (NRHP) criteria:

1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. Associated with the lives of persons important to local, California or national history.

3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

In addition to meeting one or more of the above criteria, the CRHR requires that sufficient time has passed since a resource's period of significance to "obtain a scholarly perspective on the events or individuals associated with the resources." (CCR 4852 [d][2]). Fifty years is normally considered sufficient time for a potential historical resource, and in order that the evaluation remain valid for a minimum of five years after the date of this report, all resources older than 45 years will typically be evaluated. The CRHR also requires that a resource possess integrity. This is defined as the ability for the resource to convey its significance through seven aspects: location, setting, design, materials, workmanship, feeling, and association.

National Register of Historic Places

A site may be considered eligible to the NRHP if it retains historic integrity and it:

- A. is associated with events that have made a significant contribution to the broad patterns of our history;
- B. is associated with the lives of persons significant in our past;
- C. embodies the distinctive characteristics of a type, period, or method of construction, represents the work of a master, possesses high artistic values, or represents a significant or distinguishable entity whose components may lack individual distinction;
- D. yields, or may be likely to yield, information important to the prehistory or history of the area/region.

III. PROPERTY HISTORY AND CURRENT CONDITIONS

Chronology of Development

The Vallejo Post Office building on the subject property, the first purpose-built and federally funded local post office, was completed in September 1933. The project was planned by The Treasury Department's Office of the Supervising Architect, which was led by Acting Supervising Architect James A. Wetmore (a civil servant who was not an architect) from 1915 to 1933. Wetmore oversaw the standardization of post office floor plans in order to achieve cost efficiency, promoting the reuse of designs when possible. The Keyes-Elliott Act of 1926 had authorized over \$1 billion in federal spending on new buildings as well as authorizing the Secretary of the Treasury to hire private architects. The following year, Vallejo was one of ten California cities chosen for new post offices by the House Committee on Public Buildings and Grounds after a nationwide survey to determine need. Congressman Charles F. Curry (a long-serving Republican who represented the region for decades before his death in 1930) was later credited with winning the new post office for Vallejo. A budget of \$200,000 was appropriated. However, no progress appears to have been made on the project during the late 1920s. In May 1930, as the onset of the Great Depression began devastating building construction and design, Congress authorized increased funding and eased restrictions on employment of private architects and contractors. (Although the Franklin Roosevelt administration is generally given credit for Depression-era building and employment programs, the 1930

amendment of the Public Buildings Act set a precedent for the federal actions taken after Roosevelt's inauguration in 1933.)¹

In October 1931, the subject property was acquired by the federal government for \$31,500. Sacramento architect Charles F. Dean, who had designed many notable buildings in partnership with his brother as Dean and Dean from 1922 to 1930, was selected as architect. Dean's drawings were approved by the Treasury Department in early 1932. The massing, form, materials, and interior spatial arrangements were dictated by the standardized program for postal buildings (nearly identical to those exhibited by Napa Post-Office that was constructed the same year), while architectural and interior details were left to the creativity of the architect. Dean executed a design that integrated Art Deco and classical ornament with a nod to the simplicity of the emerging International Style. Examples of this style produced by Depression-era federal programs are often described as PWA Moderne or "starved classicism;" but it was internationally popular for government buildings in the 1920s and 1930s. Earl Barnett, an architect and artist who had worked for Dean and Dean, designed the interior mural, which was fabricated by Gladding McBean Company. The cornerstone (which is dated 1932) was laid with great fanfare in April 1933. K.E. Parker Company of San Francisco, which constructed several other post office buildings during this era, was the contractor. The project was completed in September for \$155,000 and opened to the public on October 2, 1933.²



Figure 1: Vallejo Post Office historic photograph, c1933, (*Vallejo Naval & Historical Museum*).

¹ US Postal Service, *History of Post Office Construction: 1900-1940*, July, 1982; House of Representatives, 69th Congress, Second Session, Document No. 710, February 14, 1927.

² Vallejo Evening News, "\$31,500 Was Paid Out, Oct 26, 1931, Cornerstone Laid, April 15, 1933, Dedicate Post Office, September 23, 1933.



Figure 2: Vallejo Post Office historic photograph, c1945, (*Vallejo Naval & Historical Museum*).



Figure 3: Vallejo Post Office historic postcard c1947.

Simple handrails had been added to the front steps by the mid-1940s. By the 1950s, the subject property and two smaller post offices were serving Vallejo. In 1956, the General Services Administration undertook a \$17,000 remodel, enlarging the six service windows, installing larger counters, and creating several parking spaces by paving over landscaping on the south side of the building along the alley. More substantial alterations were undertaken after a new post office

building was constructed in 1968 and the subject building was converted into a Federal Building. A \$300,000 remodel allowed the local Social Security, Civil Service Commission, and FBI offices to move into the former post office building; an IRS office would join them in 1970. Exterior pilasters (originally natural granite like the foundation) were painted and the incised post office sign was covered. The interior was reconfigured; globe lights and glass partition in the main lobby appear to date from this era. Windows on the south elevation were probably partially infilled as part of this reconfiguration. At some point after 1969, the central exterior door was replaced with an aluminum-frame door, and the flanking entrances were converted to windows.³

Property Description

The subject property was originally constructed as a post office and was later converted to a federal building; it is currently vacant. It is located at the southwest corner of the intersection of Marin and Carolina Streets. The 26,000 square foot parcel slopes upward toward the northwest. The south end of the building is one story over a raised basement; at the north end the main building level is partially below grade. The symmetrical 10,064 square foot building is characterized by a restrained and modernistic interpretation of Art Deco known as Starved Classicism. It is nearly square in plan, with the main (west) façade and rear elevation slightly longer than side elevations. The building is steel frame and concrete construction and clad in buff brick set in English bond. It has a flat roof with parapet. The foundation and wide main entrance steps are stone, as are the built-in planters that flank the steps. The steps have simple metal handrails that appear to have been installed within a decade of original construction. The terra-cotta cornice and frieze are adorned with zigzag and starburst motifs; incised lettering between them reads United States Post Office. Below the frieze, heavy stylized pilasters divide the central main façade into seven deeply recessed bays. The center bay has fully glazed aluminum-frame replacement doors topped with a transom fitted with multiple-light steel sash in a geometric pattern (originally, there were entrances in the three center bays). The other openings are fitted with steel windows in the same pattern as the transoms. Smaller windows at either end of the façade are enframed with decorative patterns executed in brick and fitted with the same type of decorative steel windows. Postal Service mottos are incised into walls below main façade windows.

The north elevation, which faces Carolina Street, mimics the decorative elements and fenestration pattern established on the main façade with six rather than seven bays. The south elevation, which faces the alley, also follows this pattern, although window openings have been partially enclosed with masonry and are fitted with steel industrial sash. The rear elevation has cornice and frieze detail with square windows above a utilitarian loading dock.

The rear part of the property is enclosed in a tall steel fence. There are small areas of unintended landscaping at the sides of the building as well as in the northwest corner of the parcel. There is a small asphalt parking lot at the southwest corner of the property.

The interior lobby stretches the length of the main façade and retains many of its original decorative details including a coffered wood ceiling, decorative wood trim painted with postal slogans, and a tile mural depicting the history of nearby Mare Island Naval Base. Original bulletin boards and lobby “tall tables” designed for the building have also been preserved. Post boxes and all but one service

³ Solano-Napa news Chronicle, New Federal Building in Vallejo Formally Opened, April 11, 1969.

window have been removed. Light fixtures and a glass interior wall appear to date from the second half of the twentieth century (probably after the building was converted from a post office to a federal building). Except for highly polished marble floors in the former work room behind the lobby, interior spaces are utilitarian and have lost features (such as sorting machinery) associated with the original use of the building as a post office.

The following architectural description is excerpted from the paragraph on the subject property in the NRHP historic district nomination form, which was prepared by Historic Architect Judy Irvin on behalf of the St. Vincent's Hill Neighborhood Association:

This large rectangular building with a flat parapet roof is constructed of buff brick and decorative terra cotta and rests on a plinth of large stone blocks. A wide continuous terra cotta frieze band with chevrons at the top surrounds the building. A second continuous terra cotta frieze band with chevrons is located at the top of the tall window openings. All four corners have stepped brick zigzag edges. The symmetrical facade has a group of seven impressive tall openings including three sets of double doors with transoms over extending to a two-story overall height flanked on each side by two windows with similar muntins. Transoms and the four flanking windows have steel muntins in a vertical running bond pattern. U.S. Post Office mottos are incised in the panels below the facade windows. The central windows and doors are separated by wide flat fluted terra cotta panels suggesting Beaux Arts Corinthian columns. Steel sash windows on the sides of the buildings are similarly divided by columns. A monumental staircase of gray stone is adjusted to the slope of Marin Street and has four free standing steel and bronze handrails. The bricks on the sides of the openings for windows and doors on the corners of the building step inward in a zigzag pattern. A utilitarian shed roof loading dock is located at the rear of the building. A handsome WPA tile mural is located in lobby entitled, "Festival Following the Completion of the Dry Docks, Mare Island, 1885" designed by Earl Bamett and executed by Gladding & McBean, a noted California manufacturer of decorative terra cotta. Although the interior has been altered, this building is a superb example of WPA civic projects that provided work for talented architects, designers and artists during the Great Depression.

Neither the DPR 523 form for the 10-900 form were prepared according to current professional standards, so no comprehensive historical study of the building has ever been performed. Dates of alterations discussed above are based on review of historic photos and newspaper stories; some changes to the building have not been documented and their dates are educated guesses based on the preparer's extensive experience with historic post office buildings. There are some errors in previous documentation, for example, pilasters are identified as columns and reference the Corinthian order, which is not exhibited. Nor was the original development of the property in 1933 performed under the auspices of the Works Progress Administration (WPA). Although the post office was constructed in 1933 during the Great Depression, the assumption that its development fits within the historic context of Depression-era of federal programs put forward by the Roosevelt administration is based on a misunderstanding of their chronology. Development of a detailed historic context is outside the scope of the present study, but Roosevelt came into office and passed the National Recovery Act (NRA) and its implementing regulations including the Public Works Administration (PWA) in June 1933; the WPA was not enacted until 1935. The planning and financing for the subject building, as discussed above, had been long underway by mid-1933; the site was acquired in 1931, and architect Charles F. Dean won the design contract in 1932. Local Congressman Charles F. Curry, who died in 1930, was locally credited with winning a new post office for Vallejo.

Character-Defining Features

Previous documentation did not develop a list of character-defining features or a formal period of significance. The period of significance would begin with construction of the building in 1933 and end in 1968, when it was abandoned as a post office. Thus, alterations to the building performed after 1968 would not qualify as character-defining. Based on a review of previous documentation along with a field visit and preparer familiarity with NRHP-eligible post offices, the character-defining features of the subject property include:

- Simple geometry of the building's symmetrical massing
- Flat roof and nearly square plan
- Primary and side façades divided into bays by stylized stone pilasters
- Wide main façade entrance stairs
- Stone foundation and carved cornstone
- Cornice and frieze with zigzag and starburst motifs formed of terracotta
- Polychrome brick cladding in Flemish bond with decorative brickwork in geometric motifs
- Large terracotta panels bearing postal slogans below main façade windows
- Tall window openings fitted with steel sash in a decorative multiple-light pattern on east, west, and north façades
- Incised postal slogans below main facade windows
- Original rear loading dock

- Decorative features carried around to all four sides of the building
- Interior lobby decorative features including wood to ceiling, wood trim, mural, and tall tables

Photographic Exhibit

The photographs presented below were created by Kara Brunzell during a October 17, 2025 site visit.



Photograph 1: Subject property showing entrance steps and primary (east) façade detail with postal service inscription, camera facing west.



Photograph 2: Vallejo Post Office from across the street showing primary (east) and north facades, camera facing west.



Photograph 3: Subject property from across the street showing south façade, camera facing north .



Photograph 4: Subject property showing west façade with loading dock, camera facing east .



Photograph 5: Subject property showing north façade, camera facing southeast .



Photograph 6: Subject property lobby showing ceiling and trim detail, camera facing west .



Photograph 7: Lobby showing ceiling and trim detail, mural, and interior pilasters, camera facing south.



Photograph 8: Mural detail, camera facing south.



Photograph 9: Subject property lobby showing former workroom, camera facing north .

IV. PROJECT DESCRIPTION

The current project proposes to repurpose the existing Vallejo Post Office building (which is currently vacant) for use as a venue for special events. The project proposes to preserve all character-defining exterior architectural features as well as the character-defining interior lobby; as described above, most exterior features as well as the decorative elements of the interior lobby are original to the building. No substantial alterations are proposed to the building exterior or to the lobby area. The current project proposes to:

- Re-stripe and partially resurface the existing parking lot,
- Replace existing exterior stairs at northwest corner of the building with code-compliant stairs,
- Create one ADA-compliant parking space,
- Install an ADA-compliant lift at the rear loading dock,
- Construct a sound wall between the rear parking area and adjacent residential properties,
- Install new exterior lighting at entrances, on handrails, in the parking lot, and in other locations,
- Reconfigure existing perimeter security fencing with new gates to accommodate new parking layout and new stairs,
- Construct a garbage enclosure structure at the southwest corner of the building adjacent to the alley,
- Install new landscaping,
- Install doors in main façade openings flanking primary entrance,
- Remove deteriorated federal building signage to restore original United States Post Office signage,
- Construct short-term (exterior) and long-term (interior) bicycle parking facilities.

Secretary of the Interior's Standards

The Secretary of the Interior's Standards for the Treatment of Historic Properties provides guidelines for the preservation and rehabilitation of historic resources. Adherence to these standards is accepted as a method of avoiding significant adverse effects to historic buildings while allowing their continued use. The main purpose of the current project is to repurpose the building as an event center.

The Secretary of Interior's Standards for Rehabilitation state:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The property was originally used as a post office and is currently vacant. Its new use as an event center will require no alterations to its distinctive materials, features, spaces, or spatial relationships.

Therefore, the proposed project conforms to Standard 1.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The current project will not have a negative impact on the historic character of the property. The property's character-defining features, such as its plan, form, massing, style, materials and decorative features including geometric exterior ornament executed in terra-cotta and interior lobby features will be preserved.

Therefore, the proposed project conforms to Standard 2.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project will not substantially impact the existing building. Conjectural features such as historicist architectural details and conjectural features from other buildings will not be utilized in new construction in order to avoid creating a false sense of historical development.

Therefore, the proposed project conforms to Standard 3.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no changes to the property that have acquired historic significance in their own right; therefore Standard 4 does not apply to the proposed project.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The distinctive materials, features, finishes, and examples of craftsmanship that characterize the building as described in detail above will be preserved; no historic fabric will be removed from the exterior façades or the interior lobby.

Therefore, the proposed project conforms to Standard 5.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Historic features of the building exterior brick and terra-cotta appear to be in good condition. The project does not propose replacement of distinctive features.

Therefore, the proposed project conforms to Standard 6.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

No chemical treatments will be utilized. If physical treatments (such as cleaning of exterior brick surfaces) are required, the gentlest means possible will be used. No sandblasting or other treatments that cause damage to historic materials will be used.

Therefore, the proposed project conforms to Standard 7.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The project does not include excavation of previously undisturbed areas. If archaeological resources are encountered during excavation, appropriate mitigation measures will be developed.

Therefore, the proposed project conforms to Standard 8.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The project does not propose expeditions or exterior alterations; therefore Standard 9 does not apply to the proposed project.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Reversal of the proposed project will not impair the essential form and integrity of the historic property.

Therefore, the proposed project conforms to Standard 10.

Overall, the project will benefit the historical resource. It will provide a new use for the project, allowing local residents to regain access to a public building that has been mothballed for many years. Utilization of the property as an event venue will provide a financial incentive for its ongoing maintenance, repair, and restoration. The project therefore conforms to the Secretary of the Interior's Standards for the Treatment of Historic Properties.

V. PREPARER QUALIFICATIONS

I meet the Secretary of Interior's Professional Qualifications for both History and Architectural History. I hold a Master's degree in Public History and have worked in multiple facets of historic preservation and cultural resource evaluation since 2007. My experience includes municipal preservation planning and working as the lead staff member of a non-profit preservation organization. Since 2012, I have worked full-time as a historical consultant, completing dozens of evaluations for CEQA and Section 106 compliance. Additionally, I have completed local and National Register nominations, historic context statements, and Historic American Engineering Record recordation. The North Bay is the center of my practice, but I frequently work in the greater Sacramento area and other parts of the Bay Area, and have also completed projects in Southern California, Nevada, Oregon, New York, and Puerto Rico. In addition to my work with historic-period domestic, agricultural, and commercial properties for private clients, I have prepared reports on post offices, military bases, university campuses, hospitals, church properties, national parks, and a NASA site. I am listed as a Historian and Architectural Historian on the California Office of Historic Preservation's roster of qualified consultants for every county in California.

Please contact me by phone at 707/290-2918 or e-mail at kara.brunzell@yahoo.com with any questions or comments.

Sincerely,

A handwritten signature in blue ink that reads "Kara L. Brunzell". The signature is written in a cursive style with a large initial 'K' and 'B'.

Kara Brunzell, M.A.
Brunzell Historical

CITY OF VALLEJO PLANNING COMMISSION

RESOLUTION NO. PC 26-XX

A RESOLUTION OF THE PLANNING COMMISSION APPROVING A USE PERMIT, DEVELOPMENT REVIEW AND LANDSCAPE REVIEW (UP18-0002, PLN25-0103), TO ESTABLISH AN EVENT CENTER WITHIN THE FORMER FEDERAL BUILDING AT 823 MARIN STREET AND FIND THE PROJECT EXEMPT PURSUANT TO CEQA GUIDELINES SECTION 15303 (CLASS 3, “NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES”) AND SECTION 15331 (CLASS 31, “HISTORICAL RESOURCE RESTORATION/REHABILITATION”) (APN: 0056-161-040)

WHEREAS, the building at 823 Marin Street (“subject property”) was the first purpose-built and federally funded local post office in Vallejo, and was completed in September 1933; and

WHEREAS, in 1968, the building was remodeled and converted into a federal building which housed a variety of federal offices/services including a local Social Security office, Civil Service Commission, FBI, and IRS offices; and

WHEREAS, in March 2003, the City of Vallejo Architectural Heritage and Landmark Commission designated the subject property as a historic landmark; and

WHEREAS, the subject property is located within the St. Vincent’s Hill Historic District, which was formally listed in the National Register of Historic Places as the Vallejo Old City Historic District in November 2003; and

WHEREAS, in early 2011, the subject property was vacated; and

WHEREAS, on August 29, 2017, the City of Vallejo City Council adopted General Plan 2040; and

WHEREAS, the subject property has a General Plan 2040 land use designation of Neighborhood Corridor (NC); and

WHEREAS, on February 18, 2018, Elin Delgadillo, the applicant, on behalf of Luis R. and Leticia Delgadillo, the property owners, formally submitted an application for a Minor Use Permit (UP18-0002) to convert the subject property (which is currently vacant) into an event center; and

WHEREAS, on June 22, 2021, the City Council adopted the new Zoning Code and Zoning Map, and the subject property is located within the Neighborhood Mixed-Use (NMX) Zoning District; and

WHEREAS, on May 10, 2023, the applicant modified the application with a request for a Certificate of Appropriateness (COA23-0005) to allow exterior modifications to a historic landmark in order to replace two of the windows on the façade of the building with American Disabilities Act (ADA) compliant doors which will restore the building to its original appearance; and

WHEREAS, on May 20, 2025, the applicant modified the application again to add a Development Review and Landscape Review (PLN25-0103) in order to facilitate review of site improvements including parking lot improvements, a new soundwall along the western property line, and a new trash enclosure; landscape rehabilitation including the installation of new drought-tolerant landscaping throughout the site; and a request for reduction of required off-street parking spaces from 90 to 21; and

WHEREAS, on June 20, 2025, the full project application for the project was determined to be complete for processing; and

WHEREAS, Vallejo Municipal Code (VMC) Section 16.606.02, "Procedures – Minor Use Permit" states that the director shall review, approve, conditionally approve, or deny an application for a minor use permit; however, the director may, at his/her discretion, refer any application for a minor use permit to the planning commission for a decision, and in that case, the application must be processed as a major use permit. In accordance with the VMC, the director has referred this application for the minor use permit to the Planning Commission and as such, it is being processed as a major use permit.

WHEREAS, VMC Table 16.614-A, "Review Authority and Public Notice" states that alterations to buildings within the historic district require secretary review, unless the alteration is visible from the street and [then it] shall be reviewed by the Architectural Heritage and Landmarks Commission, which is the case with this proposed project; and

WHEREAS, since the project entitlements require approval from two separate hearing bodies, a joint public hearing has been scheduled, and the Architectural Heritage and Landmarks Commission will be taking action on the Certificate of Appropriateness application through a separate resolution; and

WHEREAS, on January 15, 2026, pursuant to VMC Section 16.602.08(A), notice of the special joint public hearing of the Planning Commission and Architectural Heritage and Landmarks Commission was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property, the Vallejo City Unified School District, all other local agencies expected to provide water, wastewater treatment, or other essential facilities or services to the project, and to the applicant and property owner, and was electronically mailed to the members of the City of Vallejo Planning Commission and Architectural Heritage and Landmarks Commission; and

WHEREAS, on January 29, 2026, at 7 p.m., the City of Vallejo Planning Commission and Architectural Heritage and Landmarks Commission, after giving all public notices required by State law and the City of Vallejo Municipal Code, conducted a duly noticed public hearing.

NOW, THEREFORE, LET IT BE RESOLVED that the Planning Commission hereby finds, determines and resolves as follows:

Section 1. Recitals

The foregoing recitals are true and correct, and the same are incorporated herein by reference.

Section 2. Record

The Record of Proceedings ("Record") upon which the Planning Commission bases its decision includes but is not limited to: the application, including all designs, plans, studies, data and correspondence submitted to the City in connection with the project; all staff reports, decision letters and other documentation and information produced by or on behalf of the City in connection with the project; all documentary and oral evidence received at the public hearings regarding the project; all matters of common knowledge and all official enactments and acts of the City, including without limitation: (a) the City of Vallejo General Plan 2040 and its related EIR; (b) the 2021 Zoning Code and its Initial Study and Mitigated Negative Declaration; (c) the Vallejo Municipal Code; (d) all designs, plans, studies, historic impact analysis, data and correspondence submitted to the City in connection with the project; (e) all documentary and oral evidence received at the public hearing regarding the project; (f) other applicable City of Vallejo policies and regulations; and (g) all applicable state and federal laws, rules, regulations, reports, records and projections related to development within the City of Vallejo and its surrounding areas.

The Custodian of Record is the Director of the Planning and Development Services of the City of Vallejo, 555 Santa Clara Street, Vallejo, California 94590.

Section 3. CALIFORNIA ENVIRONMENTAL QUALITY ACT

Under the California Environmental Quality Act, the State has identified a list of classes of projects which have been determined to not have a significant effect on the environment and are therefore exempt from the requirements of CEQA. The proposed project is exempt under CEQA Guidelines, Section 15303 (Class 3, "New Construction or Conversion of Small Structures"), and Section 15331 (Class 31, "Historical Resource Restoration/Rehabilitation").

Section 15303 - Class 3, "New Construction or Conversion Of Small Structures"

The Class 3 exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Facts in support: The proposed project includes the construction of minor parking lot improvements (paving, striping, and new pedestrian stairs to connect the parking lot to the main building entrance), construction of a new soundwall along the western property line, construction of a new freestanding trash enclosure, and landscape rehabilitation within all existing planter areas throughout the site.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

Section 15331 - Class 31, "Historical Resource Restoration/Rehabilitation"

The Class 31 exemption applies to “maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the [Secretary’s Standards]”

Facts in support: The project includes minor alterations to the façade of an existing historic landmark; however, the alterations proposed, including replacement of two façade windows with new ADA compliant doors to match the existing doors, have been analyzed under “The Secretary of the Interior’s Standards for the Treatment of Historic Properties” (see Section 4, below, for details) and have been found to be in conformance therewith and, therefore, the proposed project will not have any impact on the existing designated historic landmark.

Moreover, none of the exceptions listed in CEQA Guidelines, Section 15300.2 apply, in that: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

Section 4. Major Use Permit Findings

A) VMC Section 16.606.03 (Required Findings), requires that the approving authority make the following findings prior to granting a use permit establishing a community assembly (event center) use greater than 5,000 square feet:

- 1. The proposed use is conditionally allowed within the applicable zoning district and complies with all other applicable provisions of the Zoning Code and all other titles of the Vallejo Municipal Code.**

Facts in support: The subject site is governed by the land use standards contained within the VMC Section 16.203 “NMX Zoning District.” The proposed use of ‘Community Assembly’ is permitted within the NMX Zoning District with a use permit. The proposed project is also subject to the specific requirements of VMC Chapter 16.313 “Community Assembly,” Section 16.501.08 “Solid Waste, Recycling, and Organic Waste Storage,” Section 16.504 “Landscaping,” and Section 16.508 “Off-Street Parking and Loading.” As proposed and conditioned, the project is fully compliant with each specific section of the VMC, as detailed in the attached Exhibit C.

- 2. The proposed use is consistent with the general plan and any applicable specific plan or planned development and any other applicable plans;**

Facts in support: The project is consistent with the General Plan 2040 land use designation of Neighborhood Commercial (NC), which is intended to:

“promote pedestrian-oriented neighborhood main streets with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multifamily developments, retail, personal and automotive services, professional offices, community facilities, and other uses conducted primarily inside of buildings and compatible with an eclectic neighborhood-oriented mixed-use environment.

The maximum permitted FAR in the NC designation is 2.0, with minimum residential density of 18 dwelling units per acre up to 30 dwelling units per acre.”

As described in the attached Exhibit B, the project is consistent with the NC land use designation and applicable General Plan policies, in that it will create a new community facility within an existing facility, and it will provide a new space for a variety of events that will not significantly modify the existing historic resource. The proposed project will support the City’s continued economic growth by reusing a vacant historic City Landmark and making the building accessible to the public again (via event rentals) following an extended (15 year) vacancy.

The proposed project is not subject to a specific plan, planned development, or any other applicable plans.

3. The subject parcel is physically suitable for the type of land use being proposed;

Facts in support: The subject parcel is physically suitable for the proposed use of an event facility, as there is an existing vacant building on-site, with attached parking lot to serve the use. The proposed use involves minimal alterations to the building with no expansion or significant alterations proposed as part of the project. The proposed use would reactivate a currently vacant site, and the use will be appropriate for the specific location as the site has adequate pedestrian and vehicular access, limited on-site parking and sufficient off-site parking within the surrounding area, and existing utilities to serve the proposed use at the site.

4. The proposed use is compatible with existing and permissible land uses within the zoning district and the general area in which the proposed use is to be located which may include but not be limited to size, intensity, hours of operation, number of employees, or the nature of the operation;

Facts in support: The proposed project is compatible with existing and permissible land uses within the NMX zoning district. The proposed event center will support the existing community by reactivating a currently vacant space, and it will offer an additional community event space for residents and visitors to Vallejo. As conditioned, the proposed use will have limited hours of operation from 8:00 a.m. to 12:00 a.m. (midnight). Should alcohol be served in conjunction with an event, the event host must obtain a special events permit license from the Department of Alcoholic Beverage Control (ABC) for each event, all servers must be licensed under the ABC permit, and alcohol service must cease at least one hour before the event ending time (no later than 11:00 p.m.). To minimize impact on the surrounding area, the event center is be conditioned to: install enhanced lighting within the parking lot area, monitor the site regularly for trash/debris/graffiti (all of which must be removed immediately), and monitor the site with security guards during events. In addition, the applicant will also be required to take the following measures to encourage off-site parking within existing public parking lots (vs. on-street) to minimize potential impacts for neighbors in the immediate vicinity: 1) provide shuttle or valet services for events, 2) encourage the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) provide maps and directions for available public parking lot locations to event patrons.

5. **The physical location or placement of the use on the site is compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood;**

Facts in support: The proposed event facility is to be located within the existing, vacant two-story Federal building. The facility rental hours will be limited to operations between 8:00 a.m. and 12:00 a.m. (midnight), daily. Further, the project includes a standard provision for every event to hire on-site security services, with a minimum of two security guards per event. Limited on-site parking (21 equivalent space) will be available on premises and conditions of approval have been included to require event organizers to: 1) provide shuttle or valet services for events, 2) encourage the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) provide maps and directions for available public parking lot locations to event patrons. Further, according to the parking study conducted by the applicant (and peer reviewed by the City Public Works Department), there is sufficient parking available in existing public parking lots within 500 feet of the project site. Additionally, a soundwall will be installed along the western property line where the parcel abuts the residential zoning district.

6. **The proposed use and related project features will not create any nuisances arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding ambient conditions and would not otherwise be detrimental to the public interest, health, safety, or general welfare; and**

Facts in support: The proposed use will be operated indoors. A new soundwall will be installed along the western property line where the parcel abuts the residential zoning district, and as conditioned, the proposed use will not generate odors, dust, gas, noise, vibration, smoke, heat, or glare at any levels exceeding ambient conditions. As proposed and conditioned, the use will not be detrimental to the public interest, health, safety, or general welfare.

7. **The project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.**

See Section 3 above.

- B) VMC Section 16.508.14.B (Modification and Reduction of Parking Requirements) requires that the approval authority make the following findings in order to reduce the requirement for off-street parking from 90 spaces to 21 equivalent spaces.

1. **The parking requirement modification will meet the purposes of the district related to improvement and support for mixed-use development, alternative transportation, pedestrian improvements and activity, or similar policies; and**

Facts in support: The proposed project is located on a corner lot with public sidewalks and includes an onsite parking lot that will offer 21 equivalent off-street parking spaces (including 20 standard auto stalls and 4 motorcycle parking spaces), leaving the project short by 69 required parking spaces. In accordance with VMC Section 16.508.14(B.4), if a parking study of the surrounding area can show that there is at least twice the amount of parking spaces available during the peak use hours (i.e., $69 \times 2 = 138$), then a reduction in the minimum parking requirement may be warranted. In accordance with the parking study dated May 9, 2025 submitted by the applicant and peer reviewed by staff (attachment 4), it

was concluded that the nearby public parking in City Lots D, F, and K, paired with average available on-street spaces, would be able to provide the needed capacity, with a combined average of 243 available spaces (total average available spaces between the City Lots D, F, and K, and the average available on-street spaces during peak use hours within ¼ mile of the site). In order to encourage use of the public parking lots over on-street spaces, the report recommended the inclusion of conditions of approval to require event hosts to: 1) provide shuttle or valet services for events, 2) encourage the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) provide maps and directions for available public parking lot locations to event patrons, which has been done. (See Exhibit 'A', Conditions of Approval.)

2. The use is located one-half mile or less from a transit corridor; or

Facts in support: The subject site is within one-half mile of a major transit stop at the Vallejo Ferry Building, as well as several SolTrans bus stops.

3. The use is located one-quarter of a mile or less from a publicly accessible parking facility, the use of which is not limited to a specific business or activity during the use's peak parking demand; or

Facts in support: The parking study (attachment 4), dated May 9, 2025, found three existing and under-utilized, publicly accessible parking facilities within one-quarter mile of the project site.

4. A parking [study] conducted under procedures set forth by the planning department finds that within five hundred feet or less of the use, on non-residential streets, at least two times the number of spaces requested for reduction are available through on-street parking spaces for at least two of the four hours of the use's peak parking demand; or

Facts in support: Based on the parking study conducted, the available street parking within 500 feet of the site does not solely support the project demand of 138 off-site parking spaces. The overall average of available parking on-street is 69 spaces; however, the existing public parking lots (City Lots D, F and K) within one-quarter mile of the site have an average of 174 spaces available during peak use hours, so when combined with the available on-street spaces, there would be a total average of 243 unoccupied spaces.

5. The proposed development includes at least twenty percent affordable housing units and at least fifty percent of the ground floor is occupied by any of the following neighborhood-serving uses: food and beverage retail sales, food service establishments, and/or personal/household service(s). These uses include, but are not limited to: dry cleaning and laundry agents, drug stores, food products stores, household items repair shops, and/or laundromats; or

Not applicable; no housing is proposed as part of this project.

6. There are other factors, such as alternative TDM strategies or trip-reduction programs in place, that will reduce the parking demand generated by the use.

Facts in support: Although the parking study showed sufficient off-site spaces available within a one-quarter mile radius, the study also made recommendations to encourage the use of public parking lots over on-street spaces, by adding conditions of approval to require event hosts to: 1) provide shuttle or valet services for events, 2) encourage the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) provide maps and directions for available public parking lot locations to event patrons. These recommendations have been incorporated into the Conditions of Approval for the project.

Section 5. Development Review Findings

A) VMC Section 16.605.03 requires the Review Authority to make findings with regard to the project prior to granting the Development Review for the minor site improvements, including parking lot improvements, a new soundwall along the western property line, and a new trash enclosure. Specifically, that the project:

1. Complies with all applicable specific standards and criteria of this Zoning Code;

Facts in support: The subject site is governed by the land use standards contained within the VMC Section 16.203 “NMX Zoning District.” The proposed use of ‘Community Assembly’ is permitted within the NMX Zoning District with a use permit. The proposed project is also subject to the specific requirements of VMC Chapter 16.313 “Community Assembly,” Section 16.501.08 “Solid Waste, Recycling, and Organic Waste Storage,” Section 16.504 “Landscaping,” and Section 16.508 “Off-Street Parking and Loading.” As proposed and conditioned, the project is fully compliant with each specific section of the VMC, as detailed in the attached Exhibit C. Additionally, the project also includes installation of 5,979 square feet of new drought tolerant landscaping proposed within existing planters, including nine new street trees along Marin Street and Carolina Street and two new trees along Kissel Alley.

2. Is consistent with the general plan and any applicable approved specific plan or planned development;

Facts in support: See Finding 2 in Section 4 above.

3. Complies with any design conditions, standards, or requirements imposed by a discretionary approval including but not limited to a major or minor use permit, variance, specific plan, planned development, or tentative map applicable to the project or the location where it is proposed;

Facts in support: Not applicable; no previous design conditions, standards or requirements have been imposed by a discretionary approval such as a major or minor use permit, variance, specific plan, planned development, or tentative map applicable to the project or the location where it is proposed.

4. Is in substantial compliance with any applicable adopted design guidelines;

Facts in support: Not applicable; there are no adopted design guidelines applicable to the project.

5. **Will serve to achieve groupings of structures that are well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;**

Facts in support: There is no change proposed to the existing structure with regard to height or footprint, and as such, the existing building will remain consistent in relation to the surrounding neighborhood.

6. **Will be of a quality and demonstrates thoughtful site planning that will serve to protect the value of private and public investments in the area; and**

Facts in support: Existing entryway doors and windows are to be replaced with three ADA compliant door systems in a design to match the original doors. In addition, a new trash enclosure, upgraded stairs, and a six-foot sound wall are proposed at the rear of the site, and new exterior lighting on the building and within the parking lot, which demonstrates thoughtful site planning to serve and protect the value of private and public investments in the area. Also, site improvements include 5,979 square feet of new drought tolerant landscape proposed within the existing planters, including installation of nine new street trees along Marin Street and Carolina Street and two along Kissel Alley.

7. **That the project has been reviewed in compliance with the California Environmental Quality Act, if applicable, and the requirements of this chapter.**

See Section 3 above.

Section 5. Time Limitations & Indemnity

- a) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees from any claim, action, or proceeding brought against the City or its agents, officers, attorneys, or employees to attack, set aside, void, or annul the action(s) at issue herein. This indemnification shall include damages or fees awarded against the City, if any, costs of suit, attorneys' fees, and other costs and expenses incurred in connection with such action whether incurred by the Applicant, the City, and/or parties initiating or bringing such action.
- b) Applicant shall defend, indemnify, and hold harmless the City and its agents, officers, attorneys, and employees for all costs incurred in additional investigation of or study of, or for supplementing, preparing, redrafting, revising, or amending any document, if made necessary by said legal action and the Applicant desires to pursue securing such approvals, after initiation of such litigation, which are

conditioned on the approval of such documents in a form and under conditions approved by the City Attorney.

- c) In the event that a claim, action, or proceeding described in paragraphs a. or b. above is brought, the City shall promptly notify the Applicant of the existence of the claim, action, or proceeding, and the City will cooperate fully in the defense of such claim, action, or proceeding. Nothing herein shall prohibit the City from participating in the defense of any claim, action, or proceeding; the City shall retain the right to: (1) approve the counsel to so defend the City; (ii) approve all significant decisions concerning the manner in which the defense is conducted; and (iii) approve any and all settlements, which approval shall not be unreasonably withheld. The City shall also have the right not to participate in said defense, except that the City agrees to cooperate with the Applicant in the defense of said claim, action, or proceeding. If the City chooses to have counsel of its own to defend any claim, action, or proceeding where the Applicant has already retained counsel to defend the City in such matters, the fees and expenses of the counsel selected by the City shall be paid by the City. Notwithstanding the immediately preceding sentence, if the City Attorney's Office participates in the defense, all City Attorney fees and expenses shall be paid by the Applicant.

- d) The Applicant, property owner and/or any successor(s) in interest, whether in whole or in part, to either of them, indemnifies the City for the City's costs, fees, and damages which the City incurs in enforcing the above indemnification provisions

Section 8. Decision

NOW, THEREFORE, LET IT BE RESOLVED that the Planning Commission hereby determines that the project is exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Class 3, "New Construction or Conversion Of Small Structures") and Section 15331 (Class 31, "Historical Resource Restoration/Rehabilitation").

BE IT FURTHER RESOLVED that the Planning Commission hereby approves Major Use Permit (UP18-0002) and Development Review and Landscape Review (collectively known as "PLN25-0103") based on the above findings and subject to the Conditions of Approval contained in Exhibit A of this resolution.

PASSED AND ADOPTED at a special joint meeting of the Planning Commission and Architectural and Heritage and Landmark Commission of the City of Vallejo, State of California, on the 29th day of January 2026, by the following vote:

- AYES:**
- NOES:**
- ABSENT:**
- ABSTAIN:**

ANTHONY TAYLOR, CHAIRPERSON

City of Vallejo Planning Commission

Attest:

Kristin Pollot, AICP, SECRETARY
City of Vallejo Planning Commission

Exhibit A: - Conditions of Approval

Exhibit B – General Plan Compliance Table

Exhibit C – Zoning Compliance Table

**EXHIBIT A
CONDITIONS OF APPROVAL**

**MAJOR USE PERMIT (UP18-0002);
DEVELOPMENT REVIEW AND LANDSCAPE REVIEW (PLN25-0103)
823 MARIN STREET
(APN: 0056-161-040)**

A. PLANNING DIVISION

1. Project Authorization. The project shall be constructed and operated in substantial conformity with the authorized use as described in the application materials, the Planning Commission/Architectural Heritage and Landmarks Commission joint staff report dated January 29, 2026, and the approved plans, date stamped September 27, 2025, and as amended by the following conditions of approval. Any additional uses or facilities beyond those approved herein, shall require a separate application.
2. Compliance Review. Before building permit issuance, applicant shall submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list should be submitted to the project planner, who will coordinate continued development review of the project. A copy of all conditions of approval shall also be included in the building permit set, after the cover sheet.
3. Compliance with Other Requirements. The project applicant shall be responsible for compliance with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to, those imposed by the City's Building Division, Fire Department, Water Department, Public Works Department, Vallejo Flood and Wastewater District, and Department of Transportation, as applicable.
4. Temporary Use Permit. Prior to building permit issuance, Applicant shall obtain a Temporary Use Permit from the Planning Division for any temporary office or construction trailer, as necessary.
5. Construction Management. Construction activities shall be managed in compliance with the following requirements, as applicable:
 - a. Site Watering. During the construction of a project, all portions of the site shall be watered as necessary to reduce emissions of dust and other particulate matter, and all stockpiles shall be covered.
 - b. Maintenance. Streets and sidewalks shall be made dirt free at the completion of construction.
 - c. Noise. All construction and transport equipment shall be muffled in accordance with state and federal laws.

- d. Emissions. Construction and transport equipment shall be operated so as to minimize exhaust emissions. During construction, trucks and equipment should be running only when necessary.
 - e. Hours of Operation. Grading and pile driving operations within ¼ mile of residential units shall be limited to between 8:00 am and 5:00 p.m. on weekdays pursuant to Subsection 16.502.03.E.
 - f. Water Run-off. All water run-off from construction sites shall be controlled. During construction, trucks and equipment should be running only when necessary and shall comply with Chapter 12.41 of the Vallejo Municipal Code.
6. Unreasonable Noises. No person shall make, or cause to suffer, or permit to be made upon any public property, public right-of-way or private property, any excessive noise, annoying noise, amplified sound or vibrations that are physically annoying to reasonable persons of normal sensitivity or that are so harsh or so prolonged or unnatural or unusual in their use, time or place as to cause or contribute to the unnecessary and unreasonable discomfort of any persons of normal sensitivity located at the lot line of the property from which these noises emanate or that interfere with the peace and comfort of residents or their guests, or the operators or customers in places of business in the vicinity, or that may detrimentally or adversely affect such residences or places of business. (VMC Section 16.502.09 (C))
7. Construction Hours. Construction, demolition, and related loading/unloading activities that may generate noise shall be limited to the following: 7 a.m. and 6 p.m. on Monday- Friday, Saturday 9 am- 6 pm and Sundays and holidays not allowed. (VMC Section 16.502.09 (D))

Landscaping

8. Prior to building permit issuance, Applicant shall submit construction-level landscaping plans prepared by a registered landscape architect as part of the building plan set for review and approval. Landscape plans shall comply with Chapter 16.504 (VMC) and substantially comply with the landscape plans in the approved entitlements.
9. Prior to operation/final building inspection, the landscape architect shall provide a complete Certificate of Completion and Certificate of Installation According to the Landscape Documentation in accordance with VMC Section 16.504.09 - Water Efficient Landscape Requirements. The documentation shall include the following:
- a. Certificate of Completion (VMC Section 16.504.09 (G.9))
 - b. Irrigation Scheduling (VMC Section 16.504.09 (G.9.c))
 - c. Schedule of Landscape and Irrigation Maintenance (VMC Section 16.504.09 (G.9.d))
 - d. Landscape Irrigation Audit Report (VMC 16.504.09 (G.9.e))
 - e. Soil Analysis Report (VMC Section 16.504.09 (G.9.f))
10. Prior to occupancy/final building inspection, Applicant shall install landscaping and irrigation per approved plans. The landscape architect shall verify in writing that

the landscaping and irrigation have been installed in accordance with the approved landscape plans with respect to size, health, number and species of plants, and the overall design concept.

11. Litter shall be removed from all landscaped areas in a timely fashion. (VMC Section 16.504.08 (B))
12. Turf areas shall be mowed on a regular basis and be kept green. Accumulation of leaves, twigs, bark, and other similar materials shall be removed on a regular basis. Planting areas shall be kept free of weeds at all times. (VMC Section 16.504.08 (C))

Fences and Screening

13. Installation. Prior to occupancy/final building inspection, Applicant shall have installed all fencing per approved plans, including the six-foot soundwall along the western project boundary, adjacent to the residential zoning district. Said soundwall may not obstruct the view of the building or parking areas as seen from the street.
14. Maintenance. Fencing on site shall be continuously maintained with no sign of rust or disrepair. Graffiti shall be removed within forty-eight hours. (VMC Section 16.505.02 (B)).
15. Equipment Screening. All exterior mechanical equipment, whether on a roof, on the side of a structure, or located on the ground, shall be screened from public view. Exterior mechanical equipment to be screened includes, without limitation, heating, ventilation, air conditioning, refrigeration equipment, plumbing lines, ductwork, transformers, smoke exhaust fans, water meters, backflow preventers, service entry section, back-up and emergency generators, and similar utility devices.
 - a. Screening shall be architecturally integrated into the main structure with regard to materials, color, shape, and size to appear as an integral part of the building or structure.
 - b. Equipment shall be screened on all sides, and screening materials shall be opaque.
 - c. When screening with plants, evergreen types of vegetation shall be planted and maintained. Plant material sizes and types shall be selected and installed so that, at the time of building occupancy, such plants effectively screen their respective equipment.
 - d. The use of wood expanded metal lath, and chain link for the purpose of screening is prohibited. (VMC Section 16.505.10)

Lighting

16. Lighting shall be designed, located, and installed to be directed downward or toward structures, be shielded or fully shielded, and shall be well-maintained in order to prevent glare, light trespass (unwanted light on adjacent lots and public

rights-of-way), and light pollution to the maximum extent feasible. No permanently installed lighting shall blink, flash, or be of unusually high intensity or brightness, as determined by the Director. (VMC Section 16.506.04 (B)) Time clocks or photo-sensor systems may be required as a condition of approval of a discretionary permit. (VMC Section 16.506.04 (D))

On-Site Alcoholic Beverage Service

17. Prior to serving alcoholic beverages for events, each event operator shall obtain a special events permit from the Alcohol of Beverage Control (ABC) for the special event.
18. The serving alcoholic beverages shall only be provided by licensed individuals that are allowed to serve alcohol in accordance with the ABC license/permit.
19. The applicant shall be responsible for ensuring individual event hosts comply with all requirements related to on-site alcoholic beverage service. The Business Plan, dated May 2025, and any related rental agreements/contracts for individual events serving alcohol, shall include the following minimum operational requirements related to alcohol beverage service:

Alcohol Server Requirements (Business Plan Section 4.1)

- a) All bartenders and servers at an event must not consume alcohol during the event.
- b) At all events, a bartender or trained server(s) is required to monitor the distribution and consumption of alcohol. Alcohol must be attended at all times. The distribution of alcohol must be monitored throughout the event.
- c) If hosting a public event, proof of age must be checked at all entrances to an event and at the point of service. Guests must wear a wristband or other non-duplicable proof of legal drinking age. Proof of age should be checked when alcohol is served. Hosts are required to attach the bands for the guests.
- d) Alcohol may not be served to any individual who is under 21 years of age. Violation of this section may result in fines, legal action, or both.
- e) Alcohol shall be stored and dispensed in a controlled service area accessible only to designated server(s). Common containers of alcoholic beverages shall not be allowed unless controlled by the server (i.e. a bottle of wine may not be set on the table for guests or visitors to serve themselves but must be poured into a glass by the designated server).
- f) The event must be confined to the assigned room or facility. Alcohol must remain within the event facility.

- g) No containers, either open or closed, may leave the event area or designated space.
- h) Hosts may use a 3rd party vendor cash bar with up-to-date license(s) and insurance.
- i) Security guard personnel will be mandated to be informed of facility alcohol policy and coordinated with alcohol server(s)/bartender(s) to ensure safety of guests, visitors, and management.
- j) Activities which encourage the rapid consumption or the consumption of large amounts of alcohol, including drinking game “keg-stands”, are prohibited.
- k) Alcohol may not be served to any individual(s) who is/are evidently intoxicated, unsolicited, or unwanted by either event host or deemed to be a hazard to the safety and well-being of assembly.
- l) Serving alcoholic beverages shall end at least one hour before the end of the event (also known as the “last call”).
- m) Event hosts/servers are strongly encouraged to receive responsible beverage service training.

Applicable VMC Requirements (Section 16.305.02.B):

- n) Notices shall be prominently displayed that prohibit loitering and littering, and request patrons to not disturb neighbors or block driveways. The following signs shall be prominently displayed on the site, in a readily visible manner:
 1. “California State Law prohibits the sale of alcoholic beverages to persons under 21 years of age”; and
 2. “No loitering or public drinking”; and
 3. “It is illegal to possess an open container of alcohol in the vicinity of this establishment”
- o) A copy of the conditions of approval and the applicable ABC license shall be required to be kept on the premises and presented to any law enforcement officer or authorized city official upon request at all times and during any event where alcohol is being served.

20. The facility shall be subject to inspection by city staff at any time, including the chief of police, or their designee, if it finds that criminal or nuisance activities are occurring on or near the premises.

21. If the facility undergoes a change of ownership, the establishment shall be subject to review pursuant to Chapter 16.603, Zoning Compliance Review, to ensure compliance with the existing major use permit.

General Requirements During Operation/Events

22. Event hosts are required to retain a minimum of two (2) security guards per event; however, additional guards may be required at a rate of one additional guard per every 60 expected attendees.
23. The site shall be maintained free of litter and graffiti at all times. The owner or event operator shall be responsible for immediate removal of trash, litter, and debris from premises and on all abutting sidewalks with twenty feet of the premises. One permanent, non-flammable trash receptacle shall be maintained near all public entrances and exits to the establishment.
24. Notices shall be prominently displayed that prohibit loitering and littering and request patrons to not disturb neighbors or block driveways.
25. Employees of the establishment shall walk a 100-foot radius from the facility at some point prior to 30 minutes after closing and shall pick up and dispose of any discarded beverage containers and other trash left by patrons.
26. During the event, all exterior doors shall remain closed.
27. Events shall not commence earlier than 8:00 a.m. and end no later than 12:00 a.m. (midnight).
28. Event hosts shall be required to: 1) offer shuttle or valet services for events; 2) encourage the use of mobile app ride-sharing services (such as Uber or Lyft), and 3) provide maps and directions for available public parking lot locations to event patrons.

General Requirements

29. Effective Date and Expiration. This approval shall become effective immediately following the appeal period of ten (10) calendar days, unless an appeal is filed. Pursuant to VMC Section 16.602.12(A)(14), approval of this application shall automatically expire two years from the date of approval, or January 29, 2028, unless rights are exercised or extended. If a permit is granted in conjunction with approval of new construction, the issuance of a Building Permit shall constitute the exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - a. The Building Permit expires;
 - b. Final inspection is not completed, or Certificate of Occupancy is not issued within the time specified as a condition of project approval; or
 - c. The rights granted under the permit are not exercised within one year following the earliest to occur of: issuance of a Certificate of Occupancy, or

if no Certificate of Occupancy is required, the last required final inspection for the new construction. (Section 16.602.12.B.15 of the VMC).

30. Indemnification. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

B. BUILDING DIVISION

1. Prior to issuance of a building permit for the project, applicant shall work with the Chief Building Official to ensure resolution of any past interior remodel work that may have been conducted without permits (see Building Investigation No. IN11-0191 for details). Owner/applicant shall be required to schedule an inspection to verify the violation was abated, and/or obtain permits for any work that was previously done without permits.
2. Prior to issuance of building permit for the project, applicant shall work with the Chief Building Official to either close out or withdrawal the existing Tenant Improvement Permit No. TI08-0042.
3. All construction and Seismic retrofit must Comply with the current code is Title 24, California Building Code, California Building Standards California Historical code, California Existing Building code, and ASCE/SEI 41-13.
4. Based on the original use of the building, owner/architect shall evaluate the building for a change of occupancy from Office (B-occupancy) to that with a higher public density (A-occupancy) to accommodate the banquet use. We are unaware of any documentation as to what code the building was designed and built to, or that any structural evaluation has been performed.
5. Prior to issuance of a building permit for the project, the applicant must provide a seismic structural evaluation, or proof of completed seismic structural upgrades, to ensure the structure is in compliance with applicable building codes for the proposed change in occupancy.
6. All items above must be completed before a certificate of occupancy is issued.

C. FIRE PREVENTION DIVISION

1. Prior to final Inspection, in accordance with the 2019 California Fire Code rooms or areas containing controls for HVAC systems, electrical panels, automatic fire extinguishing systems, fire alarm equipment or other detection, suppression or control elements shall be identified with appropriate signs.
2. Prior to final inspection, the minimum fire-extinguisher requirement shall be one 2A-10BC rated portable unit in such locations so that maximum floor-travel distance does not exceed 75' to the nearest extinguisher from any portion of the building with a maximum of 3,000 square feet of floor area surveyed. Plan submittal shall include the proposed location of extinguishers. Final location shall be approved in the field by the Fire Department.
3. All fire extinguishers shall be mounted in a conspicuous and readily accessible location either on a bracket or within an approved storage cabinet. Fire extinguishers shall be mounted so the top of the unit is 3 feet to 5 feet off the finished floor. If the extinguisher is not readily visible, a sign shall be located directly above the extinguisher. The sign shall be legible and of a contrasting color with its background. Final installation measures and identification signage shall be approved in the field by the Fire Department prior to final inspection.
4. Interior and exterior means of egress illumination shall be provided and maintained at any time the building is occupied. The means of egress shall be illuminated of not less than 1 foot candle power and shall be approved by the Fire Prevention Division prior to sign-off of the final inspection.
5. Emergency exit lighting shall be provided at or near all exits and as designated by the Fire Marshal. Final exit lighting shall be approved by the Fire Marshal prior to sign-off of the final inspection.
6. In accordance with the 2019 California Fire Code Chapter 10, all emergency lighting and exit signs lights shall have two separate sources of power.
7. Panic and fire exit hardware. Doors serving an assembly occupancy with an occupant load of 50 or more shall not be provided with a latch or lock unless it is panic hardware or fire exit hardware.
8. Guard rails and hand rails are required at rear exit dock area.
9. Front door exits shall be repaired or modified to open in the direction of travel without obstruction of the concrete surface or mechanical interference.
10. Deadbolt must be removed from rear exit.
11. Electrical junction boxes and electrical hazards shall be abated.
12. All buildings shall comply with the 2019 California Building Code, Chapter 10 Means of Egress requirements. Including but not limited to; exit signs, exit doors, exit hardware and exit illumination.
13. Post an occupant load sign in a conspicuous place near the main exit from all rooms designated as "Assembly Areas". The sign shall read as follows;
Maximum Occupants;

General_____

Dining_____ (calculations shall be provided by the Architect)

14. Businesses will require an annual fire department permit for "Places of Assembly" A permit fee of \$386 will be due and payable annually.
15. A flush-mounted (recessed) Knox Box (key box) mounted no higher than 5 feet above the finished floor containing appropriate keys for emergency Fire Department access shall be provided. The minimum size box is the 3200 series with a hinged door and recessed mounting kit. The tamper kit is not required; box color may be any of the Knox options. It takes approximately 2 weeks for delivery. For more information call the Fire Prevention Division at (707) 658-4565 or visit www.knoxbox.com
16. Keys for the Knox Box entry system required by the Fire Department shall be attached to durable tags with permanent marking identifying the door(s) or lock(s) that the key functions with. i.e. "MASTER" or "MECHANICAL ROOM".
17. A Manual Fire Alarm System with occupant notification is required. Please submit 2 sets of plans, and 1 set of specifications to the Fire Department for approval.
18. All open electrical wiring must be terminated and in approved junction boxes.
19. Fire Sprinkler System located on the first floor must have 5 year and annual inspection certifications.

D. PUBLIC WORKS

1. C.3. Submit Pre-Application Stormwater Control Plan Checklist.
2. C.3. Plans to show property lines and limits of work. Plan to clearly present C.3 scope of work. Plans to call out what (and where) C.3 and related improvements are proposed, and what existing features are to remain.
3. PARKING. Submit a valet parking operations plan.
4. PARKING. All on-site parking stalls shall be on private property. During building permit submittal, remove parking spaces shown on Kissell Alley that appear to encroach into the alley right-of-way.
5. PARKING LOT. Repair the paved surfaces in the parking lot.
6. FRONTAGE. Project is required to implement frontage improvements on Carolina Street. This includes upgrading the existing driveway to current ADA standards. See City DWG 3-15.
7. FRONTAGE. Project is required to implement frontage improvements on Marin Street. This includes upgrading existing curb ramps at Carolina Street and at Kissell Alley to current ADA standards.
8. STREETLIGHT. Install one streetlight on Carolina Street per City standard.
9. ADA. Project shall comply with ADA accessibility requirements. The project plan shall include ADA requirement for review. (VMC Chapter 16.75.030; PW22)

E. POLICE DEPARTMENT

1. Applicant shall require security guards to utilize metal wands at entrances during all events.
2. Applicant shall install improved lighting for the parking lot to ensure good visibility throughout the site, and high quality, motion detected genetec type cameras, or similar (such as Flock Safety cameras). All security improvements shall be installed prior to the first event, and all security footage shall be made available to the Police Department for review upon request.

**Exhibit B – General Plan Compliance
Planning Commission Resolution No.26-XX**

General Plan 2040 Policies and Actions	
<p>Policy NBE-1.10: Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.</p>	<p><i><u>Facts in support:</u> The proposed project will reuse a historic building and rehabilitate the entryways. The project proposes to preserve all character-defining exterior architectural features as well as the character-defining interior lobby, which are original to the building.</i></p>
<p>Policy NBE-1.11: Historic Districts. Preserve the integrity of the City’s historic districts, including downtown, as physical changes occur within them.</p>	<p><i><u>Facts in support:</u> This project supports the preservation and reuse of a City Landmark within the St. Vincent’s Historic District. The project will also provide a new use for the space, allowing local residents to regain access to a public building that has been vacant for many years. Utilization of the property as an event venue will revitalize the building and help to provide for its ongoing maintenance, repair, and restoration.</i></p>
<p>Policy NBE-1.12: Historic Preservation. Promote community awareness of the benefits of historic preservation.</p>	<p><i><u>Facts in support:</u> Due to the high-profile and visibility of this project, it will promote community awareness as well as the connection between this historic resource and the economic well-being of the community by giving new purpose to a vacant building, incentivizing other property owners to also invest in rehabilitation.</i></p>
<p>Policy EET-1.3: Visitor Destination. Make Vallejo an important visitor destination in the bay area.</p>	<p><i><u>Facts in support:</u> The proposed use of an event space will attract visitors and businesses to utilize this City Landmark and support development of downtown.</i></p>
<p>Policy EET-1.5: Arts and Entertainment. Foster a vibrant local arts community to strengthen Vallejo’s position as a regional destination for arts and entertainment.</p>	<p><i><u>Facts in support:</u> The project will provide a new venue for arts and entertainment activities, community events, festivals, and other types of events.</i></p>
<p>Policy CP-3.8: Recreational and Cultural Facilities. Encourage recreational and cultural venues in neighborhoods, corridors, urban villages, and downtown, including private commercial recreational facilities, to complement activities and programs provided by GVRD.</p>	<p><i><u>Facts in support:</u> This project will create a new cultural venue within a Neighborhood Corridor within the St. Vincents Historic District. The project will allow the public to access this City Landmark, offering an opportunity to rent the historic building and grounds to host events.</i></p>

Exhibit C – Zoning Compliance

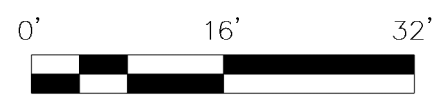
Planning Commission Resolution No.26-XX

Table 2 – NMX Applicable Development Standards			
Development Standard		Proposal	Compliant
<i>VMC Chapter 16.203 (Table 16.203-A) – NMX District</i>			
<i>Minimum Lot Size</i>	<i>5,000 sq.ft.</i>	<i>26,000</i>	<i>Yes</i>
<i>Minimum Lot Width</i>	<i>50 feet</i>	<i>140 feet</i>	<i>Yes</i>
<i>Maximum Non-Residential Floor Area Ratio</i>	<i>2.0</i>	<i>45.9% to 52%</i>	<i>Yes</i>
<i>Minimum Setbacks</i>	<i>Front: 0 feet</i>	<i>No change to existing</i>	<i>Yes</i>
	<i>Interior: 0, where abutting R District</i>	<i>20 feet from alley</i>	<i>Yes</i>
	<i>Rear: 5 feet</i>	<i>66 feet 9 inches</i>	<i>Yes</i>
	<i>Corner Build Area: 30 feet</i>	<i>Building is built within 30 feet</i>	<i>Yes</i>
<i>Building Maximum Height</i>	<i>5 stories; 75 feet</i>	<i>2 stories; 28 feet 1 inch</i>	<i>Yes</i>
<i>Ground Floor Minimum Height</i>	<i>15 feet</i>	<i>28 feet 1 inch</i>	<i>Yes</i>
<i>First Floor Ceiling Minimum Height</i>	<i>12 feet</i>	<i>18 feet 6 inches</i>	<i>Yes</i>
<i>VMC Chapter 16.203 – NMX District</i>			
<i>Street Trees</i>	<i>30 feet on center, at least 15 gallons in size when planted and 10% will be at least 24-inch box</i>	<i>4 street trees 30 feet on center; 22 total trees shown on plans and all are 24-inch box</i>	<i>Yes</i>
<i>Orientation</i>	<i>Facades shall be designed to be oriented towards the public street or to a common courtyard, if provided.</i>	<i>Facades facing the street are enhanced with multiple entrances, windows and architectural features.</i>	<i>Yes</i>
<i>VMC Chapter 16.313 – Community Assembly</i>			
<i>VMC Section 16.313.02.A: Maximum lot area</i>	<i>The total lot area in any residential zoning district shall not exceed forty thousand square feet</i>	<i>26,000</i>	<i>Yes</i>
<i>VMC Section 16.313.02.B: Buffer Required</i>	<i>At least 20 feet adjacent to any residential zoning district. This buffer area may be used for parking or landscaping but shall not be used for structures or outside activities. Where a buffer is used for parking, at least four feet of landscaping shall be provided along the length of the parking</i>	<i>A buffer of 66 feet 9 inches has been provided. The buffer is used for parking and landscaping, with four feet of landscaping provided along the length of the parking lot.</i>	<i>Yes</i>
<i>VMC Section 16.313.02.B(1-3): Buffer Areas</i>	<i>B1 – Exceptions permitted (N/A) B2 – Parking areas shall be screened consistent with Chapter 16.504</i>	<i>The parking lot is screened in compliance with Chapter 16.504.</i>	<i>Yes</i>

	<i>B3 – Outdoor areas used for recreation, meetings, services or other activities involving groups of persons shall be at least fifty feet from any residential zoning district or use (N/A)</i>		
VMC Section 16.501.08 – Solid Waste, Recycling and Organic Waste Storage			
<i>VMC Section 16.501.08(D): Size</i>	<i>Enclosures must be sized to accommodate all dumpsters, and or solid waste, recycling and organic waste carts or containers picked up by the city or its franchise waste hauler(s).</i>	<i>The proposed trash enclosure would be of appropriate size to accommodate all required containers.</i>	Yes
<i>VMC Section 16.501.08(E): Location</i>	<i>All solid waste, recycling, and organic waste storage areas shall be located: a. Outside of any required parking, driveway, landscape, utility easement, or setback area, unless there is no feasible alternative; b. A minimum of five feet from an adjacent parking space; c. At minimum of five feet from the property line of an abutting single-unit residential zoning district; and d. A minimum of ten feet from the public right-of-way line or access easement.</i>	<i>The proposed trash enclosure would be located adjacent to the rear of the existing building, outside of any required parking, driveway, landscape, utility easement, or setback area, and more than five feet from parking and the abutting residential zoning district.</i>	Yes
<i>VMC Section 16.501.08(F): Visibility</i>	<i>1. Solid waste, recycling, and organic waste enclosures must not be visible from a public right-of-way as required by Vallejo Municipal Code Section 7.54.030 (R). 2. All outdoor storage of solid waste, recycling, and organic waste materials, and other items or material intended to be discarded or collected shall be screened from public view. 3. On property where solid waste, recyclable, and organic waste materials are both stored and collected adjacent to an alley or other public right-of-way, the solid waste and recyclable materials shall be designed or approved by the director as follows: a. Screened from public view on at least three sides by a solid opaque impact-resistant wall not less than five feet or more than eight feet in height; and</i>	<i>The enclosure would not be visible from the public right-of-way as it will be installed in the rear of the building.</i>	Yes

	<p>b. Screened on the fourth side by a solid opaque impact-resistant gate not less than five feet or more than eight feet in height, or of other such material or design.</p> <p>c. The gate securing the area shall be maintained in working order and shall remain closed except during such times as solid waste, recycling, and organic waste materials and other such items are being discarded, placed for collection, or collected.</p>		
<p>VMC Section 16.501.08(I): Materials, Construction and Design</p>	<p>1. Minimum Height of Screening. Solid waste and recycling storage areas located outside or on the exterior of any building shall be screened with a solid enclosure at least six feet high and include a roof structure.</p>	<p>The enclosure is 8 feet 11 inches in height.</p>	<p>Yes</p>
	<p>2. Enclosure Material. Enclosure material shall be wood, solid masonry, or concrete tilt-up with decorated exterior-surface finish. The trash enclosure shall match and complement the color scheme and architecture of the building.</p>	<p>The enclosure would be constructed with solid masonry matching the color scheme of the building.</p>	<p>Yes</p>
	<p>3. Gate Material. Latching, view-obscuring gates shall be provided to screen trash enclosure openings.</p>	<p>The gate would be a latching, view-obscuring gate.</p>	<p>Yes</p>
	<p>4. Access to Enclosure from Residential Projects. Each solid waste, recycling, and organic waste enclosure serving a residential project shall be designed to allow disposal to the appropriate receptacle without having to open the main enclosure gate.</p>	<p>Not applicable</p>	<p>Not applicable</p>
	<p>5. Enclosure Pad. Pads shall be a minimum of four-inch-thick concrete.</p>	<p>The pad would be a minimum of 4-inch thick concrete.</p>	<p>Yes</p>
	<p>6. Bumpers. Bumpers shall be two inches by six inches thick and made of concrete, steel, or other suitable material, and shall be anchored to the concrete pad.</p>	<p>The bumpers would be concrete curbs, anchored to the concrete pad.</p>	<p>Yes</p>
	<p>7. Protection for Enclosures. Concrete curbs or the equivalent shall protect enclosures from adjacent vehicle parking and travel ways.</p>	<p>The concrete curbs are proposed to protect the enclosure.</p>	<p>Yes</p>

	8. Clear Zone. The area in front of and surrounding all enclosure types shall be kept clear of obstructions, and shall be painted, striped, and marked "No Parking."	As shown in the plans, the area in front of the enclosure would be kept clear of obstructions and is not within the parking lot.	Yes
	9. Drainage. The floor of the enclosure shall have a drain that connects to the sanitary sewer system.	As conditioned the floor of the enclosure would have a drain that connects to the sanitary sewer system.	Yes
VMC Chapter 16.504 – Landscaping			
VMC Table 16.504-A: Minimum % of Landscaping Area	20%; 5,200 sq feet	23%; 5,979.37 sq feet	Yes
VMC Chapter 16.508 – Off-Street Parking			
VMC Table 16.508-B: Minimum Number of Off-Street Parking Spaces	1 per 80 sq feet of indoor assembly area; 90 total spaces needed for 7,168 sq feet	21	No; Reduction requested through Minor Use Permit – See section below.
Required Landscape Islands and Buffers	A landscaped island that is at least four feet wide and nine feet long (the length of a parking stall) and containing at least one fifteen-gallon-size tree shall be provided at each end of each interior row of parking stalls and between every eight consecutive parking stalls.	The project includes a 4-foot by 9-foot landscaped island between at minimum eight consecutive parking stalls and in the rear between 4 consecutive stalls.	Yes
VMC Table 16.508-D: Bicycle Parking	Short Term: The greater of 1 per 2,500 sq. ft. or 2	5 spaces are provided.	Yes
	Long Term: The greater of 1 per 2,500 sq. ft. or 2	3 spaces would be provided.	Yes
VMC Section 16.508.12 (B) Bicycle Parking Location	Long-Term Bicycle Parking Spaces. Long-Term spaces shall be located with direct access for bicycles without requiring use of stairs. The design shall provide safe and convenient access to and from bicycle parking facilities.	A bike rack for long term parking would be located inside the building.	Yes
	Short-Term Bicycle Parking Spaces. Short-Term spaces shall be located, as feasible, near all main pedestrian entries to the use to which they are accessory.	5 short-term bicycle parking spaces would be located near the main entrance.	Yes



SCALE IN FEET 1"=16'

NOTE

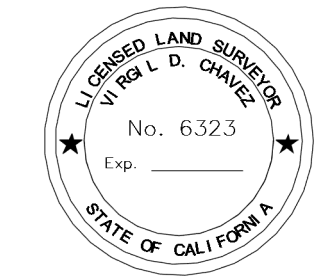
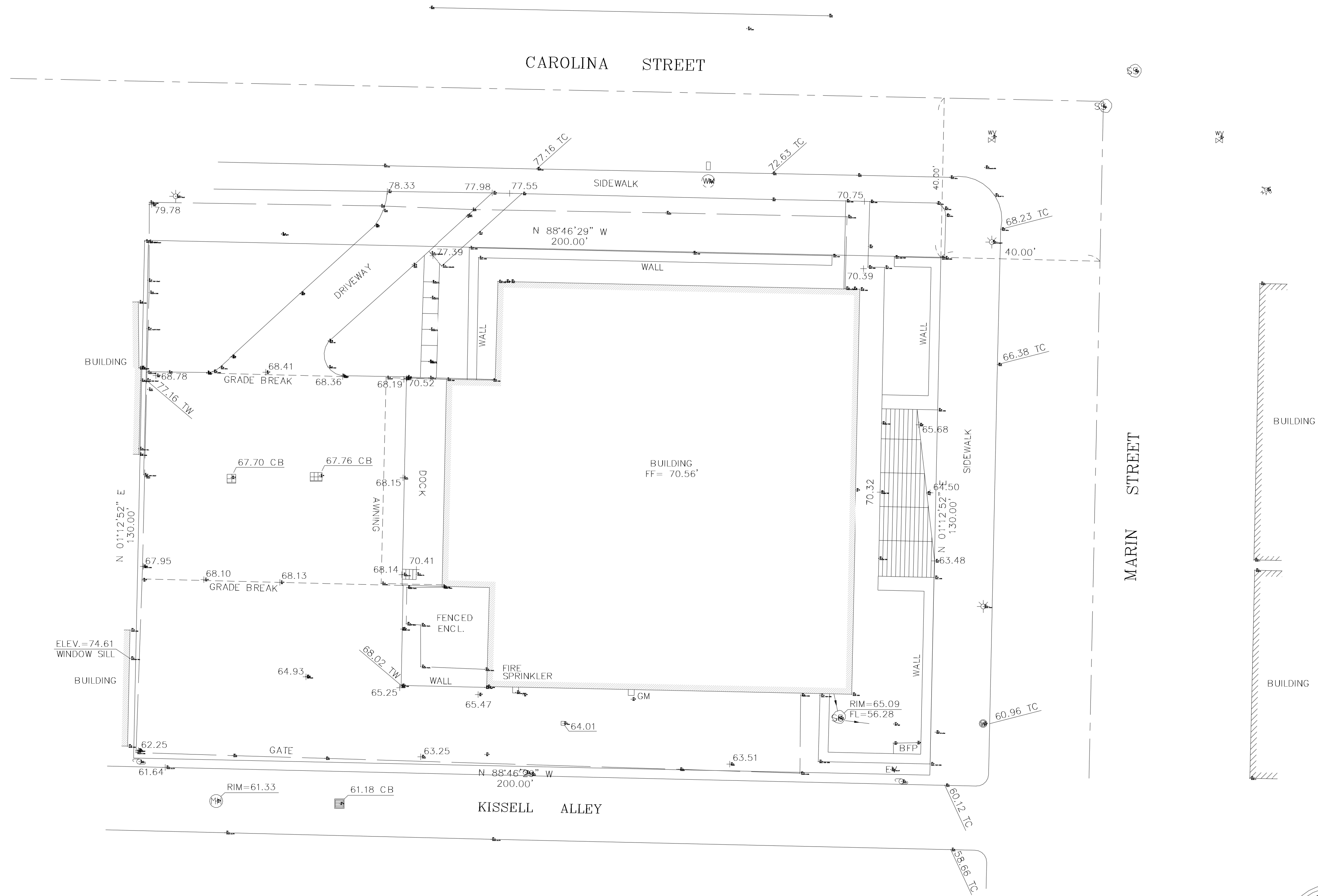
THIS IS NOT A BOUNDARY SURVEY. THE BOUNDARY SHOWN HEREON IS COMPILED FROM THE RECORD.

ELEVATION NOTE

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88

LEGEND/REFERENCES

- SANITARY SEWER MANHOLE
- OLD WATER METER
- DRAINAGE INLET
- CATCH BASIN
- J-POLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- LIGHT
- TC - TOP OF CURB
- TW - TOP OF WALL
- EV - ELECTRIC VAULT
- GM - GAS METER
- A/C - ASPHALTIC CONCRETE
- F/C - FACE OF CURB
- BFP - BLACK FLOW PREVENTER
- — — — — PROPERTY LINE
- - - - - CENTERLINE
- — — — — FENCE



TOPOGRAPHIC SURVEY

823 MARIN STREET
LOCATED IN THE CITY OF
VALLEJO
COUNTY OF SOLANO, STATE OF
CALIFORNIA

VIRGIL CHAVEZ LAND SURVEYING

1100 ROSE DRIVE SUITE 250, BENICIA, CALIF. 94510
PHONE: (707) 553-2476

DATE:	OCTOBER, 2024
DRAWN BY:	RRS
SCALE:	1" = 16'
CHECKED:	VC
PROJ. MGR:	VC
DC FILE:	432300
CAD FILE:	432300

SHEET NO.
1
OF
1 SHEETS

KEYNOTES

Design Firm:
John Howland Architects
 Architecture
 Interiors
 Planning
 1730 Sonoma Blvd
 Vallejo, CA 94590
 P: 707-552-9925
 C: 707-975-3691
 john@johnhowlandarchitect.com

Project Title:
**POST OFFICE BUILDING
 EVENT CENTER**
 823 MARIN STREET, VALLEJO, CA
 APN#: 0056-161-040

Consultant:

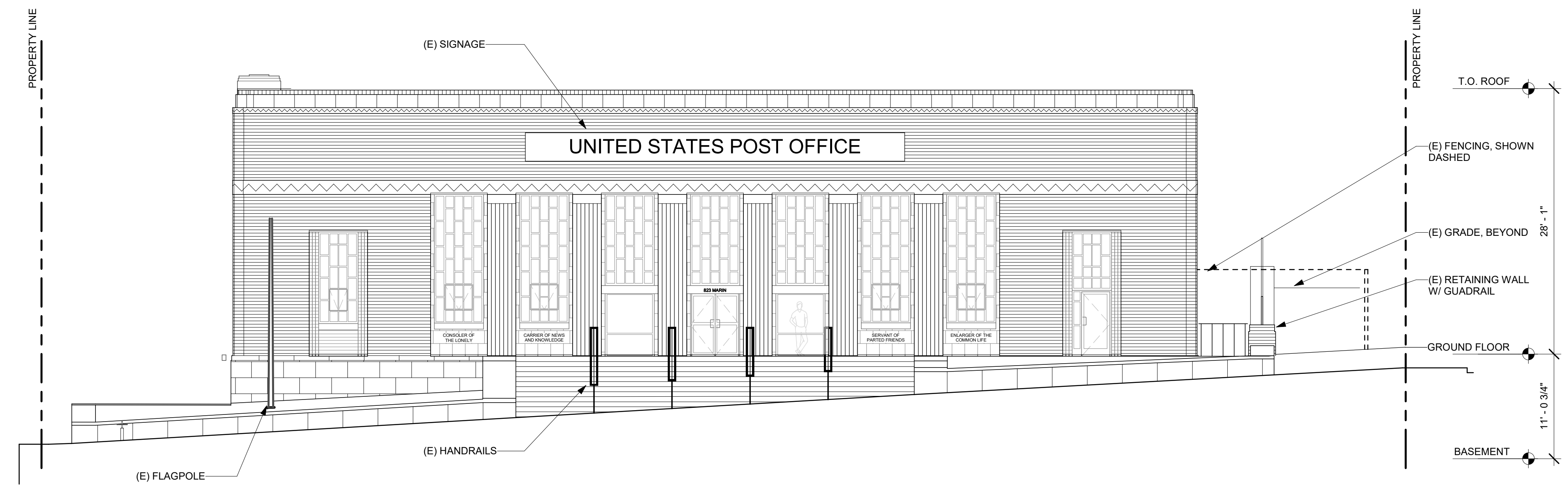
Stamp:

No.	Description	Date

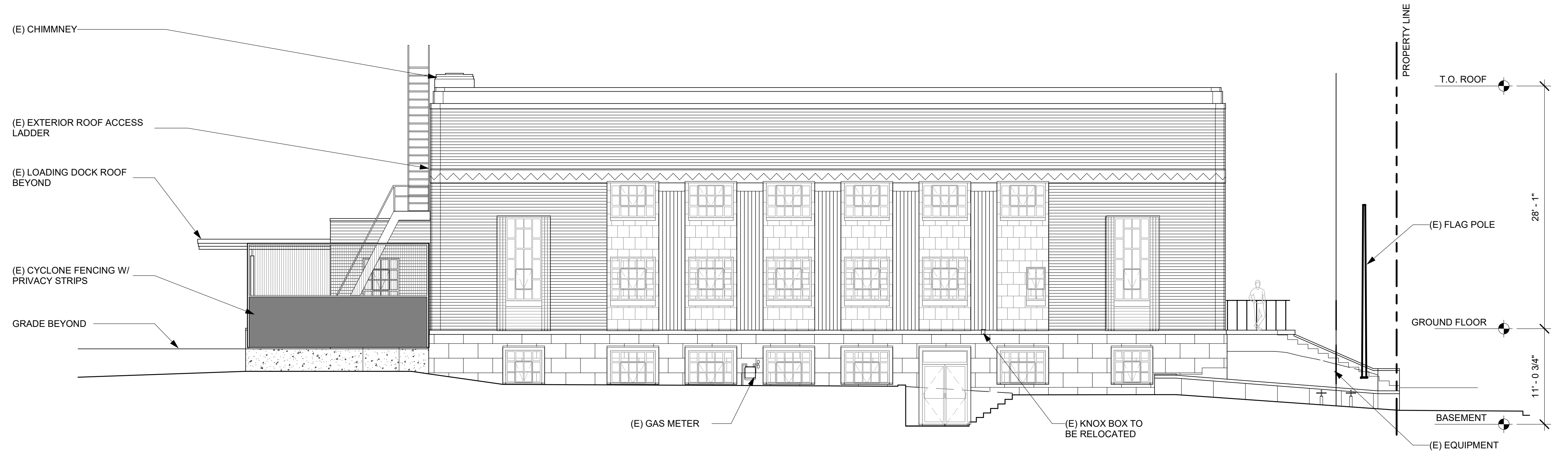
Issue Note:
**PLANNING SET
 05/19/25**

Project ID: DEL02
 File Name:
 Drawn by: BS
 Checked by:
 Plot Date: 05/19/25
 Scale: 1/8" = 1'-0"

Sheet Title:
**EXISTING
 EXTERIOR
 ELEVATIONS**
 Sheet No.:
A3.1



1
 A3.1
 EXISTING EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"



2
 A3.1
 EXISTING EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- PROPERTY LINE
- SETBACK
- (N) CMU
- (E) BRICK
- (E) GRANITE CLAD WALL
- (E) TERRA COTTA BLOCK PANEL FINISH
- (E) CONCRETE
- (E) DECORATIVE MASONRY BAND
- (E) DECORATIVE MASONRY CORNICE
- (E) TERRA COTTA FLUTED PANEL PILASTER

KEYNOTES

Design Firm:
John Howland Architects
 Architecture
 Interiors
 Planning
 1730 Sonoma Blvd
 Vallejo, CA 94590
 P: 707-552-9925
 C: 707-975-3691
 john@johnhowlandarchitect.com

Project Title:
**POST OFFICE BUILDING
 EVENT CENTER**
 823 MARIN STREET, VALLEJO, CA
 APN#: 0056-161-040

Consultant:

Stamp:

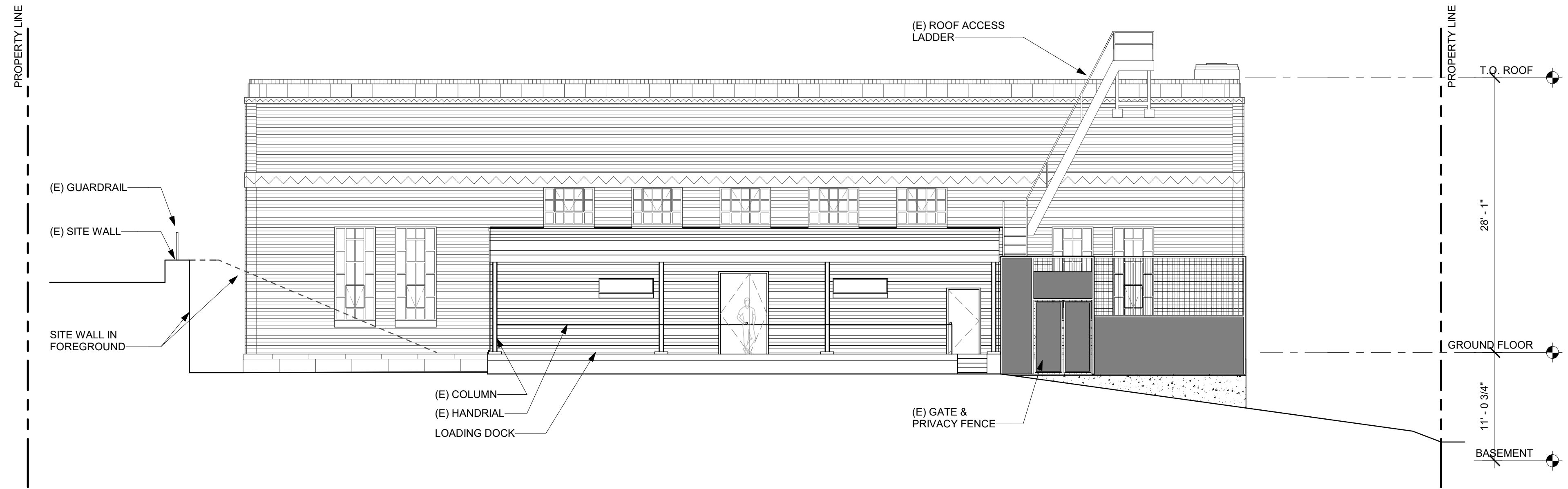
No.	Description	Date

Issue Note:
**PLANNING SET
 05/19/25**

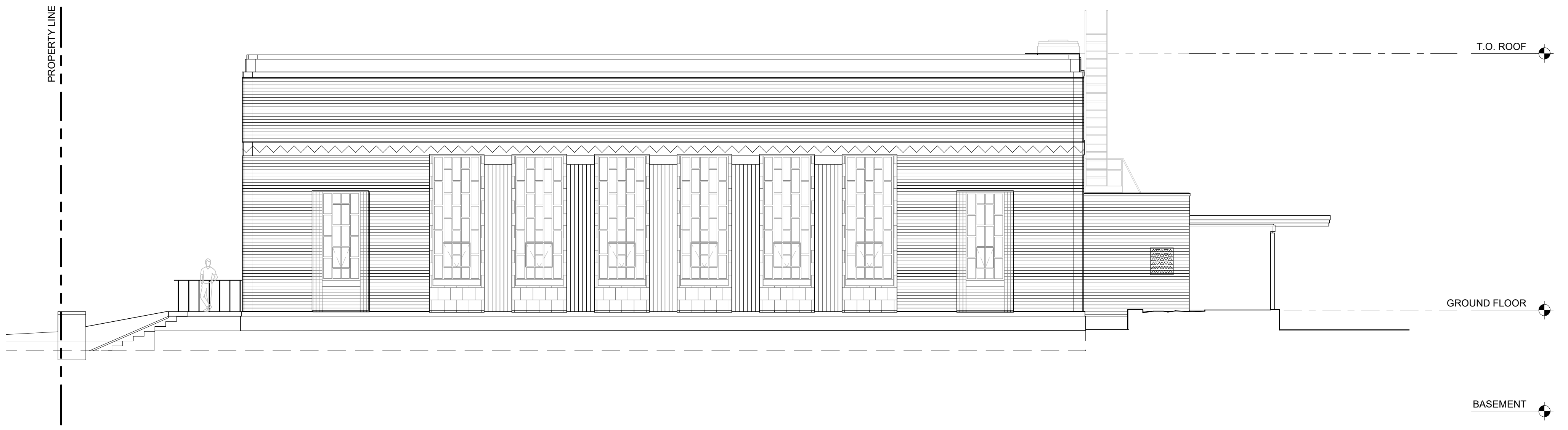
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 Drawn by: BS
 Checked by:
 Plot Date: 05/19/25
 Scale: 1/8" = 1'-0"

Sheet Title:
**EXISTING
 EXTERIOR
 ELEVATIONS**

Sheet No.:
A3.2



1
 A3.2
 EXISTING EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"



2
 A3.2
 EXISTING EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- PROPERTY LINE
- SETBACK
- (N) CMU
- (E) BRICK
- (E) GRANITE CLAD WALL
- (E) TERRA COTTA BLOCK PANEL FINISH
- (E) CONCRETE
- (E) DECORATIVE MASONRY BAND
- (E) DECORATIVE MASONRY CORNICE
- (E) TERRA COTTA FLUTED PANEL PILASTER

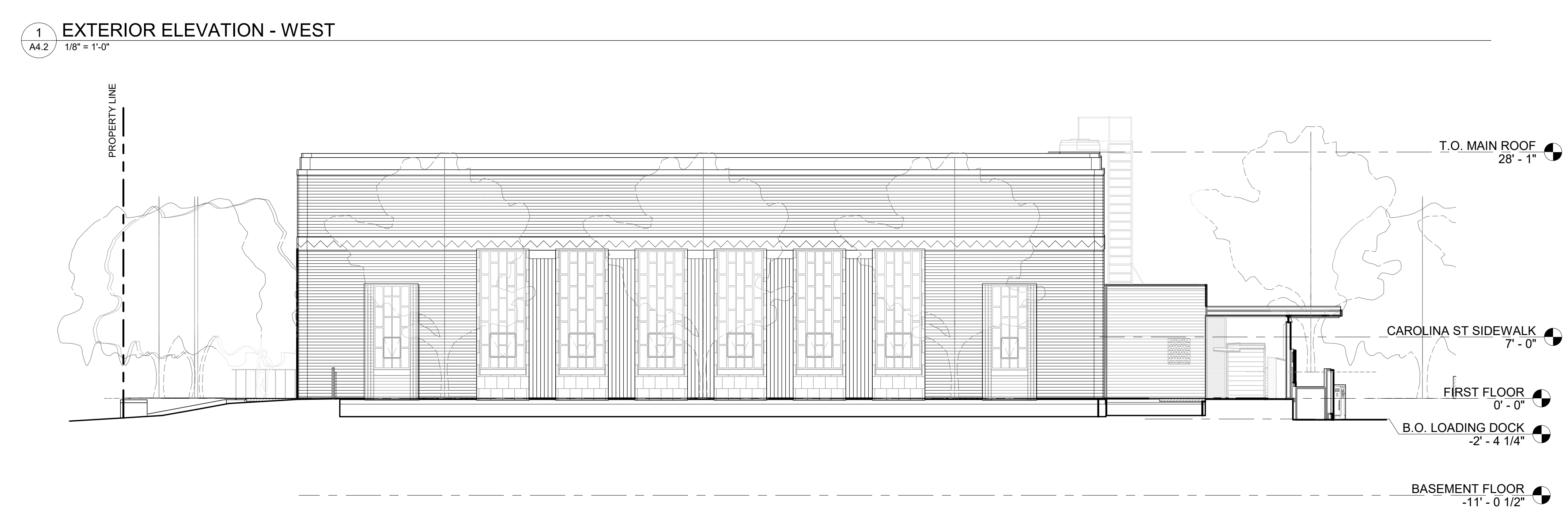
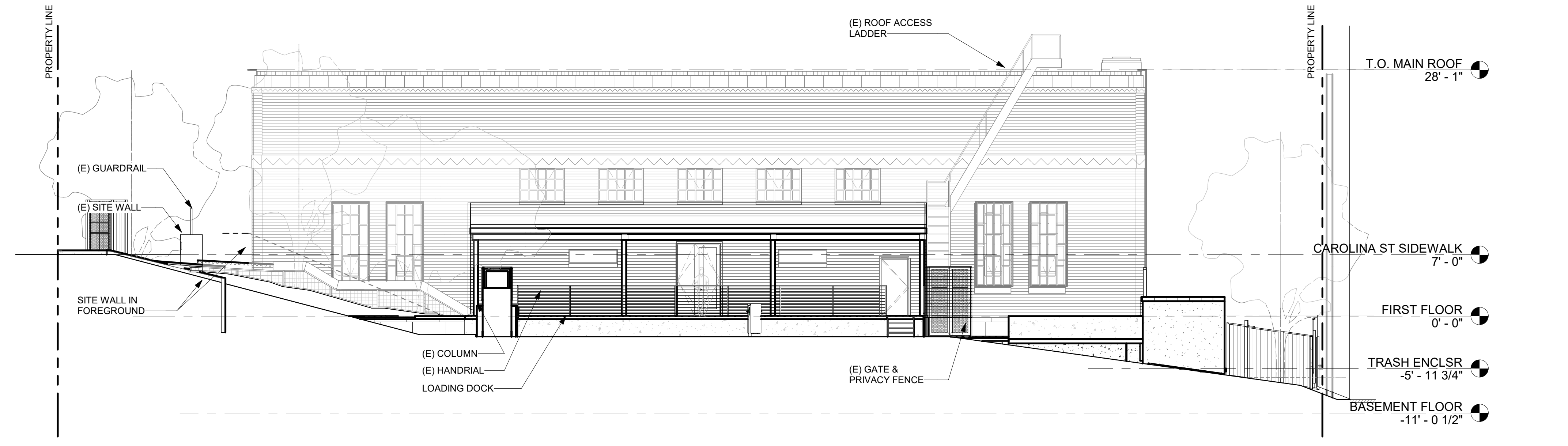
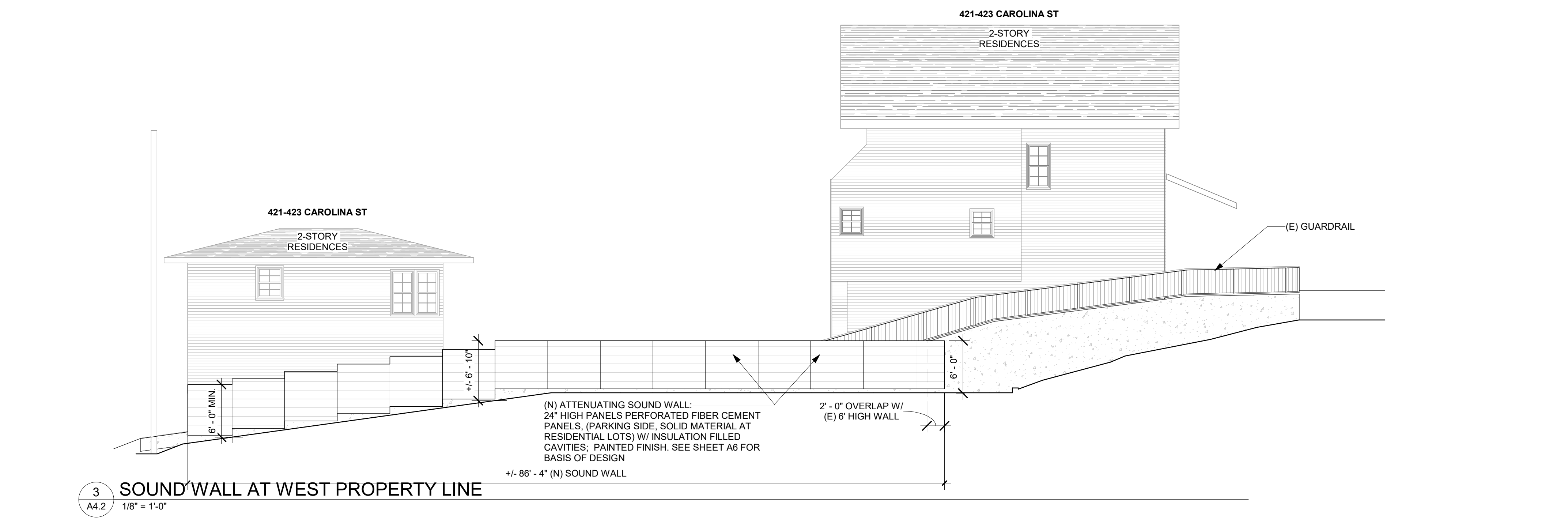
Consultant:

Stamp:

No.	Description	Date

Issue Note:
**PLANNING SET
 05/19/25**

Project ID: DEL02
 File Name:
 Drawn by: BS
 Checked by:
 Plot Date: 05/19/25
 Scale: 1/8" = 1'-0"
 Sheet Title:
**PROPOSED
 EXTERIOR
 ELEVATIONS**
 Sheet No.:
A4.2



EXTERIOR ELEVATION LEGEND

- PROPERTY LINE
- SETBACK
- (N) CMU
- (E) BRICK
- (E) GRANITE CLAD WALL
- (E) TERRA COTTA BLOCK PANEL FINISH
- (E) CONCRETE
- (E) DECORATIVE MASONRY BAND
- (E) DECORATIVE MASONRY CORNICE
- (E) TERRA COTTA FLUTED PANEL PILASTER

2
 A4.2
 1/8" = 1'-0"
EXTERIOR ELEVATION - NORTH

1
 A4.2
 1/8" = 1'-0"
EXTERIOR ELEVATION - WEST

3
 A4.2
 1/8" = 1'-0"
SOUND WALL AT WEST PROPERTY LINE

Design Firm:

**John
Howland
Architects**
Architecture
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P: 707-552-9925
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john@johnhowlandarchitect.com

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Stamp:

No.	Description	Date

Issue Note:
PLANNING SET
05/19/25

Project ID: DEL02
File Name:
Drawn by: BS
Checked by:
Plot Date: 05/19/25
Scale: 12" = 1'-0"

Sheet Title:
DETAILS

Sheet No.:
A6

Noishield® Continuline Sound Barriers

Concealed Structural Elements for a More Aesthetically Pleasing Sound Barrier System

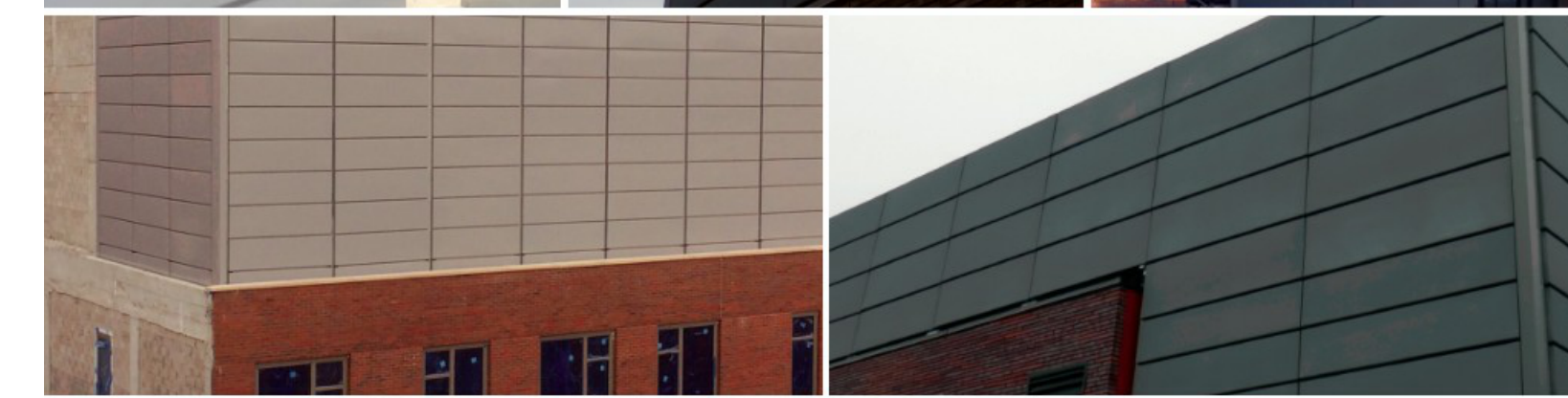
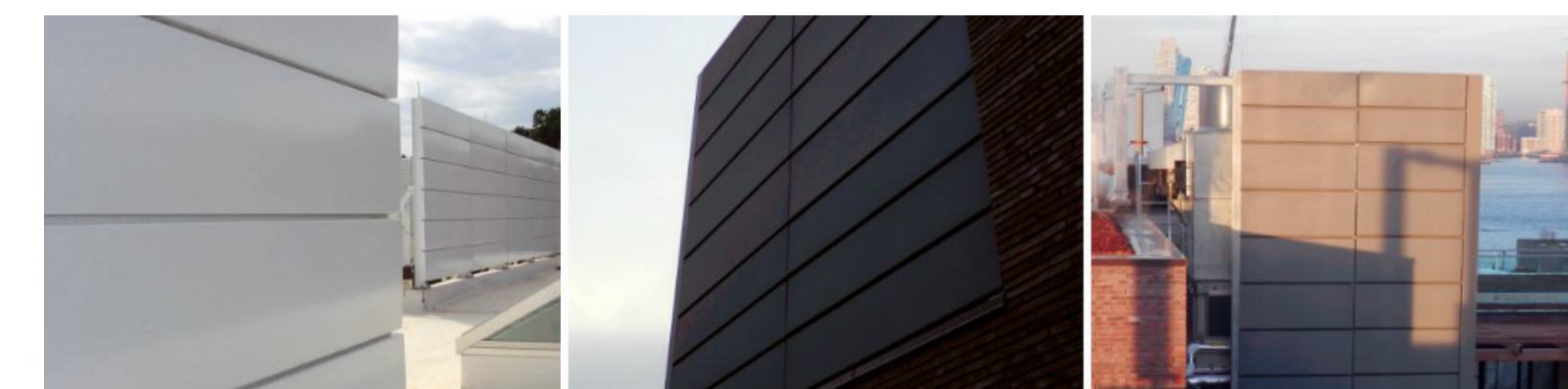


IAC's Noishield Continuline is more **aesthetically pleasing** than a traditional barrier wall — it allows architects and customers to conceal their structural members. The Continuline panels are the same construction as the standard IAC FS panels.

The key difference is the endcap — the endcap wraps the column; leaving an **architecturally pleasing** reveal that mimics the horizontal reveal already prevalent in the system.

Continuline Features:

- Superior aesthetic
- Special slotted end-caps
- Solid front face of panel conceals the column
- Acoustic & architectural screen in a single assembly & installation



Noishield Continuline Systems Offer:

- Steel or aluminum materials of construction for a choice of economy or light-weight
- Powder-coated or mill-finish (in-coated) finishes for a range of options
- Multiple panel configurations and a range of sound transmission loss, STC & sound absorption performances to match each project's unique requirements



Laboratory Rated Acoustic Performance
STC-30 to STC-33 / NRC 1.00 to 1.05



Excellent weather & corrosion resistance.
Galvanized steel materials with powder coated finish applied post assembly. Fully non-welded construction to avoid damage to galvanized coating.



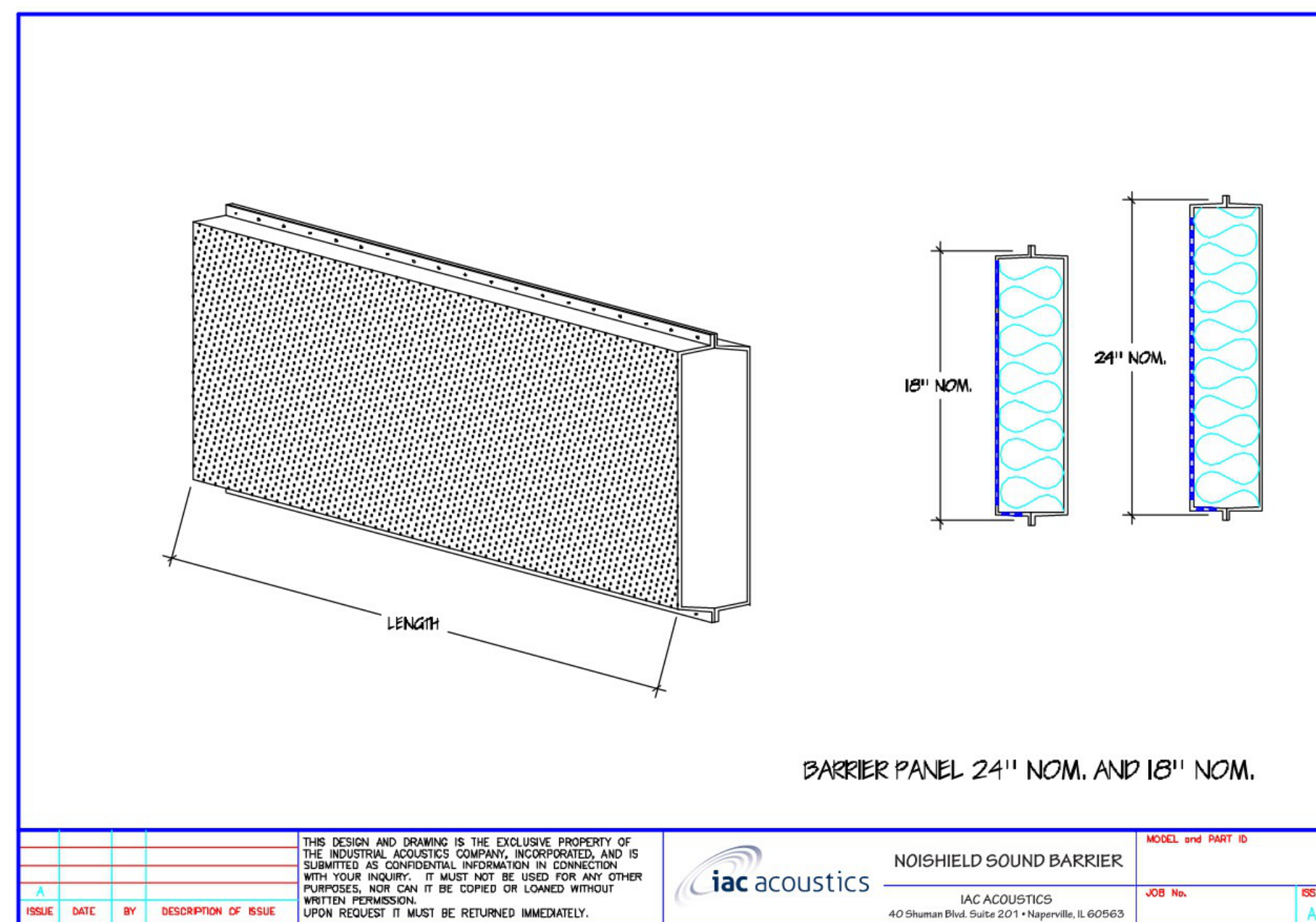
Free-standing, able to span supports of up to 20 feet depending on local codes & wind-speed requirements.

Typical Applications:

- Rooftop systems
- Train / rail systems
- Ground mounted
- Chiller, generator & compressor packages

www.iacacoustics.com |

40 Shuman Boulevard • Suite 201
Naperville, Illinois 60563
630.270.1790



2 SOUND ATTENUATING PANEL - BASIS OF DESIGN
12" = 1'-0"

1 SOUND WALL - BASIS OF DESIGN
12" = 1'-0"

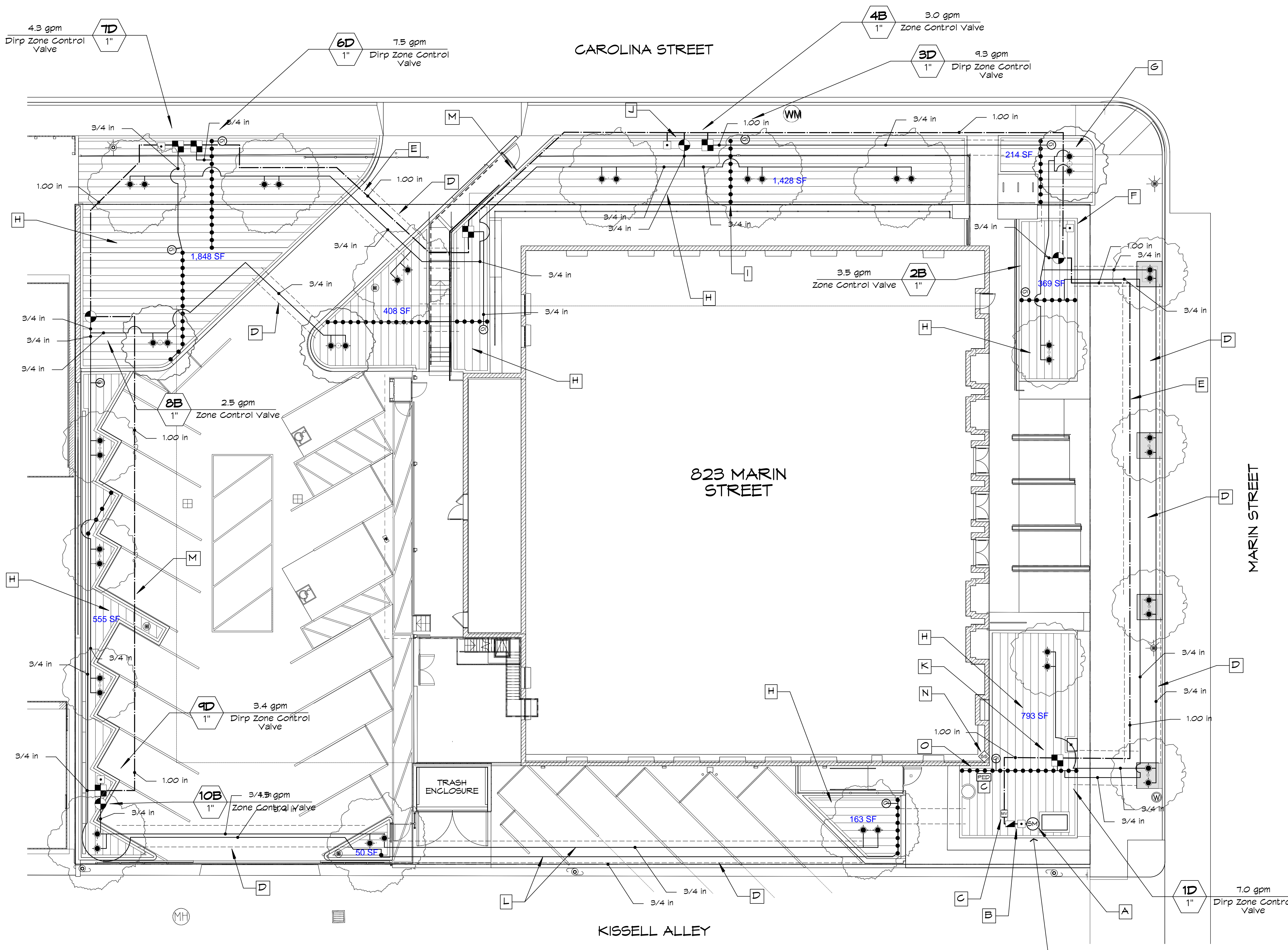
U.S.A. NOTE
 IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE, AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-642-2444 OR 1-800-227-2600 TO FIELD LOCATE ALL EXISTING UTILITIES.

THESE DRAWINGS COMPLY WITH THE CRITERIA OF THE ORDINANCE. ORDINANCE REQUIREMENTS HAVE BEEN APPLIED FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN AND THE LANDSCAPE DESIGN PLAN.

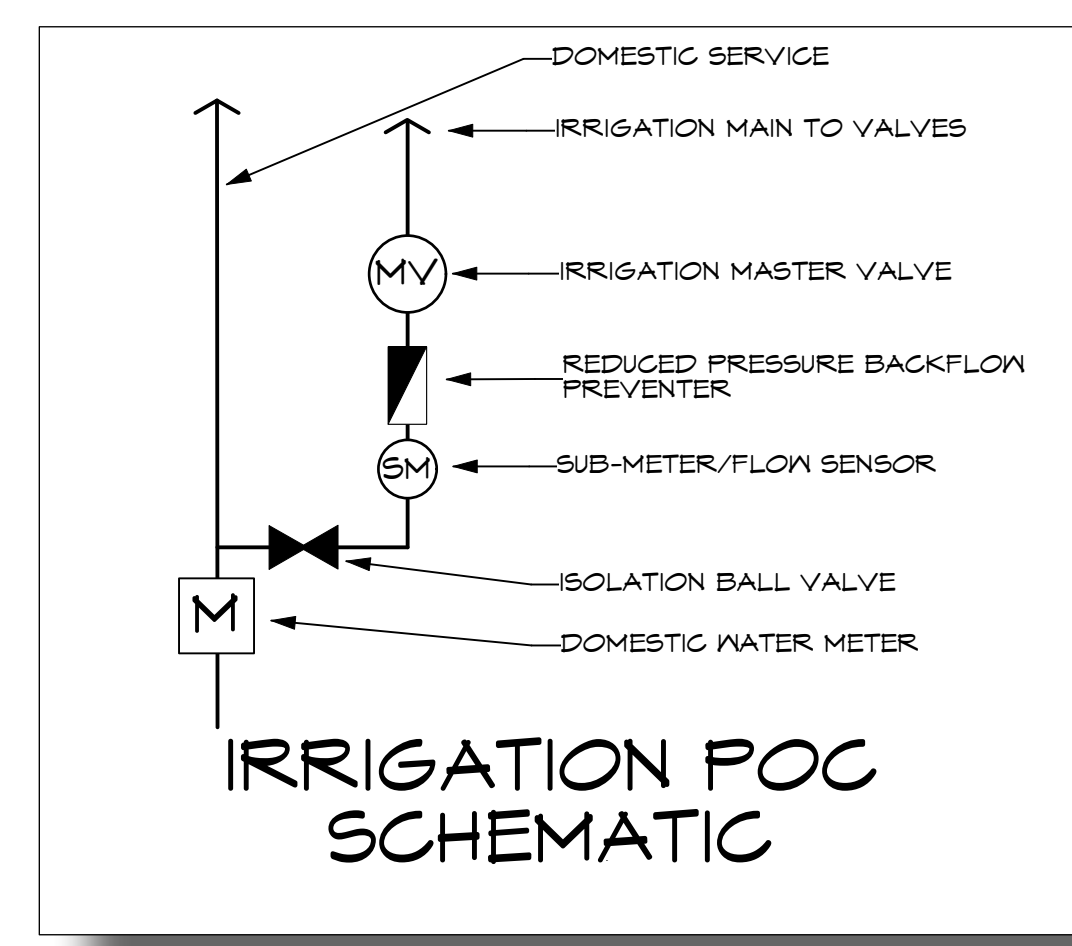
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MACNAIR
 LANDSCAPE ARCHITECTURE
 POST OFFICE BOX 251
 KENWOOD, CALIFORNIA 95452
 TEL: (916) 833-2288
 FAX: (916) 833-2288
 don@macnairlandscape.com



- IRRIGATION KEYNOTES**
- A POC AT DOMESTIC WATER LINE; REFER TO SCHEMATIC DRAWING THIS SHEET
 - B 3/4" REDUCED PRESSURE BACKFLOW PREVENTER
 - C 1" MASTER VALVE
 - D TYPICAL IRRIGATION SLEEVE BENEATH PAVEMENT; SIZE SLEEVE TO CONTAIN PIPE AND WIRE PER DETAIL; MINIMUM SIZE NO LESS THAN 3" DIAMETER
 - E IRRIGATION MAIN LINE
 - F QUICK COUPLER, TYPICAL
 - G TWO SUB-SURFACE TREE BUBBLERS PER TREE IN TREE WELL WITH GRATES.
 - H INSTALL DRIPLINE 2" BELOW GRADE IN ALL PLANTING AREAS AT 18" OC TYPICAL; ALL DRIPLINE SHALL BE INSTALLED PARALLEL GENERALLY FOLLOWING CONTOURS; HOLD DRIPLINE BACK FROM EDGE 6".
 - I POLY TUBING TO PVC CONNECTION, TYPICAL
 - J TREE BUBBLER VALVE
 - K DRIPLINE VALVE, TYP.
 - L IRRIGATION LATERAL, TYPICAL
 - M IRRIGATION LAYOUT IS DIAGNOSTIC; INSTALL ALL MAIN LINES, LATERALS, AND CONTROL WIRES IN LANDSCAPE AREAS. DO NOT INSTALL IN PUBLIC RIGHT OF WAY. WHEN THE LAYOUT REQUIRES INSTALLATION UNDER PAVING, USE IRRIGATION SLEEVES PER DETAIL SHEET L300.
 - N SOLAR SYNC SENSOR, ROOF MOUNT WITH CLEAR ACCESS TO SKY
 - O CONTROLLER LOCATION: PEDESTAL MOUNT; SUBJECT TO OWNER APPROVAL



REFER TO SHEET L1.2 FOR IRRIGATION LEGEND AND NOTES

IRRIGATION PLAN
 Scale: 1" = 10'-0"
 0 10 20 ft

Irrigation Sub-Meter/Flow Sensor
 METER SIZE 3/4 in
 MAXIMUM SAFE FLOW 7.9 gpm
 STATIC WATER PRESSURE 75.0 psi
 OUTPUT PRESSURE 72.9 psi
 MAXIMUM OPERATING FLOW 9.3 gpm

IRRIGATION PLAN

**POST OFFICE BUILDING
 EVENT CENTER**
 823 MARIN STREET
 VALLEJO, CA
 APN #0056-161-040

DATE: 5/2/25
 MLA JOB #: 2024-18
 SCALE: 1" = 20'
 DRAWN: DM

REV NO.	DATE	DESCRIPTION

U.S.A. NOTE
 IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE, AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-842-2444 OR 1-800-221-2800 TO FIELD LOCATE ALL EXISTING UTILITIES.

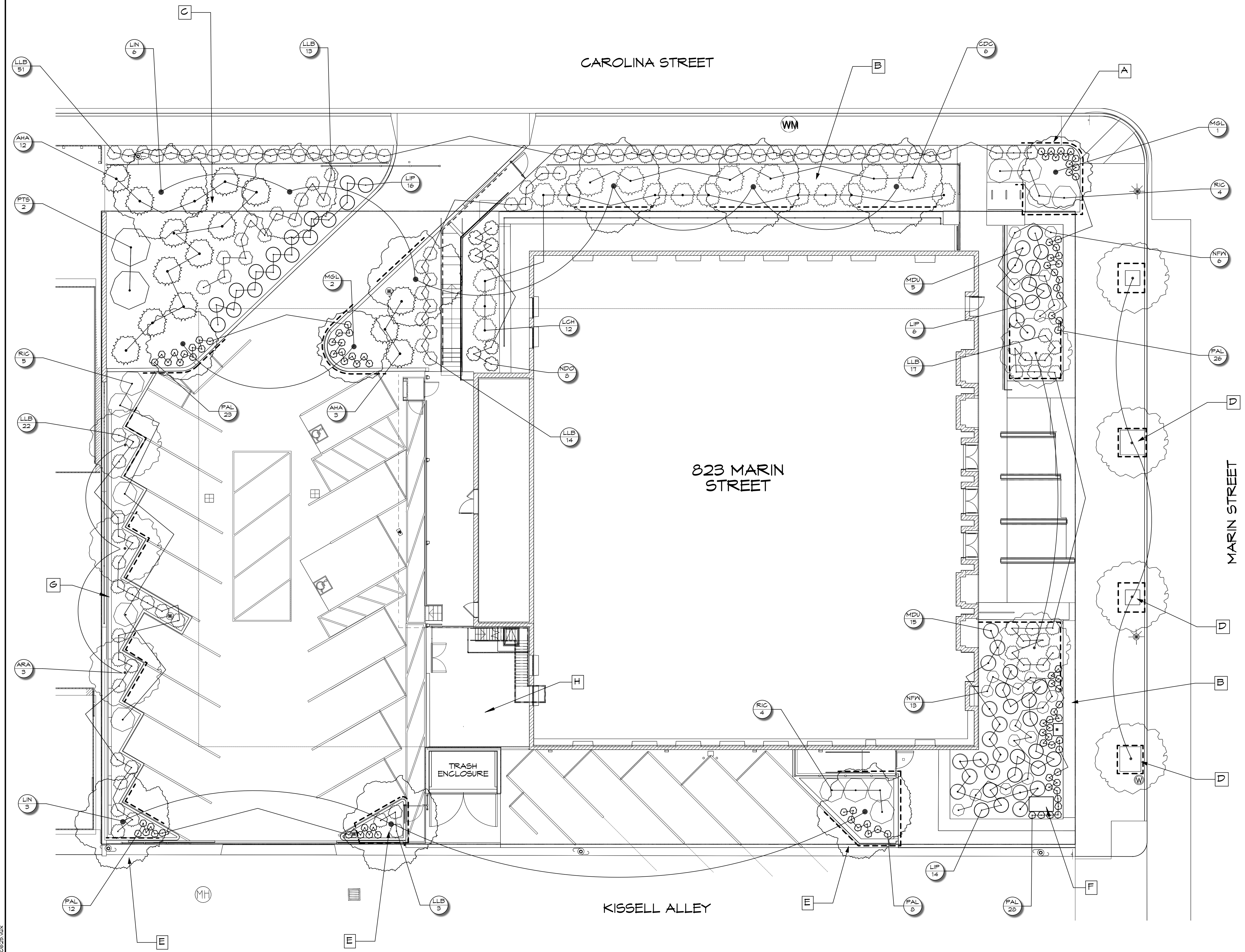
THESE DRAWINGS COMPLY WITH THE CRITERIA OF THE ORDINANCE. ORDINANCE REQUIREMENTS HAVE BEEN APPLIED FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN AND THE LANDSCAPE DESIGN PLAN.

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MACNAIR
 LANDSCAPE ARCHITECTURE
 POST OFFICE BOX 251
 KENWOOD, CALIFORNIA 95452
 TEL 707.833.2288
 FAX 832.0000
 don@macnairlandscape.com

PLANTING PLAN
POST OFFICE BUILDING
EVENT CENTER
 823 MARIN STREET
 VALLEJO, CA
 APN #0056-161-040



- General Planting Notes**
- ALL GROUND COVER TO BE SPACED IN A TRIANGULAR PATTERN. CONTRACTOR RESPONSIBLE FOR COMPLETE COVERAGE.
 - SUPPLY AGRIFORM 21 GRAM TABLETS AS FOLLOWS: 5-15 GAL., 3-5 GAL., 1-1 GAL.
 - DIG PLANTING PITS 2 TIMES THE DIAMETER AND EQUAL THE HEIGHT OF ROOTBALL.
 - BACKFILL PITS WITH 2/3 EXISTING SOIL, 1/3 ORGANIC AMENDMENT.
 - ALL PLANTS TO BE SPOTTED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - WHEN LANDSCAPING IN EXISTING PLANTED AREAS, CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DESTROY ANY EXISTING PLANT MATERIAL OR IRRIGATION. EXISTING PLANT MATERIAL AND IRRIGATION THAT IS DAMAGED SHALL BE REPLACED WITH LIKE, SIZE, QUALITY, ETC. BY THE CONTRACTOR AT HIS EXPENSE.
 - SPECIAL ATTENTION IS TO BE PAID TO THE PLANTING AREAS SURROUNDING THE BUILDINGS. COMPACTED SOIL IS TO BE SUFFICIENTLY EXCAVATED TO ALLOW FOR PROPER ROOT GROWTH AND DRAINAGE OF ALL AREAS. CHECK SOIL FOR PROPER DRAINAGE PRIOR TO PLANTING. AUGER THROUGH COMPACTED SOIL WHERE NECESSARY. DO NOT PLANT IN THE DRAINAGE SWALES.
 - A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN BIORETENTION AREAS, TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS ON SLOPES GREATER THAN 6:1. INSTALL JUTE NETTING IN CONJUNCTION WITH THE MULCH APPLICATION. INSTALL NETTING PER MANUFACTURER'S SPECIFICATIONS.
 - A MINIMUM OF 2' OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
 - A SOIL REPORT SHALL BE PROVIDED FOR ALL IMPORTED TOP SOILS. REFER TO SPECIFICATIONS.
 - INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.
 - LIME-TREATED SOIL SHALL BE REMOVED FROM LANDSCAPE AREAS PER SPECIFICATION. THE CONTRACTOR SHALL PROVIDE A DIAGRAM INDICATING THE DEPTHS AND LIMITS OF LIMED SOIL AREAS.
 - SOIL SAMPLE REPORTS AND IRRIGATION WATER SUITABILITY REPORTS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT BEFORE AMENDING SOILS PER SPECIFICATIONS.
 - THE FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT CURBS, WALKS, OR PAVED AREAS. FINISH GRADE SHALL BE SMOOTH AND EVEN.
 - UNLESS OTHERWISE SPECIFIED, NEED BARRIER FABRIC IS NOT PERMITTED.
 - ALL CONSTRUCTION IS TO BE PER ALL APPLICABLE AND PREVAILING CITY OF VALLEJO CONSTRUCTION STANDARDS.
 - A SIGNED CERTIFICATE OF COMPLETION IS REQUIRED BEFORE FINAL ACCEPTANCE BY THE CITY OF VALLEJO. IF THE INSTALLATION OF THE LANDSCAPE DOES NOT MEET OR SUBSTANTIALLY COMPLY WITH THE APPROVED LANDSCAPE CONSTRUCTION DOCUMENTS, THE CERTIFICATE OF COMPLETION WILL NOT BE SIGNED OR APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.

- PLANTING KEYNOTES**
- A** 24" DEEP LINEAL ROOT BARRIER, TYPICAL; APPLIES TO ALL TREES WITHIN 7' OF HARDSCAPE EDGE
 - B** 3" DEEP MULCH, ALL LANDSCAPE AREAS
 - C** JUTE NETTING STAPLED TO GRADE ON SLOPES GREATER THAN 5:1
 - D** EXISTING STREET TREES TO BE REMOVED AND REPLACED. RECONFIGURE TREE WELLS TO 5' X 5' SQUARE OPENING.
 - E** UTILITY FRIENDLY STREET TREE UNDER POWER LINES
 - F** EXISTING WATER SERVICE EQUIPMENT
 - G** 16" WIDE CONCRETE PERIMETER BAND
 - H** REMOVE EXISTING PLANTER WALLS, REPLACE WITH CONCRETE PAVING

REFER TO SHEET L1.2 FOR PLANT LEGEND AND NOTES

PLANTING PLAN
 Scale: 1" = 10'-0"

REV NO.	DATE	DESCRIPTION

1/4" = 24'-0" Post Office Event Center Vallejo 010625.wxd

IRRIGATION LEGEND					
SYMBOL	EQUIPMENT	MANUFACTURER	MODEL	PROG-00	REMARKS
●	ROOT WATERING SYSTEM	HUNTER	RZMS-18-25-CV		
○	Landscape Dripline	Rain Bird	XFS-06-12		Install 3" Below Grade
●●●●●	Poly to PVC Header				See Detail 0/L3
SEE DETAIL	Automatic Line Flush Valve	Hunter	AFV-T		Install in 6" Valve Box @ end of circuit
SEE DETAIL	Air Relief Valve	Hunter	AVR-07B		Install in 6" Valve Box @ high point(s) of circuit
□	Drp Zone Control Valve	Hunter	ICZ-101-25		
□	Zone Control Valve	Hunter	ICV-101G-AS-ADJ		
□	Hunter CV 1" Master Valve	Hunter	ICV-101S		
□	3/4" Irrigation Sub-Meter/Flow Sensor	Hunter	HV-07B-Flow		
□	1" Reduced Pressure Backflow Preventer	Zurn	RTSL2TCU		Required
□	Operation Indicator	Rain Bird	OPERIND		Install per manufacturer's specifications
□	Rainbird 1" Quick Coupling Valve	Rainbird	44-NP		
E	Backflow Preventer Enclosure	Le Muer	BF 18" X 30" X 30"		Install Per Manufacturer's Specs
□	Backflow Blanket	Weatherguard	WS2-GREEN		Size to fit Reduced Pressure Backflow Preventer
□	Irrigation Controller - 8 Station		ICF-800-55		Install per manufacturer's specifications
□	EZ Decoder Output Module-2 wire up to 54 Stations	Hunter	EZ-DM		Install in #1 slot for two wire, next available slot for Hybrid
□	EZ Decoder - 1 Station	Hunter	EZ-1		Quantity as needed
□	Solar Sng Weather Sensor	Hunter	WS-5EN		Roof mount with clear view of sky
□	Metal Controller Pedestal	Hunter	ICG-PED-55		Verify location with owner
□	Mainline	PVC	Sch 40		
□	Lateral	PVC	Sch 40		
□	Irrigation Sleeves		PVC Schedule 40		Size by pipe load; 2" PVC minimum
□	Valve Station and Sequence				
□	Valve Size				
□	Gallons Per Minute				

GENERAL IRRIGATION NOTES

- THE LOCATION OF THE CONTROLLER IS TO BE VERIFIED BY THE OWNER. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING ALL PROPOSED STATIONS TO THE CONTROLLER. CONTROLLER TO BE CONFIGURED TO OPERATE 8 STATIONS. CONTROLLER SHALL BE HUNTER ICF WITH 2 WIRE DECODER CAPABILITY AND EZ-DM DECODER OUTPUT MODULE.
- ALL CONSTRUCTION IS TO BE PER THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ROOT BARRIERS, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. INSTALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6' TO 12' AWAY FROM HARDCAPE OR TURF AREA FOR EASY ACCESS.
- THE IRRIGATION CONTRACTOR SHALL FLUSH ALL IRRIGATION LINES AND EQUIPMENT. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL EXERCISE EXTREME CARE, AND BE RESPONSIBLE FOR ANY DAMAGE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION OF UTILITIES AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, AND NEAR STRUCTURES. PRIOR TO CONSTRUCTION, CONTACT ALL APPLICABLE AGENCIES AND U.S.A. AT 1-800-642-2444 TO FIELD LOCATE ALL EXISTING UTILITIES.
- FIELD ADJUSTMENTS MAY BE REQUIRED TO PROVIDE OPTIMUM OPERATING EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE LANDSCAPE ARCHITECT TO REVIEW FIELD ADJUSTMENTS PRIOR TO INSTALLATION. IN THE EVENT THAT NO CONTACT IS MADE WITH THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISIONS.
- SLEEVE ALL IRRIGATION PIPE AND CONTROL WIRES UNDER STREETS AND CONCRETE WALKWAYS WITH THE PROPER SIZE CLASS 200 PVC PIPE TO DEPTH AS SPECIFIED. SIZE SLEEVE TO CONTAIN PIPE AND WIRE PER DETAIL. MINIMUM SIZE NO LESS THAN 2" DIAMETER.
- FOR ADDITIONAL INFORMATION, SEE PROJECT DETAILS AND SPECIFICATIONS.
- NO GALVANIZED IRON PIPE OR FITTINGS SHALL BE ALLOWED.
- A BALL VALVE IN A SEPARATE ROUND VALVE BOX IS TO BE INSTALLED IMMEDIATELY UPSTREAM FROM EACH REMOTE CONTROL VALVE OR GROUP OF VALVES. VALVE SHALL BE SIZED TO MAINLINE SUPPLY AT THE RC VALVE. SEE DETAIL.
- INSTALL 3" WIDE DETECTABLE TAPE (#3' DTP, AS MANUFACTURED BY T. CHRISTY). TAPE SHALL BE INSTALLED 6" ABOVE THE IRRIGATION MAIN.
- INSTALL ALL LANDSCAPE DRIPLINE BENEATH MULCH, 2" BELOW GRADE PARALLEL AT SPACING INDICATED. USE LANDSCAPE STARTIES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO SECURE TUBING TO GROUND.
- CONTRACTOR TO PROVIDE DEDICATED, NON-SWITCHED, 6FI PROTECTED 120 VOLT CIRCUIT FOR IRRIGATION CONTROLLER. LOCATION OF CONTROLLER SHALL BE SUBJEST TO OWNER APPROVAL.
- UNLESS OTHERWISE NOTED, CONTROLLER SHALL BE GROUNDED AND HARD-WIRED TO GROUNDED A 110 VAC POWER SOURCE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY SUPPLEMENTAL IRRIGATION OF TREES. METHOD OF IRRIGATION APPLICATION IS DISCRETIONARY AND MAY INCLUDE HAND WATERING OR INSTALLATION OF A TEMPORARY ABOVE GRADE CIRCUIT. ANY REPLACEMENT NECESSARY FOR LOSS OR DAMAGE TO TREES DUE TO LACK OF WATER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- A SIGNED CERTIFICATE OF COMPLETION IS REQUIRED BEFORE FINAL ACCEPTANCE BY THE CITY VALLEJO. IF THE INSTALLATION OF THE LANDSCAPE DOES NOT MEET OR SUBSTANTIALLY COMPLY WITH THE APPROVED LANDSCAPE CONSTRUCTION DOCUMENTS, THE CERTIFICATE OF COMPLETION WILL NOT BE SIGNED OR APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CITY OF VALLEJO CONSTRUCTION STANDARDS.
- MAINTAIN 6" MINIMUM CLEARANCE BETWEEN LANDSCAPE DRIPLINE AND HARDCAPE OR OTHER LANDSCAPE EDGES.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM STATIC PRESSURE OF 40 PSI AT THE VALVES AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE BEFORE THE CONSTRUCTION OF THE IRRIGATION SYSTEM. IF THE WATER PRESSURE SHOWN ON THE DRAWINGS DIFFERS FROM THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED BEFORE THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- KEEP BARRIER FABRIC IS NOT SPECIFIED AND SHALL NOT BE INSTALLED.
- FURNISH AND INSTALL BACKFLOW BLANKET ON RRPB, SIZE TO FIT.

PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	QUANTITY	COMMENTS
ARA	#24	Acer rubrum 'Armstrong'	Armstrong Maple	.6	1	
LIN	#24	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	.6	1	
MGL	#24	Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	.3	3	
Shrubs						
AHA	#5	Arctostaphylos densiflora 'Harmony'	Harmony Manzanita	.3	15	
LGH	#5	Loropetalum chinense 'Razzleberry'	Razzleberry Fringe Flower	.3	12	
NDO	#5	Nandina domestica	Heavenly Bamboo	.3	8	
PTS	#5	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	.3	2	
RIG	#5	Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn	.3	13	
Perennial						
LIP	#1	Lavandula x intermedia 'Phenomenal'	Phenomenal French Lavender	.3	36	
NFN	#1	Neppeta x faassenii 'Walker's Low'	Walker's Low Catmint	.3	19	
Groundcover						
GDC	#1	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	.3	6	6' OC, Triangular Spacing
Ornamental Grass						
LLB	#1	Lomandra longifolia 'Breeze'	'Breeze™' Dwarf Mat Rush	.3	120	
MDU	#1	Muhlenbergia dubia	Fine Muhly	.3	20	
PAL	#1	Pennisetum alopecuroides 'Little Burry'	Little Burry Dwarf Fountain Grass	.3	47	
Other						
		Mulch: Fir Bark 1-1/2" Minus	Medium Walk-On Bark			3" Depth, All Landscape Areas
	24" D X 24" L Panel	Continuous Linear Root Barrier	'Root Solutions', or equal	See Detail	379 lft	Install with vertical 4" gravel barrier

SOIL ANALYSIS REPORT

IN ORDER TO REDUCE RUNOFF AND ENCOURAGE HEALTHY PLANT GROWTH, A SOIL ANALYSIS REPORT SHALL BE COMPLETED BY THE PROJECT APPLICANT, OR THEIR DESIGNEE, AS FOLLOWS:

- SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
 - SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
 - THE SOIL ANALYSIS SHALL INCLUDE:
 - SOIL TEXTURE;
 - INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE;
 - PH;
 - TOTAL SOLUBLE SALTS;
 - SCDIUM;
 - PERCENT ORGANIC MATTER; AND
 - RECOMMENDATIONS.
- IN PROJECTS WITH MULTIPLE LANDSCAPE INSTALLATIONS (I.E. PRODUCTION HOME DEVELOPMENTS) A SOIL SAMPLING RATE OF 1 IN 1 LOTS OR APPROXIMATELY 15% WILL SATISFY THIS REQUIREMENT. LARGE LANDSCAPE PROJECTS SHALL SAMPLE AT A RATE EQUIVALENT TO 1 IN 1 LOTS.
- THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
- IF A GRADING PERMIT IS REQUIRED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE CITY WITH THE CERTIFICATE OF COMPLETION. IF A GRADING PERMIT IS NOT REQUIRED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE CITY WITH THE LANDSCAPE DOCUMENTATION PACKAGE.
- THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE CITY WITH CERTIFICATE OF COMPLETION.

DOCUMENT OF COMPLIANCE

(ITEMS TO BE INCLUDED WITH CERTIFICATE OF COMPLETION)

- PROJECT APPLICANT MUST SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE CITY WITH CERTIFICATE OF COMPLETION
- THE CERTIFICATE OF COMPLETION MUST BE ACCOMPANIED BY AN IRRIGATION AUDIT THAT CONTAINS THE FOLLOWING:
 - OPERATING PRESSURE OF THE IRRIGATION SYSTEM
 - DISTRIBUTION UNIFORMITY OF OVERHEAD IRRIGATION
 - PRECIPITATION RATE OF OVERHEAD IRRIGATION
 - REPORT OF ANY OVERSPRAY OR BROKEN IRRIGATION EQUIPMENT
 - IRRIGATION SCHEDULE INCLUDING:
 - PLANT ESTABLISHMENT IRRIGATION SCHEDULE
 - REGULAR IRRIGATION SCHEDULE BY MONTH (SEE ORDINANCE FOR DETAILS)
 - VERIFICATION THAT A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES IS KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- ALL LANDSCAPE IRRIGATION AUDITS MUST BE CONDUCTED BY A CITY CERTIFIED LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR.
 - AN IRRIGATION MAINTENANCE SCHEDULE TIMELINE MUST BE ATTACHED TO THE CERTIFICATE OF COMPLETION (SEE ORDINANCE FOR DETAILS)
- IRRIGATION AUDIT: AN IN-DEPTH EVALUATION OF THE PERFORMANCE OF AN IRRIGATION SYSTEM CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR (SEE ORDINANCE FOR DETAILS). THE AUDIT MUST BE CONDUCTED IN A MANNER CONSISTENT WITH THE IRRIGATION ASSOCIATION'S LANDSCAPE IRRIGATION AUDITOR CERTIFICATION PROGRAM OR OTHER U.S. EPA "WATERSENSE" LABELED AUDITING PROGRAM.

MAWA AND ETWU CALCULATIONS

1) Maximum Applied Water Allowance (MAWA)

$$MAWA = (ETa) (0.62) [(0.95 \times LA) + (0.45 \times SLA)]$$

Where:
 ETa = Annual Net Reference Evapotranspiration (Inches)
 0.45 = ET Adjustment Factor (Commercial)
 0.95 = ET Adjustment Factor (Residential)
 LA = Landscaped Area (square feet)
 0.62 = Conversion factor (to gallons per square foot)
 SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
 0.45 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.45 = 0.55) (Commercial)
 0.95 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.45 = 0.55) (Residential)

Commercial (C) or Residential (R) C

A) Net Evapotranspiration Calculation
 Local Reference ETa 48.51
 21.12"/yr (Annual Rainfall) X .25 = 5.28 (Effective Rainfall)
 Net Evapotranspiration Calculation = Annual ETa - Effective Rainfall = 36.75

B) Adjusted Landscape Area Calculation
 5,919 sf (Landscape Area) X 0.45 = 2,664.72 sf Adjustment Factor
 0.00 sf (Special Landscape Area) X 0.95 = 0.00 sf Adjustment Factor
 Sum of Adjusted Landscape Area = 2,664.72 sf

MAWA = 36.75 X .62 X 2,691 sf = 64,611 gal/yr

2) Estimated Total Water Use (ETWU)

A) Net Evapotranspiration Calculation = 36.75 sf
 Net Evapotranspiration Calculation = Annual ETa - Effective Rainfall = 36.75 sf

B) Adjusted Landscape Area Calculation
 0.00 sf X 1 = 0.00 sf Very Low Water Use
 5,693 sf X .3 = 1,645.76 sf Low Water Use
 321 sf X .6 = 196.09 sf Moderate Water Use
 0.00 sf X .8 = 0.00 sf High Water Use
 Sum of Adjusted Landscape Area = 1,841.86 sf

ETWU = 36.75 X .62 X 1,842 sf / 0.81 = 56,766 gal/yr

Irrigation Efficiency Factor
 Square Footage of Landscape on Drip 5,919.31 sf
 Square Footage of Landscape on Sprink 0.00 sf
 Total Square Footage of Landscape 5,919.31 sf
 Adjusted Irrigation Efficiency Factor 0.81

DETAIL HYDROZONE TABLE

Name	Method	Water Use	Water Use Value	Hydrozone Area in SF	% of Landscape
1D	Sub-Surface Dripline	Low	0.3	1,104.07 sf	18.5%
2B	Root Watering System	Moderate	0.6	195.46 sf	3.3%
3D	Sub-Surface Dripline	Low	0.3	1,303.96 sf	21.8%
4B	Root Watering System	Low	0.3	164.63 sf	2.8%
5D	Sub-Surface Dripline	Low	0.3	506.60 sf	8.6%
6D	Sub-Surface Dripline	Low	0.3	1,121.72 sf	18.8%
7D	Sub-Surface Dripline	Low	0.3	643.16 sf	10.8%
8B	Root Watering System	Moderate	0.6	141.37 sf	2.4%
9D	Sub-Surface Dripline	Low	0.3	632.54 sf	10.6%
10B	Root Watering System	Low	0.3	84.82 sf	1.4%
				5,919.31 sf	100%

SUMMARY HYDROZONE TABLE

Plant Type	Water Use By Area	% of Landscape
Very Low	0.00	0%
Low	5,652.54	95%
Moderate	326.82	5%
High	0.00	0%
Total	5,979.37	100%

PRECIPITATION RATES BY VALVE

Valve ID	Hydrozone Area	Flow in GPM	Precipitation Rate in Inches Per Hour
1D	1104.07	7.0 GPM	0.61
2B	195.46	3.5 GPM	1.82
3D	1303.96	4.3 GPM	0.60
4B	164.63	3.0 GPM	1.70
5D	506.6	3.8 GPM	0.62
6D	1121.72	7.5 GPM	0.64
7D	643.16	4.3 GPM	0.65
8B	141.37	2.5 GPM	1.70
9D	632.54	3.4 GPM	0.52
10B	84.82	1.5 GPM	1.70

General Planting Notes

- ALL GROUND COVER TO BE SPACED IN A TRIANGULAR PATTERN. CONTRACTOR RESPONSIBLE FOR COMPLETE COVERAGE.
- SUPPLY AGRIFORM 21 GRAM TABLETS AS FOLLOWS: 5-15 GAL., 3-5 GAL., 1-1 GAL.
- DIG PLANTING PITS 2 TIMES THE DIAMETER AND EQUAL THE HEIGHT OF ROOTBALL.
- BACKFILL PITS WITH 2/3 EXISTING SOIL, 1/3 ORGANIC AMENDMENT.
- ALL PLANTS TO BE SPOTTED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- WHEN LANDSCAPING IN EXISTING PLANTED AREAS, CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DESTROY ANY EXISTING PLANT MATERIAL OR IRRIGATION. EXISTING PLANT MATERIAL AND IRRIGATION THAT IS DAMAGED SHALL BE REPLACED WITH LIKE, SIZE, QUALITY, ETC. BY THE CONTRACTOR AT HIS EXPENSE.
- SPECIAL ATTENTION IS TO BE PAID TO THE PLANTING AREAS SURROUNDING THE BUILDINGS. COMPACTED SOIL IS TO BE SUFFICIENTLY EXCAVATED TO ALLOW FOR PROPER ROOT GROWTH AND DRAINAGE OF ALL AREAS. CHECK SOIL FOR PROPER DRAINAGE PRIOR TO PLANTING. AUGER THROUGH COMPACTED SOIL WHERE NECESSARY. DO NOT PLANT IN THE DRAINAGE SPALES.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN BIORETENTION AREAS, TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS. ON SLOPES GREATER THAN 1:1, INSTALL SITE NETTING IN CONJUNCTION WITH THE MULCH APPLICATION. INSTALL NETTING PER MANUFACTURER'S SPECIFICATIONS.
- A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
- A SOIL REPORT SHALL BE PROVIDED FOR ALL IMPORTED TOP SOILS. REFER TO SPECIFICATIONS.
- INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 8 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.
- LIME-TREATED SOIL SHALL BE REMOVED FROM LANDSCAPE AREAS PER SPECIFICATION. THE CONTRACTOR SHALL PROVIDE A DIAGRAM INDICATING THE DEPTHS AND LIMITS OF LIMED SOIL AREAS.
- SOIL SAMPLE REPORTS AND IRRIGATION WATER SUITABILITY REPORTS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT BEFORE AMENDING SOILS PER SPECIFICATIONS.
- THE FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT CURBS, WALKS, OR PAVED AREAS. FINISH GRADE SHALL BE SMOOTH AND EVEN.
- UNLESS OTHERWISE SPECIFIED, KEEP BARRIER FABRIC IS NOT PERMITTED.
- ALL CONSTRUCTION IS TO BE PER ALL APPLICABLE AND PREVAILING CITY OF VALLEJO ORDINANCES.

REV NO.	DATE	DESCRIPTION

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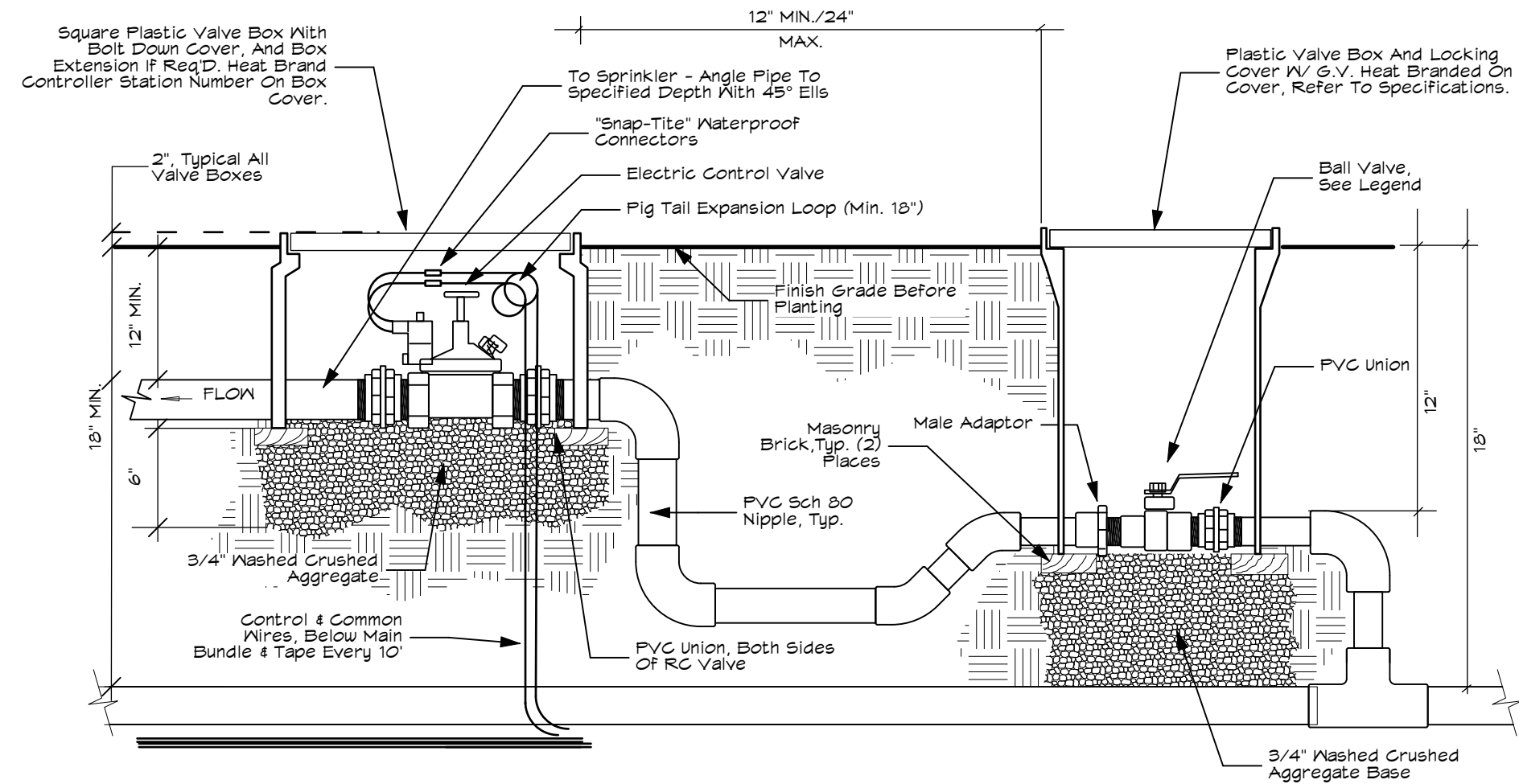


MACNAIR
LANDSCAPE ARCHITECTURE
POST OFFICE BOX 251
KENWOOD, CALIFORNIA 95452
TEL: (707) 833-2288
P.O. BOX 8015
VALLEJO, CA 94588
don@macnairlandscape.com

IRRIGATION AND PLANTING NOTES AND LEGENDS

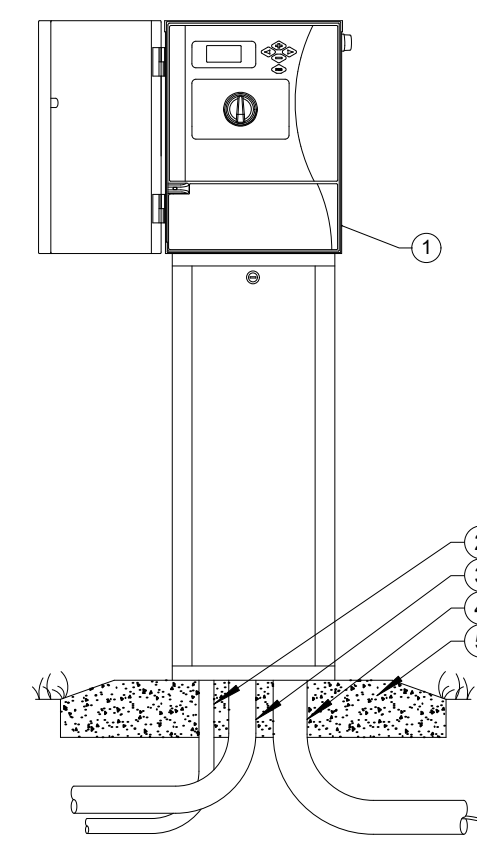
POST OFFICE BUILDING EVENT CENTER
823 MARIN STREET
VALLEJO, CA
APN #0056-161-040

DATE: 5/2/25
MLA JOB #: 2024-18
SCALE: 1" = 20'
DRAWN: DM



- NOTES:
- 1) INSTALL CONTROL VALVES A MINIMUM OF 18" FROM STRUCTURES OR HARDSCAPING.
 - 2) INSTALL VALVES IN PLANT BEDS WHEREVER POSSIBLE.
 - 3) PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
 - 4) INSTALL VALVE BOX SO THAT TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPING.
 - 5) PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX.
 - 6) INSTALL VALVE BOXES SO THAT TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPING.
 - 7) INSTALL ONE BALL VALVE IN BOX IMMEDIATELY UPSTREAM FROM EACH REMOTE CONTROL VALVE.

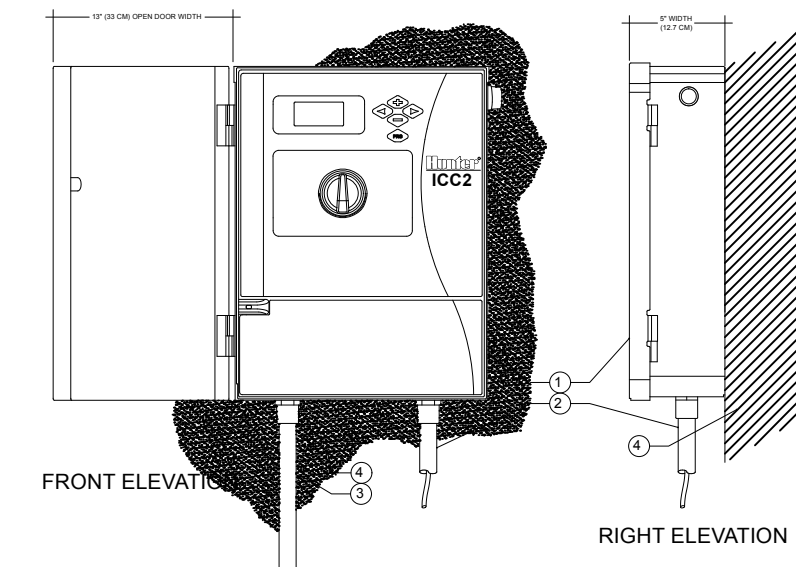
A ELECTRIC CONTROL VALVE WITH SHUT-OFF
L4 NTS



- LEGEND:
- 1) IRRIGATION CONTROLLER (ICG-PED) PER PLAN
 - 2) ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - 3) GROUND WIRE CONDUIT GROUND PER ASIC GUIDELINES
 - 4) IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 5) PEDESTAL BASE PER PLAN INSURE POSITIVE DRAINAGE AWAY FROM PEDESTAL

NOTE: CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC POWER SOURCE

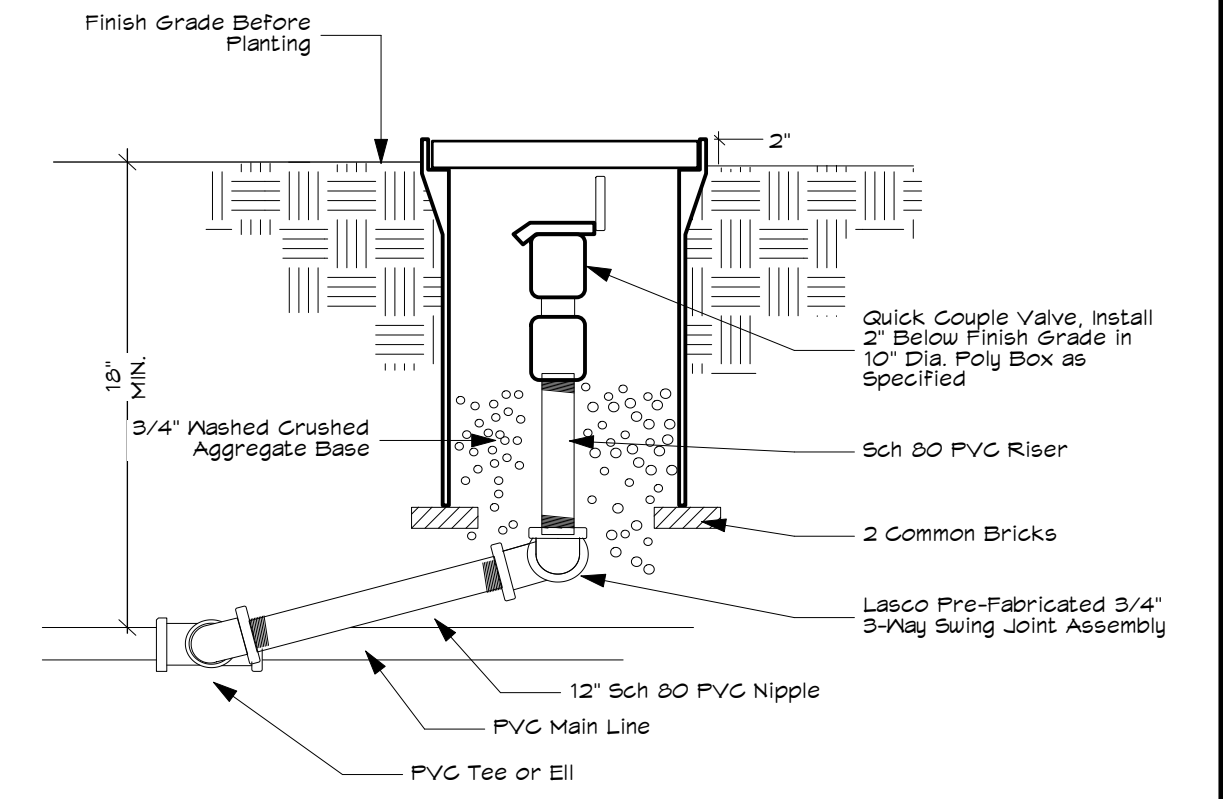
B CONTROLLER PEDESTAL
L4 NTS



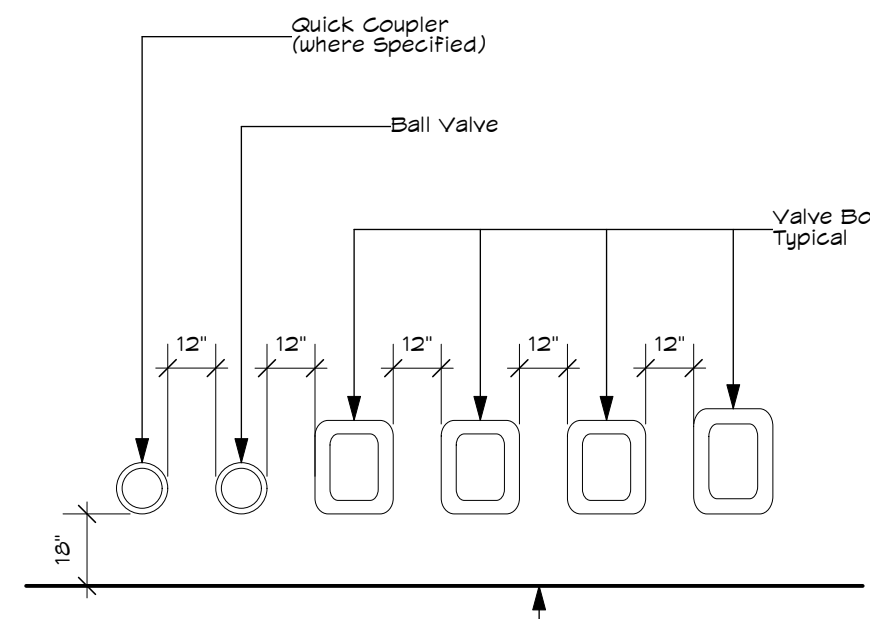
- LEGEND:
- 1) IRRIGATION CONTROLLER (12C-800-M) PER PLAN
 - 2) IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 3) ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - 4) ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC POWER SOURCE

C IRRIGATION CONTROLLER
L4 NTS

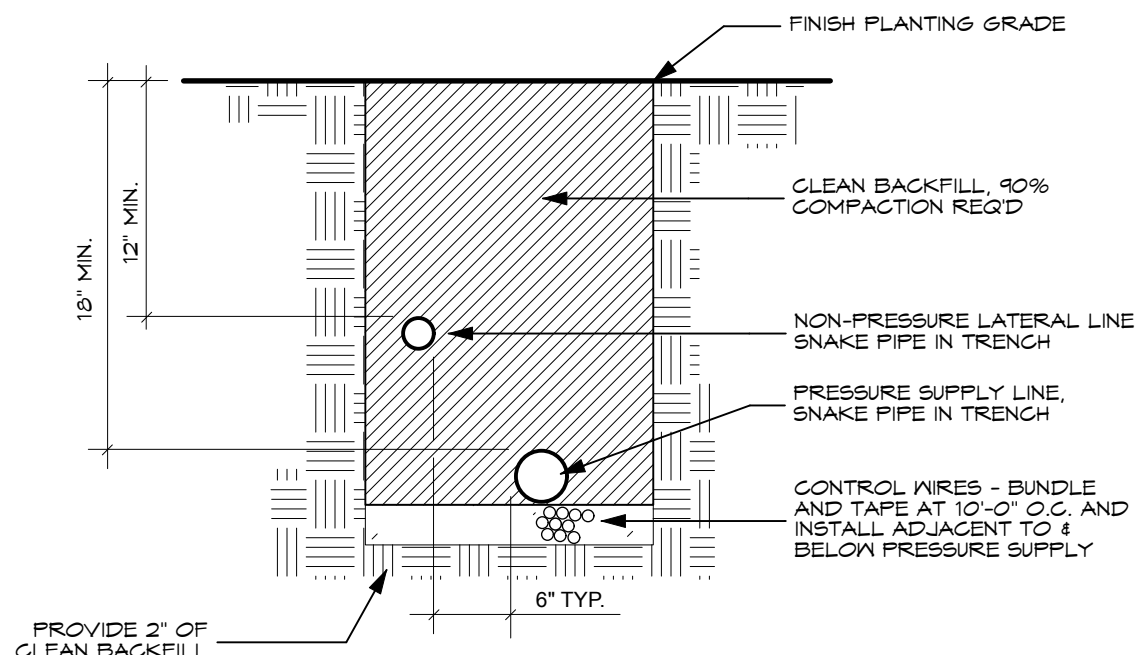


D QUICK COUPLER DETAIL
L4 NTS



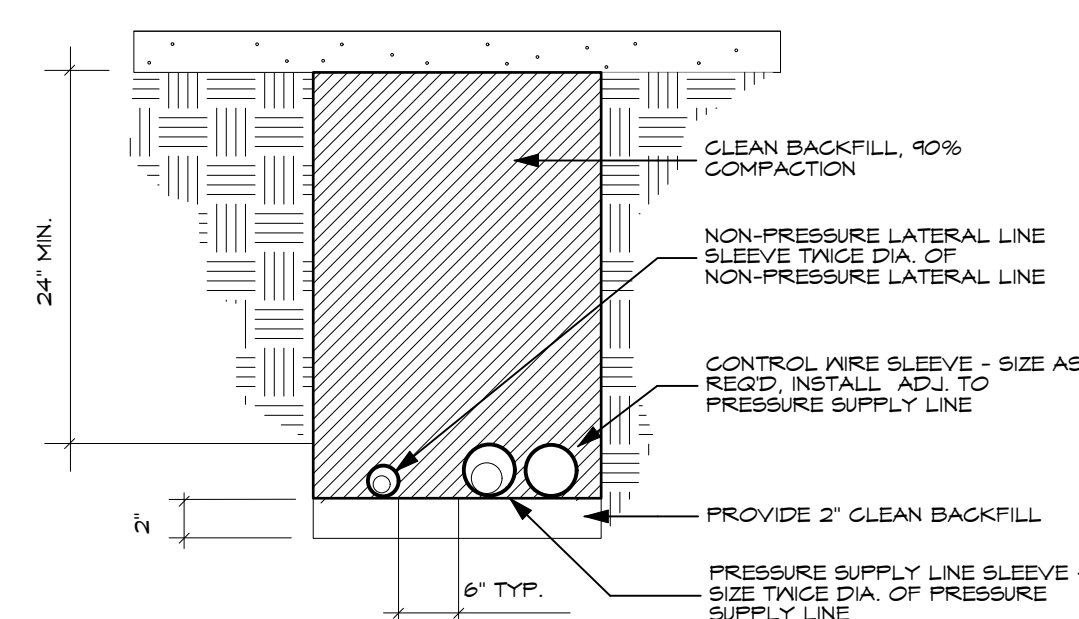
- NOTES:
- 1) CENTER VALVE BOX OVER VALVE ASSEMBLY.
 - 2) LOCATE VALVE BOXES IN GROUND COVER/SHRUB AREAS WHEN POSSIBLE.
 - 3) SET VALVE BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.

E VALVE BOX DETAIL
L4 NTS



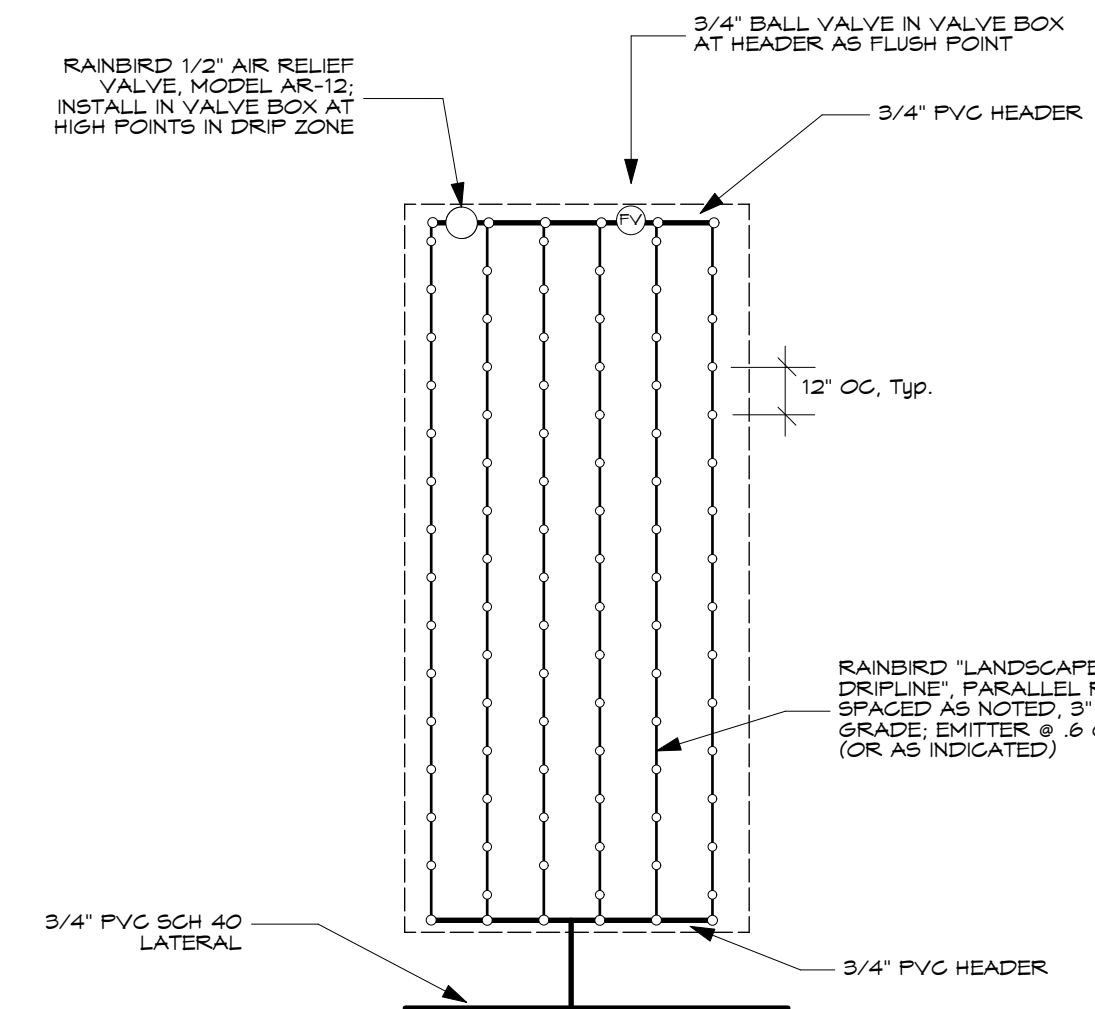
- NOTE:
- 1) PISTAIL AND LOOP CONTROL WIRE AT ALL CHANGES IN DIRECTION.
 - 2) PROVIDE 18" EXPANSION LOOP AT ALL 90° ANGLES, AND EVERY 100' OF STRAIGHT CURVE RUN.

F PIPE INSTALLATION IN PLANTED AREA
L4 NTS

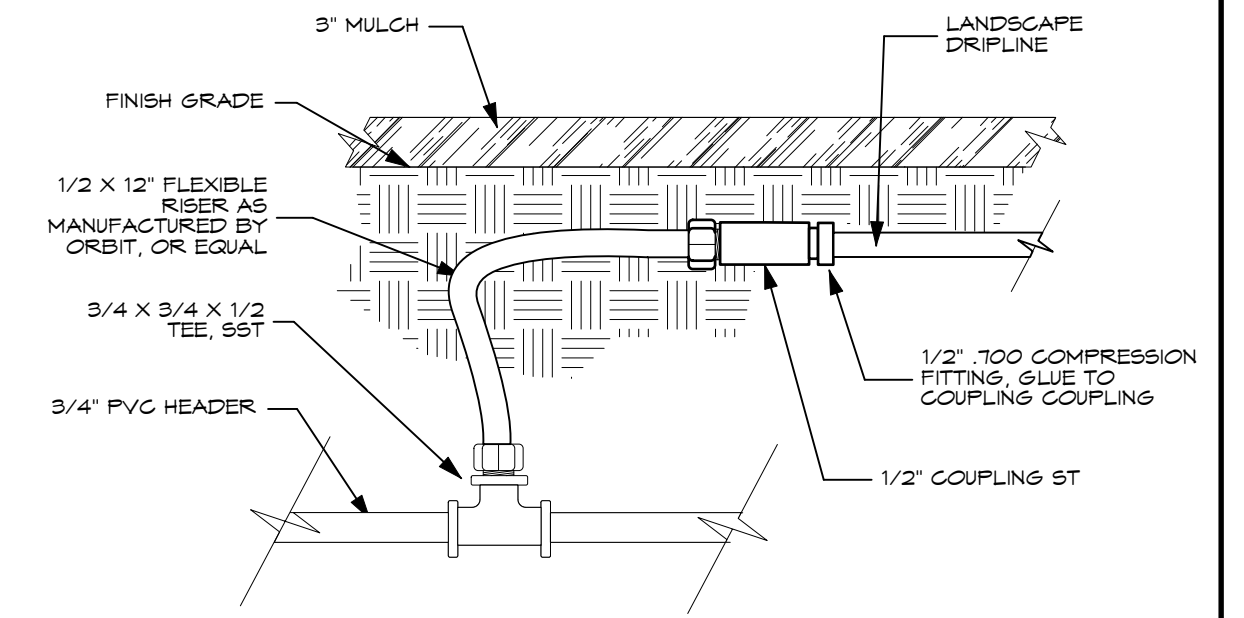


- NOTES:
- 1) ALL SLEEVES TO BE SCH 40 PVC.
 - 2) EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS.

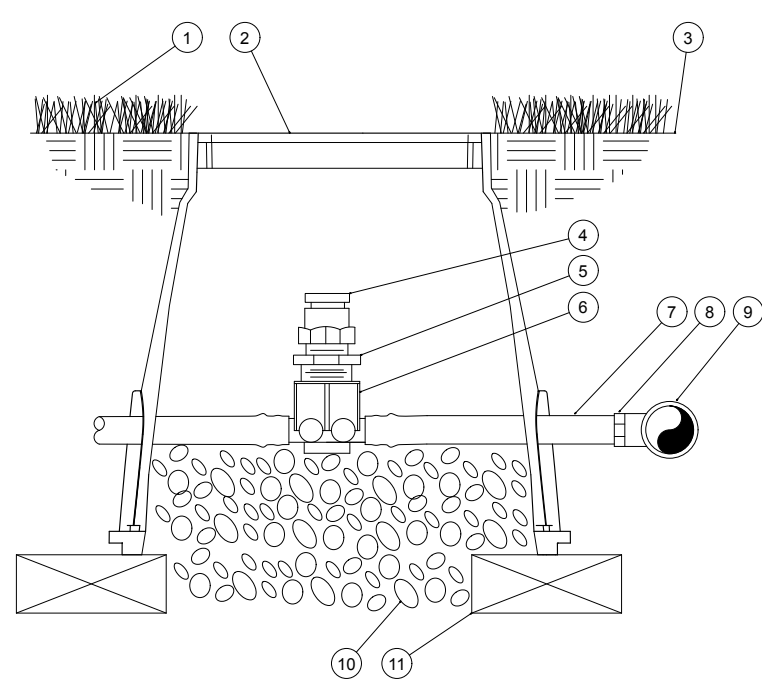
G PIPE INSTALLATION UNDER PAVING
L4 NTS



H DRIP CIRCUIT DETAIL
L4 NTS

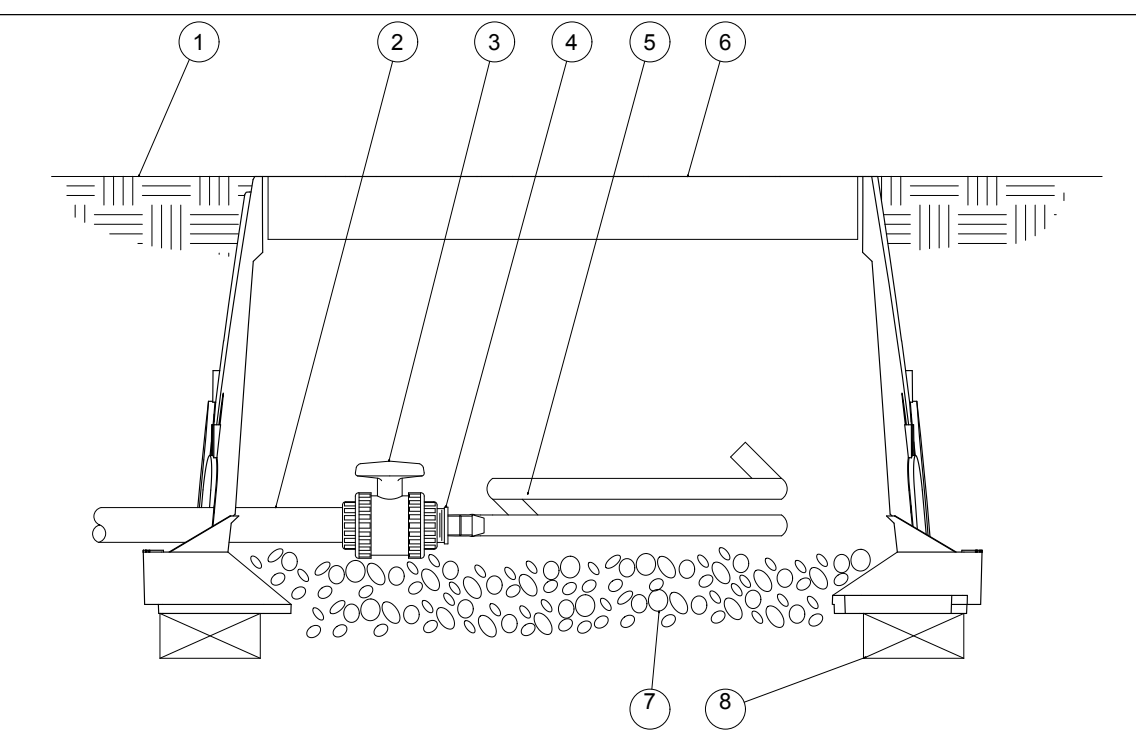


I POLY TO PVC COMPRESSION FITTING DETAIL
L4 NTS



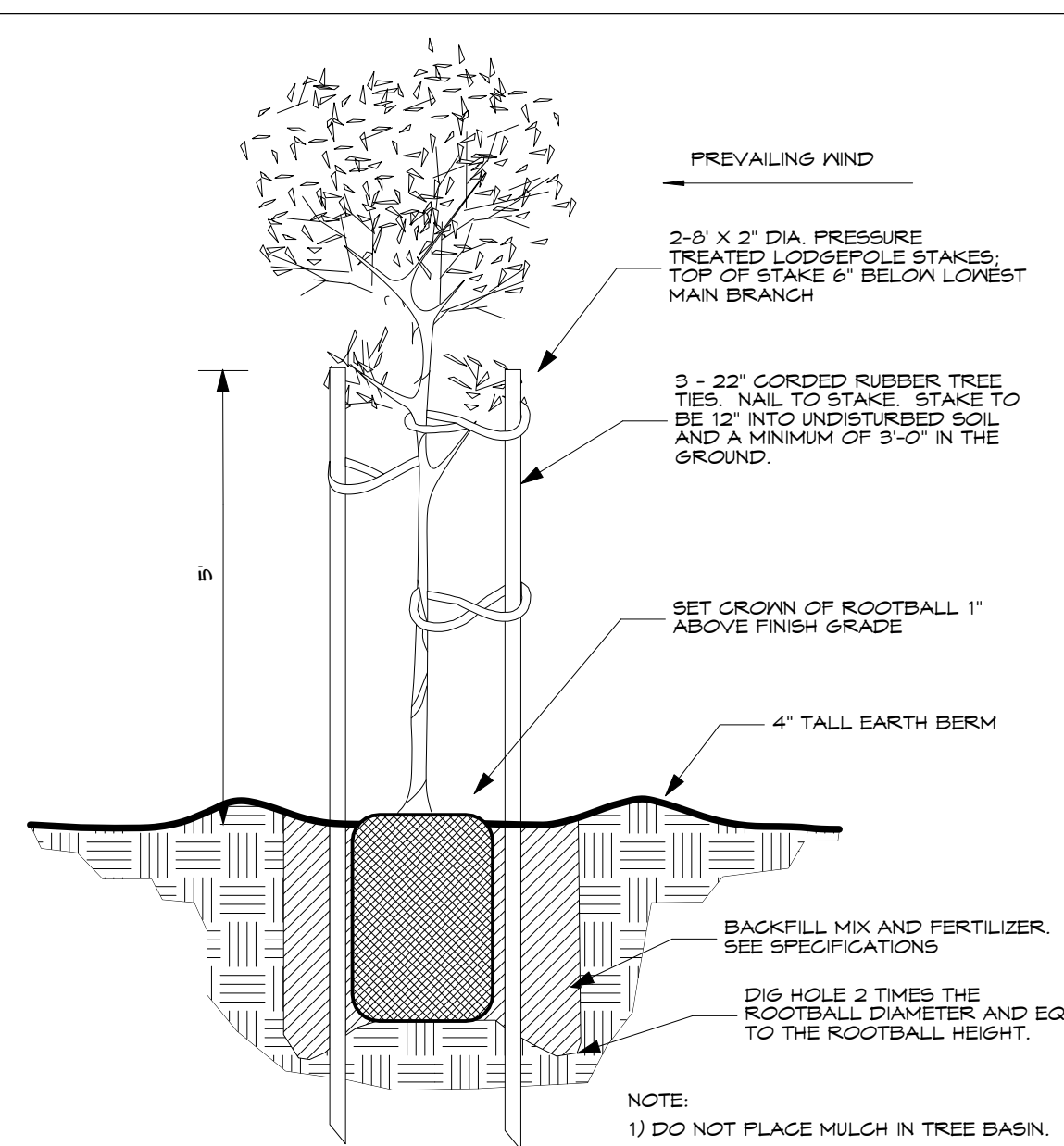
- 1) LANDSCAPE AREA
- 2) SUBTERRANEAN EMITTER BOX RAIN BIRD SES 7X6, OR EQUAL
- 3) FINISH GRADE
- 4) 1/2" AIR RELIEF VALVE: RAIN BIRD AR-10 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
- 5) 1/2" X 3/4" PVC REDUCER BUSHING
- 6) BARR X FEMALE THREAD CONNECTOR: RAIN BIRD XF-FITTING
- 7) 1/2" BLANK DRIPLINE TUBING: RAIN BIRD XF SERIES
- 8) BARR X MALE THREAD CONNECTOR: RAIN BIRD XF-FITTING
- 9) PVC TEE CONNECTED TO PVC HEADER PIPE
- 10) 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 11) BRICK (1 OF 2)

J AIR RELIEF VALVE - TYPICAL
L3 NTS



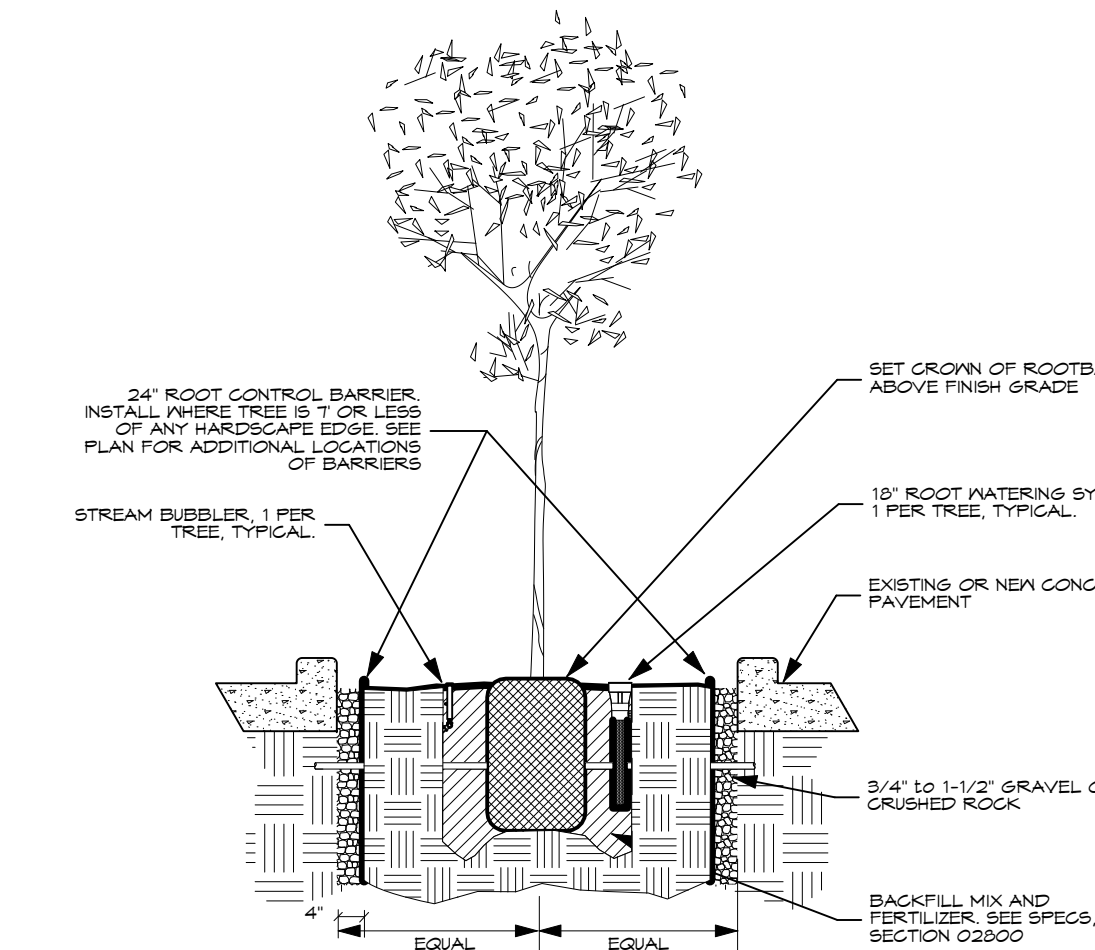
- 1) FINISH GRADE
- 2) PVC DRIP MANIFOLD PIPE
- 3) PVC 1" X 3/4" TRUE UNION BALL VALVE
- 4) EASY FIT MALE X BARB ADAPTER: RAIN BIRD XF-MA-075
- 5) SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES BLANK TUBING
- 6) 12-INCH VALVE BOX WITH COVER: RAIN BIRD VB-STD, OR EQUAL
- 7) 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 8) BRICK (1 OF 2)

K FLUSH POINT WITH BALL VALVE
L4 NTS



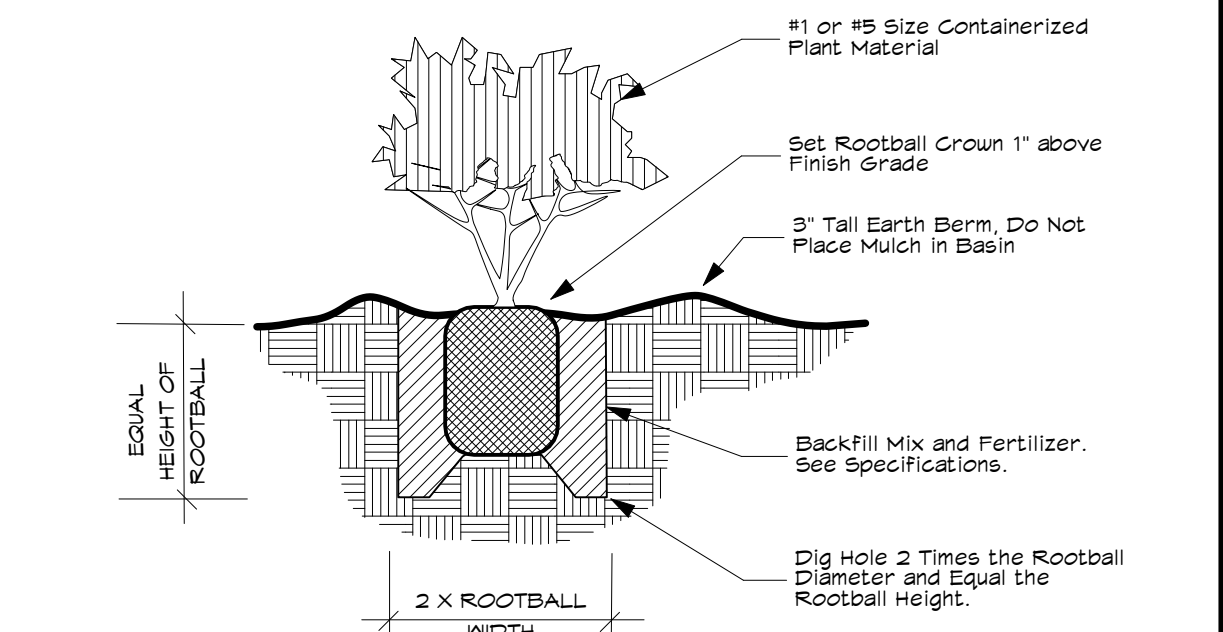
- NOTE:
- 1) DO NOT PLACE MULCH IN TREE BASIN.
 - 2) DETAIL NOT TO SCALE.

L TREE PLANTING DETAIL
L4 NTS



- NOTE:
- 1) DO NOT PLACE MULCH IN TREE BASIN.
 - 2) PLANTING HOLE TO BE TESTED FOR DRAINAGE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN WITHIN 4 HOURS CONTACT LANDSCAPE ARCHITECT.
 - 3) INSTALL ROOT BARRIER ON ALL FOUR SIDES OF PLANTER.

M TREE PLANTING DETAIL WITH ROOT BARRIER
L4 NTS



N SHRUB PLANTING DETAIL
L4 NTS

REV NO.	DATE	DESCRIPTION

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MACNAIR
LANDSCAPE ARCHITECTURE
POST OFFICE BOX 251
KENWOOD, CALIFORNIA 95452
TEL 907.833.2288
R/A #8280
don@macnairlandscape.com

LANDSCAPE DETAILS

POST OFFICE BUILDING
EVENT CENTER
823 MARIN STREET
VALLEJO, CA
APN #0056-161-040

DATE: 5/2/25
MLA JOB #: 2024-18
SCALE: 1" = 20"
DRAWN: DM

L4



**POST OFFICE BUILDING
EVENT CENTER**
**LANDSCAPE
SPECIFICATIONS**
**823 MARIN STREET
VALLEJO, CA
APN #0056-161-040**

**SECTION 2 SITE WORK
DIVISION 0270**

UNDERGROUND IRRIGATION SYSTEM

PART 1 GENERAL

1.01 SCOPE

A. Work Included: perform all work necessary and required for the construction of the project as indicated. Such work includes but is not limited to the following:

- Furnish and install complete irrigation system.
- Trenching and backfilling.
- Sleeves for irrigation piping and remote control valve wiring under pavements and walks as noted.

B. Related Work in Other Sections: The following items of associated work are included in other sections of these specifications:

- Landscape, Section 02800

C. By Others: The following items of work will be performed by others and are not included in the contract.

- Electrical stub-out for irrigation controller.
- Irrigation water meter.
- Water stub-outs for irrigation system.

1.02 INSPECTION OF CONDITIONS: Examine related work and surfaces before starting work of this section. Report to the landscape architect in writing, conditions which will prevent the proper provision of this work. Beginning the work of this section without reporting unsuitable conditions to the landscape architect constitutes acceptance of conditions by the contractor. Any replacement or repair of work caused by unsuitable conditions to be done at no additional cost to the owner.

1.03 CODES, RULES AND SAFETY ORDERS

A. All work and materials to be in full accordance with the latest rules and regulations of safety orders of Division of Industrial Safety, the Uniform Plumbing Code published by the Western Plumbing Officials' Association, and other applicable laws or regulations, including the preceding local plumbing code. Nothing in these drawings or specifications is to be construed to permit work not conforming to these codes. Should the construction documents or instructions be at variance with the aforementioned rules and regulations, notify the landscape architect and get instructions before proceeding with the work affected.

B. Furnish and maintain all warning signs, shoring, barricades, red lanterns, etc., as required by the Safety Orders of the Division of Industrial Safety and local ordinances.

C. Contact U.S.A. for location of underground utilities.

1.04 STANDARDS: American Society of Testing and Materials (ASTM).

A. Work and materials to be in full accordance with the latest rules and regulations of safety orders of Division of Industrial Safety, the Uniform Plumbing Code published by the Western Plumbing Officials' Association, and other applicable laws or regulations, including the preceding local plumbing code. Nothing in these drawings or specifications is to be construed to permit work not conforming to these codes. Should the construction documents or instructions be at variance with the aforementioned rules and regulations, notify the landscape architect and get instructions before proceeding with the work affected.

1.05 PERMITS AND FEES: Obtain all permits and pay required fees to any governmental agency having jurisdiction over the work. Arrange inspections required by local agencies and ordinances during the course of construction as required.

A. 1.06 APPROVAL: Whenever the terms "approve", "approval", or "approved" are used in the specifications, they mean approval of landscape architect in writing.

1.07 WORK SCHEDULE: Submit a proposed work schedule to landscape architect at least 5 days prior to start of work under this Section. After approval, no modification shall be made to this schedule without written authorization by the landscape architect.

1.08 OBSERVATION SCHEDULE

A. Work and materials to be in full accordance with the latest rules and regulations of safety orders of Division of Industrial Safety, the Uniform Plumbing Code published by the Western Plumbing Officials' Association, and other applicable laws or regulations, including the preceding local plumbing code. Nothing in these drawings or specifications is to be construed to permit work not conforming to these codes. Should the construction documents or instructions be at variance with the aforementioned rules and regulations, notify the landscape architect and get instructions before proceeding with the work affected.

B. Furnish and maintain all warning signs, shoring, barricades, red lanterns, etc., as required by the Safety Orders of the Division of Industrial Safety and local ordinances.

C. Contact U.S.A. for location of underground utilities.

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5. Chart shall be black line print and a different color shall be used to show area of coverage for each station.

6. The chart shall be mounted using Velcro, or an approved equal.

7. When completed and approved, the chart shall be hermetically sealed between two pieces of plastic, each piece being a minimum 20 mils. thick.

8. These charts shall be completed and approved prior to final inspection of the irrigation system.

1.17 MATERIALS TO BE FURNISHED

A. Prior to final inspection the contractor shall furnish the following materials to the owner:

- Two wrenches for disassembling and adjusting each type of sprinkler head supplied.
- Two keys for each automatic controller.
- Four keys for loose key hose bibs and/or hose bibs.
- Twelve 12 inch pop-up sprinkler bodies.

1.18 CLEAN-UP: Keep all areas of work clean, neat and orderly at all times. Keep paved areas clean during installation. Clean up and remove all debris from the entire work area prior to final acceptance to satisfaction of landscape architect.

1.19 FINAL ACCEPTANCE: Work under this Section will be accepted by landscape architect upon satisfactory completion of all work. Upon Final Acceptance, owner will assume responsibility for maintenance of the work. Said assumption does not relieve contractor of obligations under Warranty.

1.20 WARRANTY: In addition to manufacturer's warranties or warranties, all work shall be warranted for one year from the date of Final Acceptance against defects in material, equipment and workmanship by contractor. Warranty shall also cover repair of damage to any part of the premises resulting from leaks or other defects in materials, equipment and workmanship to the satisfaction of the owner.

PART 2 MATERIALS

2.01 GENERAL: Materials throughout the system shall be new and in perfect condition. At least 14 days prior to beginning work, submit for approval 2 copies of manufacturer's catalog cuts, specifications, and operating instructions of the complete list of materials and assemblies to be installed. Quantities of materials and equipment need not be included. No deviations from the specifications shall be allowed. The decision of the landscape architect shall be final in the determination of the quality of materials and equipment.

2.02 WATER METERS: Shall be provided by others.

2.03 PIPE

A. Mainline piping on pressure side of irrigation control valves:

1. 2" size and greater to be Polyvinyl Chloride (P.V.C.) 1120-1220, Class 315 and shall conform to ASTM D 2241-73 and D 2872-73.
2. Up to and including 1-1/2" size to be Polyvinyl Chloride (P.V.C.) 1120-1220, Schedule 40 and shall conform to ASTM D 1785-73.
3. Galvanized Steel, Schedule 40, capable of withstanding working pressure up to 600 psi shall run from the point of connection to back flow prevention device.
4. Piping from the point of connection to the back flow prevention device shall be as approved by local code.

B. Lateral line piping on non-pressure side of irrigation control valves:

1. 2" size and greater to be Polyvinyl Chloride (P.V.C.) 1120-1220, Class 315 and shall conform to ASTM D 2241-73 and D 2872-73.
2. Up to and including 1-1/2" size to be Polyvinyl Chloride (P.V.C.) 1120-1220, Schedule 40 and shall conform to ASTM D 1785-73.

2.04 FITTINGS

A. PVC Fittings: Schedule 40, Polyvinyl Chloride, high impact weight, as manufactured by Sloane, Lasco, medium or approved equal.

B. Fittings for Galvanized Steel Pipe: Schedule 40, standard weight as manufactured by Grinnell, or approved equal.

C. Connections between main and valves shall be PVC Schedule 80 nipples and fittings.

2.05 SLEEVE MATERIALS

A. For Control Wires: PVC 1120-1220, Class 200 pipe or heavy wall galvanized steel conduit.

B. For Water Lines: PVC 1120-1220, Class 200 pipe or heavy wall galvanized steel conduit.

2.06 IRRIGATION CONTROLLERS

A. Controller to be as shown on plans and to be installed as per detail and manufacturer's specifications.

2.07 IRRIGATION CONTROL VALVES

A. Remote Control Valves: Valves to be as shown on plans and installed per details and manufacturer's specifications.

2.08 CONTROL WIRE

A. Wire: Solid copper wire, U.L. approved for direct burial in ground. Minimum gauge: #14. Common ground wire shall be white.

B. Splicing Materials: Wire connectors shall be Penrite or snap connectors.

C. All wires shall be labeled with the valve number at the controller and valve.

D. 120 wiring shall be as required by local code and installed by an electrician. It shall not be on a switched circuit.

E. Common wire shall be white. Control wires shall be other than white. Use a different color control wire for each controller.

2.09 VALVE BOXES

A. Remote Control Valves: To be Brooks, Green or approved equal, one per valve.

B. Gate Valves and Control Wire Stub-out Locations: To be Brooks, Green or approved equal, one per valve or stub-out location.

2.10 QUICK-COUPLING VALVES

A. Quick coupling valves to be as per plans and details.

B. Furnish 2 valve keys fitted with hose valve assembly.

C. All valve boxes shall be purple in color or clearly labeled by the manufacturer to designate retained water.

2.11 LANDSCAPE DRIP-LINE: Tubing as shown in legend and drawings.

A. Install in parallel and consistent runs at spacing indicated in all specified areas.

B. Install 3" below grade.

2.12 SPRINKLER HEADS

A. Heads as shown in legend and drawings.

2.13 BACK-FLOW PREVENTION ASSEMBLIES

A. Back-flow prevention device as shown in legend and drawings.

PART 3 EXECUTION

3.01 LAYOUT

A. Layout work as accurately as possible to drawings. Drawings are diagrammatic to the extent that swing joints, offsets and all fittings are not shown.

B. Full and complete coverage is required. Contractor shall make any necessary minor adjustments to layout required to achieve full coverage of irrigated areas at no additional cost to owner.

PART 1 GENERAL

1.01 SCOPE

A. Work Included: Perform all work necessary and required for the construction of the project as indicated. Such work includes but is not limited to the following:

- Site preparation including weed and rubble removal.
- Laboratory soil analysis.
- Furnishing and spreading topsoil.
- Finish grading of planted areas.
- Soil amendment.
- Planting.

C. Dig trenches wide enough to allow a minimum of 6 in. between parallel pipe lines. Trenches shall be of sufficient depth to provide minimum cover from finish grade as follows:

1. Over PVC pipe on pressure side of irrigation control valve, control wires and quick coupling valves: 12 inches.

2. Over pipe on non-pressure side of irrigation control valve: 12 inches.

3.03 BACK FLOW PREVENTION DEVICE INSTALLATION

A. Install according to local code and manufacturer's instructions.

B. Install with union on discharge side for servicing, or with flanges, as required.

3.04 SLEEVING

A. Where pipes or wires must be installed under paving place them in sleeves with a 24" minimum depth and sufficient size to accommodate irrigation lines and/or wires.

B. Lack of pipe chase coordination does not relieve the contractor from installing the pipes and control wire shown on the drawing. In the event pipe chases were not installed prior to paving the contractor shall bore under the paving to accommodate pipes and wires.

C. All control wire shall be in Schedule 40 conduit from trench to controller. When valves are grouped together allow 12" between valve boxes, each valve in a separate box, (not to be placed in drainage swales, but kept in ground cover areas.)

3.05 PIPE LINE ASSEMBLY

A. Install pipe in accordance with manufacturer's instructions.

B. Solvent weld all PVC pipe and fittings using solvents (including primer) and methods as recommended by the manufacturer, except where screw connections are required. Clean pipe and fittings of dirt and moisture before assembly. PVC pipe may be assembled on ground surface beside trench. Snake pipe from side to side of trench bottom to allow for expansion and contraction. Make all connections between PVC pipe and metal valves or pipe with threaded fittings using PVC male adapters.

C. Substitution of plant material will not be permitted unless authorized in writing by landscape architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of contract price.

1.04 COORDINATION



THE
**POSTMARK
HALL**
EVENTS CENTER

STRATEGIC BUSINESS PLAN

The Postmark Hall

823 Marin Street

Vallejo, CA 94590

Updated: May 2025

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1.0 Executive Summary

1.1 Products and Services

Situated in the heart of the City of Vallejo, we are proud to introduce The Postmark Hall events venue featuring the historically significant and former Federal Building. Built originally as a Vallejo U.S. Post Office in the architectural styled fusion of the Beaux-Arts classicism and the zig-zag modern so popular for government buildings in the 1920's and 1930's, the Federal Building is a great example of an era's attempt to depart from traditional architectural design and style. The Federal Building also celebrates the rich history of the American Postal Service within the various mottoes inscribed in the exterior and interior walls of the building. Within the lobby, there is an original WPA tile mural "Festival Following the Completion of the New Dry Docks, Mare Island, 1885" designed by Earl Barnett and executed by Gladding McBean Company. As longtime residents of the City of Vallejo, we are proud to restore this historically important building for the private enjoyment of residents and guests of the Greater Bay Area.

The Postmark Hall, LLC (subsequently referred to as "The Company") will offer members of the public a unique opportunity to rent the historic grounds of the former Federal Building (subsequently referred to as "The Postmark Hall") to host their private events. Featuring a main room with over 7,000 square feet of open space, The Postmark Hall offers its clients the opportunity to comfortably entertain their guests in a lavishly decorated indoor environment.

The Company will not offer any food or beverage services, nor will it provide any designated area for food preparation at this time.

The only product and service offerings of The Postmark Hall, LLC are:

- Exclusive right to rent the property grounds (823 Marin St., Vallejo, CA) for private event hosting.

1.2 Expansion Plan

In the future, The Postmark Hall, LLC plans to acquire neighboring parcels of land, as they become available, in order to expand the availability of exclusive venue parking.

2.0 Company

2.1 Mission Statement

To offer a high-quality first-class events venue at an affordable rate, for the exclusive enjoyment of private hosts and their guests.

2.2 Principal Members

Leticia Delgadillo – Designer and lead business developer

Luis R. Delgadillo – Building maintenance and development

Elin Delgadillo – Business operations and strategy development, and Administrator

2.1 Registered Name and Business Structure

The Postmark Hall will be operated as a Limited Liability Company registered in the State of California, The Postmark Hall, LLC.

2.2 Organizational Plan

As a wholly owned business, The Postmark Hall, LLC will be fully operated under the direction of its Principal Members.

3.0 Products and Services

3.1 Venue Hosting

The Company will only allow one event to take place on the property grounds per any given day. This will allow its clients and their guest to enjoy maximum privacy and comfort while having exclusive access to the facility and its premises. The Postmark Hall will be available for daily rental, per the following hours of operation schedule:

Hours of Operation Schedule

- **Sunday through Saturday: 6:00 a.m. to 12:00 a.m.**

Clients are expected to vacate the premises, along with any personal belongings within the established hours of operation on event days. Under no circumstances will clients and/or their guests be permitted to occupy the premises outside of the established hours of operation. Any personal property or equipment that is unable to be removed from the premises by the conclusion of the business day will need to remain on site until the following business day when the client and/or the client's guest(s) will be granted access to the property for an additional fee.

3.2 Professional Security Services

The Company will provide client hosts a list of approved professional security service providers for clients to contract with in order to ensure compliance with The Company's operational policies and to ensure licensed and qualified services are retained for all events at The Postmark Hall. For operational plan details, please refer to section **4.2 Security Operations Plan**.

4.0 Operation Plans

4.1 Alcohol Control Plan

Guidelines listed include but are not limited to rules that must be reviewed and agreed upon by all client hosts (or event hosts) interested in serving alcohol as part of their event at The Postmark Hall. In addition, clients will be required to obtain and present proper permissions and licenses to serve alcohol prior to the commencement of an event. Hosts will expressly confirm receipt of the following guidelines and review these with all purchasers/servers/monitors of alcohol prior to the day of the event.

1. Hosts, licensed bartenders, and/or servers must understand the responsibilities for and of a Liquor License prior to event.
2. Procedures every server of alcohol MUST know:
 - a. All bartenders and servers at an event **must not** consume alcohol during the event.
 - b. At all events, a bartender or trained server(s) is required to monitor the distribution and consumption of the alcohol. Alcohol must be attended at all times. The distribution of alcohol must be monitored throughout the event.
 - c. If hosting a public event, proof of age must be checked at all entrances to an event and at the point of service. Guests must wear a wristband or other non-duplicable proof of legal drinking age. Proof of age should be checked when alcohol is served. Hosts are required to attach the bands for the guests.
 - d. Alcohol may not be served to any individual who is under 21 years of age. Violation of this section may result in fines, legal action, or both.
 - e. Alcohol will be stored and dispensed in a controlled service area accessible only to designated server(s). Common containers of alcoholic beverages will not be allowed unless controlled by the server. i.e. a bottle of wine may not be set on the table for guest or visitors to serve themselves, but must be poured into a glass by the designated server.
 - f. The event must be confined to the assigned room or facility. Alcohol must remain within the event facility.
 - g. No containers, either open or closed may leave the event area or designated space.
 - h. Hosts may use a 3rd party vendor cash bar with up-to-date license(s) and insurance.
 - i. Security guard personnel will be mandated to be informed of facility alcohol policy and coordinated with alcohol server(s)/bartender(s) to ensure safety of guests, visitors, and management.
 - j. Activities which encourage the rapid consumption or the consumption of large amounts of alcohol, drinking game “keg-stands”, are prohibited.
 - k. Alcohol may not be served to any individual(s) who is/are evidently intoxicated, unsolicited, or unwanted by either event host or deemed to be a hazard to the safety and well-being of assembly.
 - l. "Last call" must be made at least one hour prior to the end time.

The Postmark Hall, LLC strongly suggests that host/servers receive responsible beverage service training.

NEITHER THE POSTMARK HALL, LLC, NOR ANY OF ITS EMPLOYEES, STAFF, OR PERSONNEL SHALL ENGAGE IN THE HANDLING, SERVING, DISPENSING, OR DISTRIBUTION OF ALCOHOLIC BEVERAGES UNDER ANY CIRCUMSTANCES. THE POLICIES AND GUIDELINES SET FORTH ABOVE ARE INTENDED TO PROMOTE THE SAFE AND RESPONSIBLE HANDLING OF ALCOHOLIC BEVERAGES BY EVENT HOSTS AND THEIR DESIGNATED REPRESENTATIVES.

4.2 Security Operations Plan

4.2.1 Security Guard Personnel

Clients are expected to hire professional security services from an authorized and approved list of service providers in order to ensure well qualified and licensed providers are retained for all events. The goal of the security team will be to ensure that any and all events held at The Postmark Hall are safe from violence, unsolicited persons, crisis, and owner property.

One (1) un-armed informed security guard will be retained for every sixty (60) attendees of an event. At minimum, one (1) security guard will be posted at the exterior entrance to the venue. Security personnel or management will ask anyone who is causing a disturbance to vacate the premises. If necessary, security personnel or management will call the local law enforcement agency for assistance. Client hosts are required to retain a minimum of two (2) security guards per event.

Security personnel may be equipped with two-way communication radios for continuous contact, handcuffs, flashlights, glow vests, and tasers (if deemed necessary). Security guard personnel will make visible foot patrols through the area in undetermined patterns and interact with patrons and employees in additions to standing at fixed posts.

Hired security personnel will be required to prevent violence in any situation while affording maximum protection to patrons, visitors, and property. Security guards will monitor surveillance over all persons entering/exiting facility, conduct periodic outside patrols and periodically roam floors and inspect packages, briefcases, purses, duffel bags, and other items being brought into or being removed from the premises. In addition, security guards will deter and report unauthorized personnel or vehicular entry onto the facility and, prevent the occurrence of fires, explosions, collapses, and other catastrophes. In such event, contractor will summon appropriate response agencies and then notify personnel in accordance with applicable order and policies, assist in minimizing the effects thereof, and assist in restoring the area to a safe condition. Moreover, security guards will; safeguard property and personnel, deter the commission of crimes against persons and property, summon the appropriate response forces and assist those response forces as required, respond to and investigate all alarm conditions and any other indications of suspicious activities within assigned areas, maintain law and order within the areas of assignment consistent with security force training and equipment in a manner so as not to unreasonably endanger property or personnel, receive, receipt for, and safely store lost and found articles pending return to owner or for appropriate disposal in accordance with procedures issued, observe and enforce posted rules and regulations covering the facilities, be helpful and, within reason, provide information or service requested, ensure that security of premises is not violated in any way, protect owners property against theft and damage, not permit any individual to have access to the building or grounds designated herein until it has been determined that permitting such person(s) to have such access will not be contrary to the public interest, and that the individual(s) is authorized to be admitted in accordance with applicable orders, rules, and regulations, greet and tactfully deal with the general public, diplomats, delegates, and use good judgment. Although not armed, the uniformed security force will act as a deterrent to protestors, demonstrators, and to anyone who may wish to commit an act of violence on the property. The contractor will ensure that the guard force is kept up to date in crime and prevention, crowd control, bomb threat procedures, and

protection of diplomats, evacuation, and other necessary measures. The primary goal for the security force is to avoid violence in any crisis situation while affording maximum protection to staff members, visitors, and to property.

4.2.2 Surveillance Camera System

In order to facilitate safety of all persons, a Ubiquity UniFy Enterprise NVR surveillance security system will be installed to monitor and record all activity. Specifically, The Postmark Hall will be equipped with UniFi 4K Enterprise NVR Security System (ENVR) with Enhanced AI 4K Bullet Cameras (G6 Bullet). This system is comparable to the Lorex NVR surveillance systems used by Principal Members at various other commercial properties, and that has already proven valuable to law enforcement.

Cameras will be installed in various locations throughout the building's interior and exterior walls to maximize the surveillance. Monitoring via a remote Wi-Fi enabled mobile device will allow security personnel the ability to survey greater areas simultaneously, enhance loss prevention, instant review of previous activity, and provide the necessary 24/7 surveillance needs for the protection of the premises and the public. With this system, a designate from the security team can effectively monitor constantly and be on the lookout for any signs of suspicious behavior or activity. The security surveillance team will provide peace of mind for both patrons and owner while demonstrating the concern for everyone's safety and well-being. The surveillance system will allow for the ability to enhance the level of safety for all events.

4.2.3 Alarm System

Intrusion alarms will be installed. These alarms serve two important functions: To provide 24/7 monitoring in remote locations where staff is not always present and alert designated authorities in the case of an intrusion of facility. A control panel to activate and deactivate alarm system, triggered sirens, motions sensors, door sensors, window sensors, outdoor signage and decal for windows will be installed on and about the premises. The goal is to deter any and all unwarranted personnel from breaching and gaining unauthorized access to the premises or any prohibited areas.

5.0 Market Research and Strategy

5.1 Economic Outlook

Before the 2020 Covid-19 pandemic, several markets across the United States were growing at substantial rates, driven mostly by consumer spending and corporate profits. Moreover, rising asset prices and a decreasing unemployment rate were helping the renewed confidence in the economy.

Today, the economic outlook is a bit more uncertain compared to pre-pandemic times. However, predictions can still be made based on historic trends, consumer sentiment derived from earnings reports, and current events as they apply to future social impacts. Specifically, the stock market presented a significant recovery from its March downfall and several companies who offer luxury products and services were able to beat analyst earnings estimates. This is indicative of an optimistic consumer mindset that continues to value their derived benefit from luxury goods and services. As such, we can assume that the party & event planners' market will resume growth, at a more conservative degree from previously determined growth rates.

Before the pandemic, IBISWorld predicted that the catering market, party supply market, and the party & event planners' market would all continue to see strong positive performance, with an average annualized growth of 3%. Similarly, it was assumed that if an economic downturn would arise, these markets would be some of the first to be negatively impacted as corporate and private events would be exponentially reduced. Given the current economic climate, we are revising the IBISWorld predicted growth rate to an annualized rate of 1.5%.

5.2 Industry Analysis

The leasing of banquet halls in the United States is an extremely large business. The US Economic Census indicates that there are approximately 5,000 companies that specialize in the rental of banquet halls and event locations. Each year, these businesses aggregately generate more than \$5 billion dollars a year of revenue and provide jobs for more than 40,000 people. The growth of this industry has remained in lockstep with the growth of the economy in general. The number of facilities operating within this industry has increased 15% over the last five years while gross receipts have increased almost two-fold.

5.3 Customer Profile

Finding the perfect venue is typically the second most important aspect in event planning only after determining the ideal geographical region to host an event. However, the limitations imposed by the short stock of venues in any geographical region and availability provide an opportunity for clients well outside of any geographically determined boundary in the Bay Area to seek the services provided by The Federal Building Events Center.

The Company anticipates three (3) main event usage types by clients:

- **Social Celebrations Events** (e.g. birthdays, weddings, quinceañeras, prom, bridal and baby showers, retirement parties, etc.)
- **Corporate Events** (e.g. holiday or end-of-year parties, honoree galas, workshops, trade shows, etc.)
- **Charity Events** (e.g. fund-raisers)

Management anticipates a large percentage of clients contracting The Postmark Hall for social celebration events. Management has outlined several demographics among its target client market, including:

- Has an annual household income of \$50,000 or more
- Has a spending budget of over \$10,000 for an event

On average, Management anticipates social celebration events will constitute the largest percent of total venue rental usage type, at roughly **57%**. Corporate and charity events are anticipated to constitute roughly **24%** and **19%** respectively on a recurring yearly basis.

5.4 Market Need

Large venues are typically sought out by clients to host events for a large group of people. Accordingly, the size of a venue and its ability to accommodate all of a client's guest is a critical component in winning a client. Venue size, in conjunction with the aesthetics and geographical location, comprise the most important aspects that a customer looks for in a building.

With more than 8,000 square feet of floor space, The Postmark Hall can accommodate large guest counts. Although the actual occupancy per event or function will vary by party or client preference, Management anticipates the majority of events held at the Postmark Hall to include a table-seating arrangement. This assumption is derived from management's prior experience in serving the greater bay area party & events market with venue decoration services and dining equipment rental. The Postmark Hall will focus most of its efforts on the private market who seek open-floor spaces to host private events. The following is a breakdown of anticipated occupancy per event type:

- **Celebrations:** These event types typically use space in a table-seating-style arrangement. Although occupancy varies by event, average minimum and maximum anticipated occupancy of the venue space for these event types are:
 - **Average minimum: 120 guests**
 - **Average maximum: 240 guests**
- **Communications:** These event types use space in a table-seating-style arrangement. Although occupancy varies by event, average minimum and maximum anticipated occupancy of the venue space for these event types are:
 - **Average minimum: 60 guests**
 - **Average maximum: 150 guests**

Management anticipates that celebration-type events will constitute the largest number of total annual events held per year.

5.5 Competition

Key competitors of The Postmark Hall include:

- **Dan Foley Cultural Center:** The Foley Cultural Center, Greater Vallejo's Recreation Districts largest center, offers several rooms for rent, including a large banquet room that accommodates up to 500 guests.
- **Filipino Community Centers Vallejo (FCCV):** A popular local venue space in Vallejo. With several years of experience in venue rental, FCCV recently acquired a large venue with a 250-person capacity. This venue has become a popular choice because of its

relatively larger space in the region. Likewise, FCCV also offers a smaller venue with a maximum capacity of 75 people for smaller functions.

- **Flamingo Banquet Hall:** An upscale banquet hall and caterer in Vallejo which services a variety of events primarily for private clients. The Flamingo Banquet Hall is a comparatively smaller venue with an estimated maximum capacity of 150 guests.

6.0 Marketing Plan

The Postmark Hall will focus its marketing efforts on both the business and private event markets. The Company intends to maintain an extensive marketing campaign that will ensure maximum visibility for the business in its targeted market. Below is an overview of the marketing strategies and objectives of The Postmark Hall.

6.1 Marketing Objectives

- Develop a website for The Postmark Hall —
 - (www.ThePostmarkHall.com)
- Promote the website through search engine optimization and search engine marketing around event and rental keywords for the local area.
- Create flyers for The Postmark Hall.
- Establish connections with local event and wedding planners.
- Develop relationships with local businesses for their event planning and corporate event needs.
- Promote the space at local summer business fairs.

6.2 Marketing Strategies

The Company will promote the business through a number of traditional marketing and advertising channels. The foremost marketing strategy that the business will use, will be to develop connections with local event and wedding planners so that the business can continually book events through these planners.

The Postmark Hall will also maintain a strong level of print and media advertising among local newspapers, event planning publications, and other news medium. Also, The Company will maintain several social media accounts on key social media platforms.

Finally, The Postmark Hall will maintain a website that has a virtual tour of the facility in addition to standard contact information and booking resources.

6.3 Pricing

Initially, The Postmark Hall will only offer its interior open space for hosting. There is no kitchen or food preparation area. Given this fact, The Company will allow outside food servicers to operate on the premises. Clients and catering providers will be notified of the current absence of a food preparation space and will be required to bring their products in a ready-to-serve manner. In the future, Management will begin the process of developing a food preparation space within the facility.

The following Fee Schedule only reflects the daily cost of renting the facility and premises of The Federal Building Events Center:

Fee Schedule

- **Weekday Events** (*Monday thru Thursday*): **\$6,000.00**
- **Pre-Weekend Events** (*Friday*): **\$8,000.00**
- **Weekend Events** (*Saturday and Sunday*): **\$9,500.00**

7.0 Environmental Impacts and Contingency Plans

7.1 Parking

Pursuant to VMC 16.508 - B of the Vallejo Municipal Code (Section 16.508), the proposed commercial use type of Community Assembly requires “one (1) space for each five (5) fixed seats or one (1) space for each fifty (80) square feet of indoor assembly area without fixed seats.” Using the total square feet of the floor area used for assembly (7,168 sq. ft.) as our basis, a total of **90** off-street parking spaces are required for the subject property to operate in its existing state. Our calculation is based on the square footage of the main assembly room, less any accessory or occupancy spaces that are ancillary to the main assembly room. (See *Appendix A*)

Currently, the subject property counts with **21** total parking stalls.

Management has determined that celebration type events (e.g. weddings, quinceañeras, etc.) will comprise the greatest number of events held per year. In addition, celebration type events are expected to host the greatest average number of attendees per event. On average, it is anticipated that a celebration type event will host a maximum average of 240 guests. In order to minimize the impact of The Postmark Hall operations on the surrounding neighborhood, management plans to highlight the onsite parking limitations to client hosts and provide resources for the client’s guests to encourage rideshare transportation services like Uber, Lyft, and other private transportation arrangements. In addition, our proximity to the downtown district areas leads us to believe some guests may opt to walk to events held at the premises. Thus, Management anticipated the impact to street parking to be minimal.

Because of the limited availability of off-street parking spaces provided on the premises, a minor use permit pursuant to VMC 16.508.04 (D) of the Vallejo Municipal Code (Section 16.508) to request a reduction of the parking spaces requirement will be submitted.

In the future, The Postmark Hall, LLC will actively seek to acquire local parcels of land, as they become available, in order to develop and expand the off-street parking capacity of The Postmark Hall.

7.2 Noise

The subject property has a General Plan 2040 designation of Neighborhood Mixed-Use (NMX). In Chapter 16.502 of the Vallejo Municipal Code (Section 16.502.09), the zoning districts of Commercial and Mixed-Use, Medical, Office have a maximum permitted sound pressure level of 70 decibels (dBA), with a correction factor of plus (+) or minus (-) 5 dBA based on the time and operations of type of noise produced.

Moreover, the General Plan 2040 shows a maximum allowable Community Noise Equivalent Level (CNEL) of 65 dBA for Auditorium and Concert Hall Land Use Types. As explained by our sound testing engineering firm of record, Grzebik Design Group, CNEL is a single number result that is calculated for a complete 24-hour period and usually made up of results taken at shorter intervals that are averaged over the whole 24 hours.

In trying to determine the noise containment performance of the main structure located at the subject property, we hired Grzebik Design Group to perform a detailed analysis of the main facility using a live sound system (*see Appendix B*). Grzebik found that noise levels did not

exceed 65 dBA at the property line, using a sound pressure level of 98 dBA inside the building. In addition, they determined that the facility would produce a total CNEL is 57.1dBA for daytime events and 63.5 dBA for evening events ending at 10pm.

Under their advice of Grzebik Design Group, Management will strictly enforce a maximum sound energy production level of 98 dBA for any event held at The Postmark Hall to ensure legal compliance with local ordinances.

8.0 Financial Plan

Economic Revision Summary

Given the current state of our economy and unpredictable trends in consumer behavior driven mostly by deviations from historically recorded economic shifts during a crisis, Management will postpone the production of a financial plan until more material evidence can be produced to make more accurate economic predictions.

The Fee Schedule for The Postmark Hall ([see section: 6.3 Pricing](#)) will remain fixed, as was determined in our initial development of an affordable pricing scheme.

Appendix B: Noise Study - The Postmark Hall



The Federal Building Events Center Noise Study

Report Date: July 14, 2020

Site Survey Date: June 30, 2020

Testing Engineer: Barry Grzebik

Equipment: Ivie IE-45 Audio Analysis System

Ivie IE-5P Preamp with ½" Type 1 Microphone

Larson Davis CAL200 Acoustic Calibrator

Calibration certificates available on request.

Subject Site Location: 823 Marin St., Vallejo, CA 94590

General:

For the purpose of evaluating the buildings ability to contain sound energy generated by potential events in the main room, a sound system was temporarily installed at the stage location in the South West corner of the main room. Sound level measurements were taken at the property line establishing a relationship between inside and outside sound levels that can be used to set maxim inside levels to keep operations within the city noise regulations.

Additionally at two locations, ambient outside noise levels were measured.

Noise limits have been taken from the document on the following page that indicated a maximum CNEL of 65dBA. CNEL is the acronym for Community Noise Equivalent Level. CNEL is a single number result that is calculated for a complete 24-hour period and usually made up of results taken at shorter intervals that are averaged over the whole 24 hours.

CNEL number includes a penalty of 5 dB added between 7 pm and 10 pm. and a penalty of 10 dB added for the nighttime hours of 10 pm to 7 am.



TABLE NBE-1 California Land Use Compatibility for Community Noise Environments

Land Uses	CNEL (dBA)					
	55	60	65	70	75	80
Residential – Low Density Single-Family, Duplex, Mobile Homes	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable
Residential – Multiple Family	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Transient Lodging, Motels, Hotels	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Schools, Libraries, Churches, Hospitals, Nursing Homes	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Auditoriums, Concert Halls, Amphitheaters	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Sports Arena, Outdoor Spectator Sports	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Playgrounds, Neighborhood Parks	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Golf Courses, Riding Stables, Water Recreation, Cemeteries	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Office Buildings, Businesses, Commercial, and Professional	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Industrial, Manufacturing, Utilities, Agricultural	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable

Normally Acceptable:
Specified land use is satisfactory based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.

Conditionally Acceptable:
New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and the needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning will normally suffice.

Normally Unacceptable:
New construction or development should generally be discouraged. If new construction does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.

Clearly Unacceptable:
New construction or development generally should not be undertaken.

Source: Governor's Office of Planning and Research, General Plan Guidelines, November 2003.

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Findings:

With a sound pressure level of 98dBA in the center of the main room, sound levels at the property line do not exceed 65dBA (slow detection real time measurement). With the assumption that during most of the day the facility will be quiet and activities generating high sound pressure levels will be limited to a 4 hour period, the total CNEL is 57.1 dBA for daytime events and 63.5 dBA for evening events ending at 10pm.

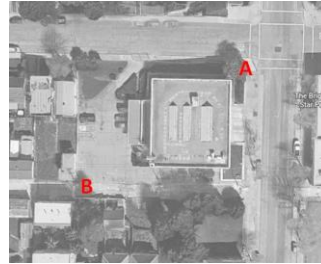
Facility management should obtain a Type-2 Sound Pressure Level meter and Field Calibrator to monitor sound levels during events



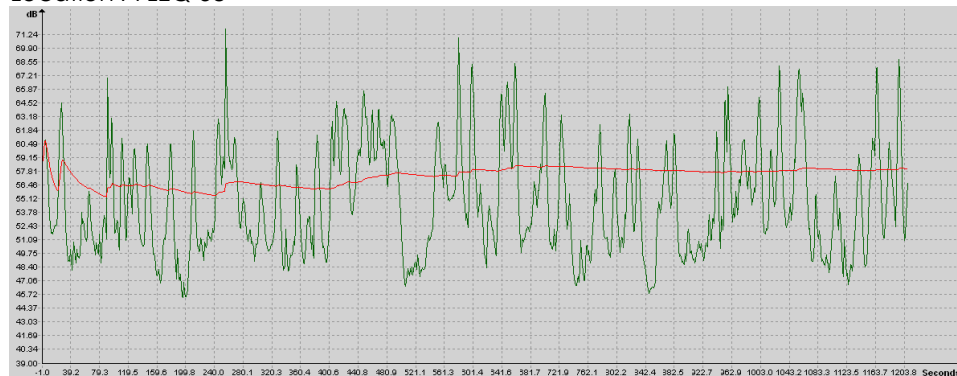
California: 543 Amber Way, Petaluma, 94952 - Illinois: P.O.Box 35, Lake Zurich, 60047 - 707-235-2128 - gdgpro.com
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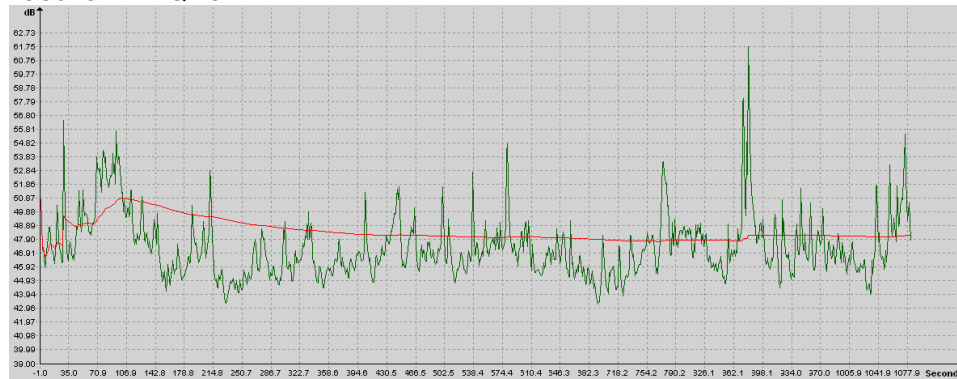
Long term average outside sound levels were Measured at two locations indicated as A and B. Location A is the North East porperty corner at Marin and Carolina Street. Measurement duration at each location was twenty minuits. Below is the data for each location. The green curve is the raw data shown with slow detection and A weighting. The red curve is the LEQ (time weighted average, A weighted).



Location A LEQ 58



Location B LEQ 48



END

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PARKING STUDY
for
823 Marin Street
Vallejo, California.
Project 24069

May 9, 2025

Prepared
for
Mr. Elin Delgadillo

By



A handwritten signature in black ink, appearing to read "Ali G. Mahalatina".

MEC _____

MAHALAT ENGINEERING CORPORATION

4711 MANGELS BOULEVARD, SUITE A,

FAIRFIELD, CA 94554

(707)865-0500

EMAIL@MAHALATEGNEERING.COM

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ATTACHMENT A, PARKING SURVEYS

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ATTACHMENT B, FIGURES

- Figure 1 – Street Parking and Zoning
- Figure 2 – Public Parking Lots

INTRODUCTION

This report is a detailed study of the available parking for the subject building at 823 Marin Street, Vallejo, California, under proposed Use Permit (UP18-0002) and Certificate of Appropriateness (COA23-0005), APN: 0056-161-040.

AUTHORIZATION

Preparation of this report is authorized by Mr. Elin Delgadillo, property owner and applicant.

PROJECT DESCRIPTION

The proposed use of the property requires 90 off-street parking, per city of Vallejo Planning Division. The proposed development offers 20 off-street auto and 4 motorcycle parking spaces, totaling to an equivalent of 21 parking spaces. Therefore, the site is short 69 parking spaces.

To compensate for the shortage, the City of Vallejo requires that the available public parking to be:

- twice the number of required off-street parking. Therefore, the shortage is 138 parking stalls.
- located within 500 feet of the property on non-residential streets.
- or to be located in a public parking within ¼ mile from the property.

The purpose of this study is to determine the available public parking that meets the above criteria.

SCOPE OF WORK

The scope of work for this study includes the following:

- Review the available documents that are provided to us, including the proposed plans for the project development.
- Review City of Vallejo municipal code regarding parking and parking requirements.
- Based on the criteria provided by Planning Division, identify available public parking on streets and in parking lots.
- Perform parking count of those identified spaces several times during week days and weekend days.
- Tabulate the results and present the findings in a report.

IDENTIFICATION CRITERIA OF AVAILABLE PARKING

For street parking, we have prepared a scaled map of the area with 500-foot distance marking from the four corners of the property. See Figure 1. Within this area, we have identified the non-residential zoning, per city of Vallejo zoning map. Each block is marked with its zoning designation. See **Figure 1**.

Table 1 lists all city blocks within the 500-foot radius from the subject building and identifies the associated zoning designation for each block and lists legal street parking stalls in non-residential neighborhoods.

Table 1. Available street parking in non-residential zoning					
Street	From	To	Zoning⁽¹⁾	Stalls	Notes
Florida	Santa Clara	Sacramento	RLD	0	Residential district. Not counted.
Florida	Sacramento	Marin	NMU	0	Last building. Loading zone.
Florida	Marin	Sonoma	NMU	7	Entire block up to parking lot
Florida	Sonoma	Marin	NMU	2	Commercial Building at Marin only
Florida	Marin	Sacramento	NMU	1	Commercial Building at Marin only
Carolina	Santa Clara	Sacramento	RLD	0	Residential district. Not counted
Carolina	Sacramento	Marin	NMU	6	Abutting subject property only
Carolina	Marin	Sonoma	NMU	12	Entire block
Carolina	Sonoma	Marin	NMU	12	Entire Block
Carolina	Marin	Sacramento	NMU	4	Only first building at Marin
Carolina	Sacramento	Santa Clara	RDL	0	Residential district. Not counted
Capitol	Santa Clara	Sacramento	DMU	12	Last 12 stalls near Sacramento
Capitol	Sacramento	Marin	DMU	14	Entire block
Capitol	Marin	Sonoma	DMU	23	Entire block
Capitol	Sonoma	Marin	NMU	4	Entire block
Capitol	Marin	Sacramento	NMU	1	Commercial building at Marin
Capitol	Sacramento	Santa Clara	RMD	0	Residential district. Not counted

Table 1. Street parking in non-residential zoning (continued)					
Street	From	To	Zoning⁽¹⁾	Stalls	Notes
Sacramento	Virginia	Capitol	DMU	8	½ of South of alley and north of alley
Sacramento	Capitol	Carolina	RMD	0	Residential district. Not counted
Sacramento	Carolina	Florida	RLD	0	Residential district. Not counted
Sacramento	Florida	Carolina	RLD	0	Residential district. Not counted
Sacramento	Carolina	Capitol	RLD	0	Residential district. Not counted
Sacramento	Capitol	Virginia	DMU	7	North of towner driveway
Marin	Virginia	Capitol	DMU	16	6 stalls south of alley & north of alley
Marin	Capitol	Carolina	NMU	12	Entire Block
Marin	Carolina	Florida	NMU	10	Entire Block
Marin	Florida	Kentucky	NMU	0	Bike Lane
Marin	Kentucky	Florida	NMU	3	Last 3 stalls
Marin	Florida	Carolina	NMU	11	Entire Block
Marin	Carolina	Capitol	NMU	10	Entire Block
Marin	Capitol	Virginia	DMU	10	Entire Block
Sonoma	Florida	Carolina	CC	3	Last 3 stalls
	Carolina	Capitol	CC	7	Entire Block
Total				195	Total legal stalls in non-residential zoning

(1)

Zoning Designation Key:

NMU: Neighborhood Mixed Use

RLD: Residential Low Density

DMU: Downtown Mixed Use

RMD: Residential Medium Density

CC: Central Corridor

For street parking, we did not count the potential spaces in the following locations:

1. Bus stops.
2. Yellow, white, or red curbs.
3. “No Parking” zones.
4. Parking within close proximity of street crossing or alley.
5. Within 15 feet of fire hydrant.
6. White hatched striping indicating no parking.
7. Loading zone.
8. Bike Lane.

For public parking lots, we have identified parking lots that are within ¼ mile or 1,320 feet of the subject property. See Figure 2. We have counted the available stalls in those parking lots and presented them in **Table 2**.

Table 2. Parking stalls in Public Parking lots		
Parking Lot	Stalls	Notes
Lot F	128	Unrestricted parking
Lot F restricted	25	1-hour and 3-hour parking mainly used by library patrons
Lot D	74	Unrestricted parking
Lot J	87	Unrestricted parking
Lot L	95+1	95 Unrestricted parking plus one motorcycle parking
Lot K	47	Unrestricted parking
Lot G	39	15 stalls at the lower part next to commercial building not counted
Total	495	

Notes:

Parking lot F: we included only the open non-restricted stalls. We did not include any reserved parking in that lot.

Parking lot D: we did not include the parking for tower residence.

Parking lot G: we did not include 15 stalls at the northern end of the parking that is close to the commercial buildings. We assumed that those stalls are for commercial building tenants.

PARKING SURVEYS

We conducted parking surveys spread over several days on weekdays, weekends, mornings, afternoons and evenings peak periods. Here is the list of survey time and dates presented in **Table 3**.

Table 3. Survey dates and time			
Date	From	To	Day of the week
February 8, 2025	10:00 a.m.	5:30 p.m.	Saturday
February 9, 2025	1:45 p.m.		Sunday
February 18, 2025	12:00 p.m.	4:00 p.m.	Tuesday
April 3, 2025	10:45 a.m.	2:45 p.m.	Thursday
April 12, 2025	6:15 p.m.	7:45 p.m.	Saturday

While conducting the count, we counted all parked cars, whether parked legally or illegally. On certain blocks, there were more illegally parked cars than others. Some of the legally and illegally parked cars appear to be parked well beyond 72-hour maximum parking time allowed on public streets. As such, our count of parked cars may exceed the legally available stalls.

Initially, we surveyed the street parking and parking lots D and J, per recommendations of Planning Department. Later we noticed that in addition to parking lots J and D, parking lots F, L, K and G are also within ¼ radius. Therefore, the subsequent counts included those additional parking lots.

Parking counts are presented under Attachment A, pages 1 through 6. A summary of the readings is presented on page 7 for street parking and page 8 for parking lots.

The frequency of the parking count is dependent on the result of the count. Significant variation in a time zone, would require more frequent readings. General observation indicates that this frequency reasonably reflects the parking pattern.

FINDINGS AND CONCLUSIONS

Based on the parking survey, the available street parking by itself does not support the project demand of 138 parking. The street parking summary on page 7 of Attachment A shows that overall average available parking is 69 spaces, with a variation of 23 minimum spaces on Saturday morning and 88 maximum spaces on Saturday early evening.

However, public parking lots provide the needed capacity. The public parking in Lots D, F, and K are almost always near empty. As seen in Table 2, the said lots have a combined capacity of 274 stalls of which an average of 243 spaces are unoccupied—well beyond the required parking demand of 138. In general, there is ample parking available for the proposed use in those lots.

The use of City parking lots can be encouraged and facilitated by the following methods and strategies:

- Providing shuttle service
- Encouraging use of mobile app ride-sharing service, such as Uber or Lyft.
- Providing maps, directions, and other information for parking in city parking lots to patrons.
- Providing valet service.

In the future it is conceivable that parking conditions near the subject building may be enhanced similar to that in downtown areas by narrowing the streets and providing diagonal parking to increase the available parking.

Attachment A
Parking Surveys

Street	From	To	Avaiiable Parking	Zoning Designation		2/8/2025, 10:00 a.m.	2/8/2025, 11:45 a.m.			
Florida	Marin	Sonoma	7	NMU-CC	up to parking lot	2	6			
Florida	Sonoma	Marin	2	CC-RLD-NMU	Only last building	2	2			
Florida	Marin	Sacramento	1	NMU-RMD	only First building	1	1			
Carolina	Sacramento	Marin	6	RMD-NMU	2nd half of block	1	2			
Carolina	Marin	Sonoma	12	NMU-CC	Entire block	9	10			
Carolina	Sonoma	Marin	12	CC-NMU	Entire block	6	10			
Carolina	Marin	Sacramento	4	NMU-RLD	Only first Bldg	2	4			
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	11	11			
Capitol	Sacramento	Marin	14	DMU	Entire block	14	14			
Capitol	Marin	Sonoma	23	DMU	Entire block	21	21			
Capitol	Sonoma	Marin	4	CC-NMU	Entire block	4	4			
Capitol	Marin	Sacramento	1	NMU-RMD	1st Bldg	1	1			
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	7	7			
Sacramento	Capitol	Virginia	7	DMU	North of driveway	7	7			
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	16	15			
Marin	Capitol	Carolina	12	NMU	Entire block	10	11			
Marin	Carolina	Florida	10	NMU	Entire block	10	10			
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	3	3			
Marin	Florida	Carolina	11	NMU	Entire block	6	8			
Marin	Carolina	capitol	10	NMU	Entire block	10	10			
Marin	Capitol	Virginia	10	DMU	Entire block	12	11			
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	0	0			
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	5	4			
Street Total			195			160	172			
Parking F			128	Pub. Parking	All open spaces	No Counted				
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	No Counted				
Parking D			74	Pub. Parking	All open spaces	16	7			
Parking J			87	Pub. Parking	All open spaces	87	87			
Parking L			96	Pub. Parking	1 motorcycle	No Counted				
Parking K			47	Pub. Parking	All open spaces	No Counted				
Parking G			39	Pub. Parking	All open spaces	No Counted				
Parking Total			161			103	94			
Grand Total						263	266			

Street	From	To	Avaiailable Parking	Zoning Designation		2/8/2025, 1:00 p.m.	2/8/2025, 3:15 p.m.	2/8/2025, 4:15 p.m.	2/8/2025, 5:00 p.m.	2/8/2025, 5:30 p.m.
Florida	Marin	Sonoma	7	NMU-CC	up to parking lot	8	6	8	5	6
Florida	Sonoma	Marin	2	CC-RLD-NMU	Only last building	2	2	2	2	2
Florida	Marin	Sacramento	1	NMU-RMD	only First building	1	1	1	1	0
Carolina	Sacramento	Marin	6	RMD-NMU	2nd half of block	2	1	1	2	1
Carolina	Marin	Sonoma	12	NMU-CC	Entire block	10	8	7	7	5
Carolina	Sonoma	Marin	12	CC-NMU	Entire block	9	8	5	7	8
Carolina	Marin	Sacramento	4	NMU-RLD	Only first Bldg	4	2	2	2	2
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	11	6	4	4	5
Capitol	Sacramento	Marin	14	DMU	Entire block	14	9	8	7	8
Capitol	Marin	Sonoma	23	DMU	Entire block	21	16	15	15	16
Capitol	Sonoma	Marin	4	CC-DMU	Entire block	3	3	3	3	3
Capitol	Marin	Sacramento	1	NMU-RMD	1st Bldg	1	1	1	1	1
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	7	2	3	3	3
Sacramento	Capitol	Virginia	7	DMU	North of driveway	7	0	0	0	0
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	15	15	11	11	8
Marin	Capitol	Carolina	12	NMU	Entire block	7	4	3	4	3
Marin	Carolina	Florida	10	NMU	Entire block	12	9	10	10	10
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	3	3	3	2	1
Marin	Florida	Carolina	11	NMU	Entire block	7	8	7	7	7
Marin	Carolina	capitol	10	NMU	Entire block	8	6	7	7	6
Marin	Capitol	Virginia	10	DMU	Entire block	8	8	7	8	9
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	0	0	0	0	0
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	4	2	2	2	3
Street Total			195			164	120	110	110	107
Parking F			128	Pub. Parking	All open spaces	No Counted				
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	No Counted				
Parking D			74	Pub. Parking	All open spaces	5	2	2	1	2
Parking J			87	Pub. Parking	All open spaces	78	49	49	49	51
Parking L			96	Pub. Parking	1 motorcycle	No Counted				
Parking K			47	Pub. Parking	All open spaces	No Counted				
Parking G			39	Pub. Parking	All open spaces	No Counted				
Parking Total			161			83	51	51	50	53
Grand Total						247	171	161	160	160

Street	From	To	Avaiiable Parking	Zoning Designation		2/9/2025, 1:45 p.m.				
Florida	Marin	Sonoma	7	NMU-CC	up to parking lot	7				
Florida	Sonoma	Marin	2	CC-RLD-NMU	Only last building	2				
Florida	Marin	Sacramento	1	NMU-RMD	only First building	1				
Carolina	Sacramento	Marin	6	RMD-NMU	2nd half of block	5				
Carolina	Marin	Sonoma	12	NMU-CC	Entire block	7				
Carolina	Sonoma	Marin	12	CC-NMU	Entire block	9				
Carolina	Marin	Sacramento	4	NMU-RLD	Only first Bldg	2				
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	9				
Capitol	Sacramento	Marin	14	DMU	Entire block	13				
Capitol	Marin	Sonoma	23	DMU	Entire block	18				
Capitol	Sonoma	Marin	4	CC-DMU	Entire block	3				
Capitol	Marin	Sacramento	1	NMU-RMD	1st Bldg	1				
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	7				
Sacramento	Capitol	Virginia	7	DMU	North of driveway	4				
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	16				
Marin	Capitol	Carolina	12	NMU	Entire block	5				
Marin	Carolina	Florida	10	NMU	Entire block	10				
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	1				
Marin	Florida	Carolina	11	NMU	Entire block	3				
Marin	Carolina	capitol	10	NMU	Entire block	7				
Marin	Capitol	Virginia	10	DMU	Entire block	10				
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	3				
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	3				
Street Total			195			146				
Parking F			128	Pub. Parking	All open spaces	No Counted				
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	No Counted				
Parking D			74	Pub. Parking	All open spaces	1				
Parking J			87	Pub. Parking	All open spaces	87				
Parking L			96	Pub. Parking	1 motorcycle	No Counted				
Parking K			47	Pub. Parking	All open spaces	No Counted				
Parking G			39	Pub. Parking	All open spaces	No Counted				
Parking Total			161			88				
Grand Total						234				

Street	From	To	Avaiiable Parking	Zoning Designation		2/18/2025, 11:45 a.m.	2/18/2025, 1:30 p.m.	2/18/2025, 2:00 p.m.	2/18/2025, 3:30 p.m.	2/18/2025, 4:00 p.m.
Florida	Marin	Sonoma	7	NMU-CC	up to parking lot	6	5	5	5	5
Florida	Sonoma	Marin	2	CC-RLD-NMU	Only last building	0	1	1	2	1
Florida	Marin	Sacramento	1	NMU-RMD	only First building	1	1	1	1	1
Carolina	Sacramento	Marin	6	RMD-NMU	2nd half of block	1	1	1	1	1
Carolina	Marin	Sonoma	12	NMU-CC	Entire block	3	3	2	5	7
Carolina	Sonoma	Marin	12	CC-NMU	Entire block	7	5	5	6	7
Carolina	Marin	Sacramento	4	NMU-RLD	Only first Bldg	2	2	2	1	1
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	6	5	7	5	6
Capitol	Sacramento	Marin	14	DMU	Entire block	21	15	20	21	16
Capitol	Marin	Sonoma	23	DMU	Entire block	23	23	23	23	23
Capitol	Sonoma	Marin	4	CC-DMU	Entire block	10	11	12	11	12
Capitol	Marin	Sacramento	1	NMU-RMD	1st Bldg	1	0	1	0	1
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	5	5	4	2	2
Sacramento	Capitol	Virginia	7	DMU	North of driveway	1	1	1	0	1
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	5	8	8	8	10
Marin	Capitol	Carolina	12	NMU	Entire block	3	2	2	3	3
Marin	Carolina	Florida	10	NMU	Entire block	5	8	7	6	6
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	1	1	1	1	1
Marin	Florida	Carolina	11	NMU	Entire block	5	3	4	0	0
Marin	Carolina	capitol	10	NMU	Entire block	6	7	7	5	5
Marin	Capitol	Virginia	10	DMU	Entire block	6	7	5	5	7
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	0	0	0	0	0
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	3	4	4	2	2
Street Total			195			121	118	123	113	118
Parking F			128	Pub. Parking	All open spaces	3	5	8	8	8
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	15	15	13	10	7
Parking D			74	Pub. Parking	All open spaces	29	30	33	25	20
Parking J			87	Pub. Parking	All open spaces	46	42	50	45	44
Parking L			96	Pub. Parking	1 motorcycle	79	83	91	85	44
Parking K			47	Pub. Parking	All open spaces	7	8	7	6	5
Parking G			39	Pub. Parking	All open spaces	28	34	29	26	23
Parking Total			496			207	217	231	205	151
Grand Total						328	335	354	318	269

Street	From	To	Available Parking	Zoning Designation	4/03/2025, 10:45 a.m.	4/03/2025, 11:45 a.m.	4/03/2025, 12:45 p.m.	4/03/2025, 2:45 p.m.	
Florida	Marin	Sonoma	7	NMU-CC	up to parking lot	3	8	6	8
Florida	Sonoma	Marin	2	CC-RLD-NMU	Only last building	3	3	3	3
Florida	Marin	Sacramento	1	NMU-RMD	only First building	2	2	2	2
Carolina	Sacramento	Marin	6	RMD-NMU	2nd half of block	2	2	2	2
Carolina	Marin	Sonoma	12	NMU-CC	Entire block	5	5	5	4
Carolina	Sonoma	Marin	12	CC-NMU	Entire block	2	2	2	3
Carolina	Marin	Sacramento	4	NMU-RLD	Only first Bldg	1	0	1	1
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	7	7	6	3
Capitol	Sacramento	Marin	14	DMU	Entire block	14	15	16	17
Capitol	Marin	Sonoma	23	DMU	Entire block	20	23	22	26
Capitol	Sonoma	Marin	4	CC-DMU	Entire block	9	9	9	9
Capitol	Marin	Sacramento	1	NMU-RMD	1st Bldg	2	2	2	2
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	4	5	5	2
Sacramento	Capitol	Virginia	7	DMU	North of driveway	0	0	0	0
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	10	8	12	16
Marin	Capitol	Carolina	12	NMU	Entire block	3	2	2	3
Marin	Carolina	Florida	10	NMU	Entire block	9	10	10	10
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	3	3	3	3
Marin	Florida	Carolina	11	NMU	Entire block	6	6	7	5
Marin	Carolina	capitol	10	NMU	Entire block	6	4	3	3
Marin	Capitol	Virginia	10	DMU	Entire block	8	9	8	10
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	0	0	0	0
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	4	4	4	4
Street Total			195			123	129	130	136
Parking F			128	Pub. Parking	All open spaces	2	4	3	2
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	14	14	16	14
Parking D			74	Pub. Parking	All open spaces	12	15	10	17
Parking J			87	Pub. Parking	All open spaces	52	57	52	51
Parking L			96	Pub. Parking	1 motorcycle	90	78	74	70
Parking K			47	Pub. Parking	All open spaces	5	5	4	3
Parking G			39	Pub. Parking	All open spaces	24	24	22	20
Parking Total			496			199	197	181	177
Grand Total						322	326	311	313

Street	From	To	Avaiiable Parking	Zoning Designation	Notes	4/12/2025, 6:15 p.m.	4/12/2025, 6:40 p.m.	4/12/2025, 7:45 p.m.		
Florida	Marin	Sonoma	7	NMU	up to parking lot	7	6	3		
Florida	Sonoma	Marin	2	NMU	Only last building	0	0	0		
Florida	Marin	Sacramento	1	NMU	only First building	1	1	1		
Carolina	Sacramento	Marin	6	NMU	2nd half of block	2	2	2		
Carolina	Marin	Sonoma	12	NMU	Entire block	5	6	7		
Carolina	Sonoma	Marin	12	NMU-CC	Entire block	3	4	4		
Carolina	Marin	Sacramento	4	NMU	Only first Bldg	1	1	1		
Capitol	Santa Clara	Sacramento	12	DMU	Last 12 stalls	6	5	4		
Capitol	Sacramento	Marin	14	DMU	Entire block	11	11	14		
Capitol	Marin	Sonoma	23	DMU	Entire block	22	23	23		
Capitol	Sonoma	Marin	4	NMU	Entire block	9	7	9		
Capitol	Marin	Sacramento	1	NMU	1st Bldg	1	1	1		
Sacramento	Virginia	Capitol	8	DMU	N and 1/2 S of Alley	2	2	0		
Sacramento	Capitol	Virginia	7	DMU	North of driveway	0	0	2		
Marin	Virginia	Capitol	16	DMU	N and 6 stalls S of Alley	7	7	4		
Marin	Capitol	Carolina	12	NMU	Entire block	2	2	2		
Marin	Carolina	Florida	10	NMU	Entire block	10	10	10		
Marin	Kentucky	Florida	3	NMU	Last 3 stalls	2	3	2		
Marin	Florida	Carolina	11	NMU	Entire block	3	2	3		
Marin	Carolina	capitol	10	NMU	Entire block	3	3	3		
Marin	Capitol	Virginia	10	DMU	Entire block	8	7	6		
Sonoman Blvd	Florida	Carolina	3	CC	Last 3 stalls	1	1	1		
Sonoman Blvd	Carolina	Capitol	7	CC	Entire block	5	5	5		
Street Total			195			111	109	107		
Parking F			128	Pub. Parking	All open spaces	4	2	0		
Parking F			25	Pub. Parking	15-3hr & 10 1-hr parking	6	1	1		
Parking D			74	Pub. Parking	All open spaces	5	4	4		
Parking J			87	Pub. Parking	All open spaces	27	47	47		
Parking L			96	Pub. Parking	1 motorcycle	34	35	33		
Parking K			47	Pub. Parking	All open spaces	2	2	2		
Parking G			39	Pub. Parking	All open spaces	5	5	5		
Parking Lot Total			496			83	96	92		
Grand Total						194	205	199		

Date and time	Available Parking	Parking Counted	Vacancy Count	Vacancy %	Day of the week	Capacity Provided
2/8/2025, 10:00 a.m.	195	160	35	17.95%	Saturday	43%
2/8/2025, 11:45 a.m.	195	172	23	11.79%	Saturday	36%
2/8/2025, 1:00 p.m.	195	164	31	15.90%	Saturday	41%
2/8/2025, 3:15 p.m.	195	120	75	38.46%	Saturday	65%
2/8/2025, 4:15 p.m.	195	110	85	43.59%	Saturday	71%
2/8/2025, 5:00 p.m.	195	110	85	43.59%	Saturday	71%
2/8/2025, 5:30 p.m.	195	107	88	45.13%	Saturday	72%
2/9/2025, 1:45 p.m.	195	146	49	25.13%	Sunday	51%
2/18/2025, 11:45 a.m.	195	121	74	37.95%	Tuesday	64%
2/18/2025, 1:30 p.m.	195	118	77	39.49%	Tuesday	66%
2/18/2025, 2:00 p.m.	195	123	72	36.92%	Tuesday	63%
2/18/2025, 3:30 p.m.	195	113	82	42.05%	Tuesday	69%
2/18/2025, 4:00 p.m.	195	118	77	39.49%	Tuesday	66%
4/03/2025, 10:45 a.m.	195	123	72	36.92%	Thursday	63%
4/03/2025, 11:45 a.m.	195	129	66	33.85%	Thursday	60%
4/03/2025, 12:45 p.m.	195	130	65	33.33%	Thursday	59%
4/03/2025, 2:45 p.m.	195	136	59	30.26%	Thursday	56%
4/12/2025, 6:15 p.m.	195	111	84	43.08%	Saturday	70%
4/12/2025, 6:40 p.m.	195	109	86	44.10%	Saturday	71%
4/12/2025, 7:45 p.m.	195	107	88	45.13%	Saturday	72%
Weekday a.m. Average	195	124	71	36.41%		63%
Weekday p.m. Average	195	123	72	36.92%		63%
Weekend a.m. Average	195	166	29	14.87%		39%
Weekend afternoon Average	195	122	73	37.44%		64%
Weekend Evening Average	195	109	86	44.10%		71%
Weekday average	195	123	72	36.92%		63%
Weekend Average	195	129	66	33.85%		60%
Overall average	195	126	69	35.38%		62%

Maximum

88

Minimum

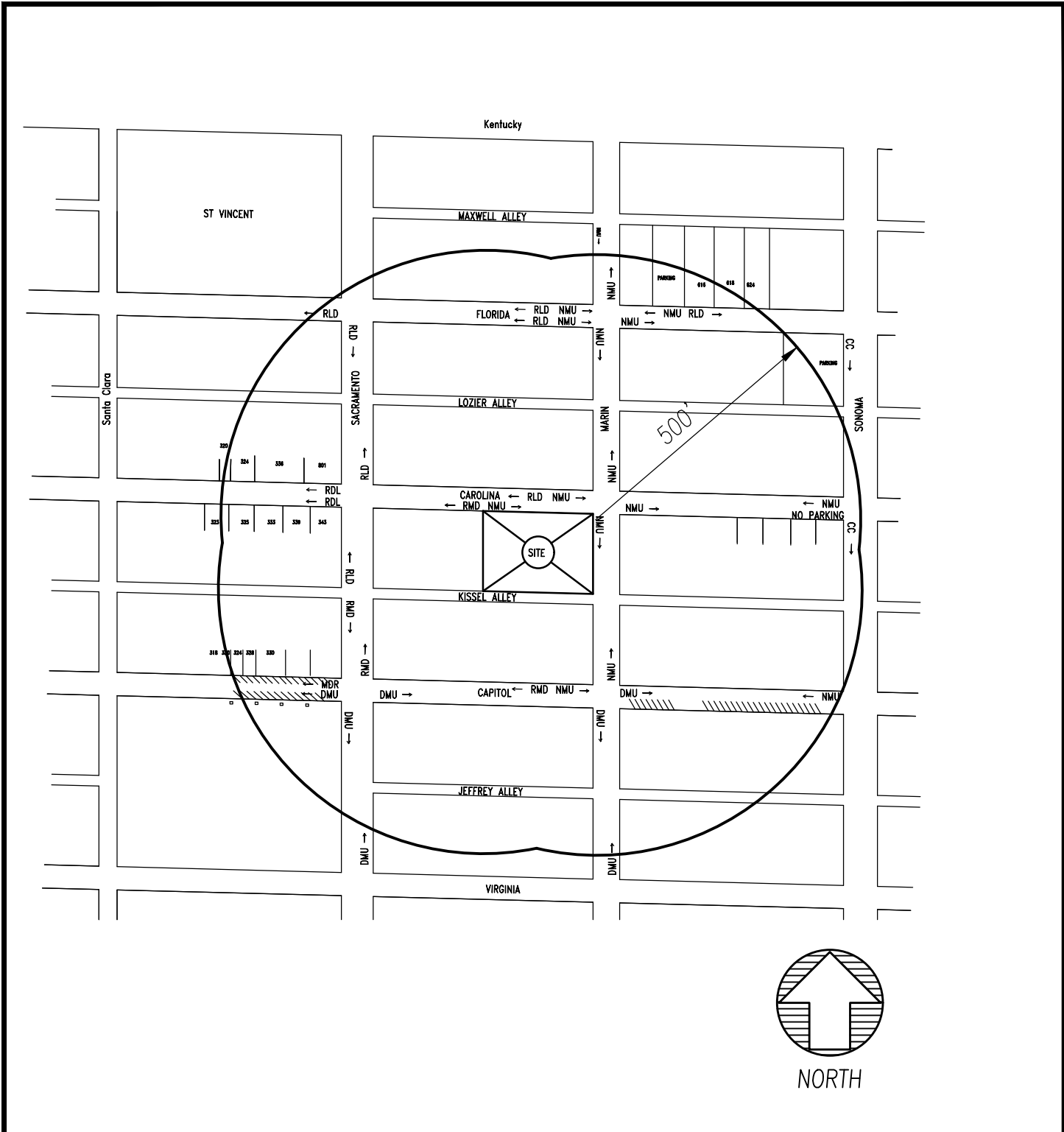
Capacity provided is the percentage of required demand based on available space

Public parking summary

Date and time	Available Parking in Public Parking:							Total
	F Open	F Limited	D	J	L	K	G	
2/8/2025, 10:00 a.m.	N/A	N/A	58	0	N/A	N/A	N/A	
2/8/2025, 11:45 a.m.	N/A	N/A	67	0	N/A	N/A	N/A	
2/8/2025, 1:00 p.m.	N/A	N/A	69	9	N/A	N/A	N/A	
2/8/2025, 3:15 p.m.	N/A	N/A	72	38	N/A	N/A	N/A	
2/8/2025, 4:15 p.m.	N/A	N/A	72	38	N/A	N/A	N/A	
2/8/2025, 5:00 p.m.	N/A	N/A	73	38	N/A	N/A	N/A	
2/8/2025, 5:30 p.m.	N/A	N/A	72	36	N/A	N/A	N/A	
2/9/2025, 1:45 p.m.	N/A	N/A	73	0	N/A	N/A	N/A	
2/18/2025, 11:45 a.m.	125	10	45	41	17	40	11	289
2/18/2025, 1:30 p.m.	123	10	44	45	13	39	5	279
2/18/2025, 2:00 p.m.	120	12	41	37	5	40	10	265
2/18/2025, 3:30 p.m.	120	15	49	42	11	41	13	291
2/18/2025, 4:00 p.m.	120	18	54	43	52	42	16	345
4/03/2025, 10:45 a.m.	126	11	62	35	6	42	15	297
4/03/2025, 11:45 a.m.	124	0	59	30	18	42	15	288
4/03/2025, 12:45 p.m.	125	9	64	35	22	43	17	315
4/03/2025, 2:45 p.m.	126	11	57	36	26	44	19	319
4/12/2025, 6:15 p.m.	124	19	69	60	62	45	34	413
4/12/2025, 6:40 p.m.	126	24	70	40	61	45	34	400
4/12/2025, 7:45 p.m.	128	24	70	40	63	45	34	404
Weekday a.m. Average	125	7	55	35	14	41	14	
Weekday p.m. Average	122	13	52	40	22	42	13	
Weekend a.m. Average	N/A	N/A	63	0	N/A	N/A	N/A	
Weekend afernoon Average	N/A	N/A	72	27	N/A	N/A	N/A	
Weekend Evening Average	126	22	70	47	62	45	34	
Weekday average	123	11	53	38	19	41	13	
Weekend Average	126	22	70	27	62	45	34	
Overall average	124	14	62	32	30	42	19	

Attachment B

Figures



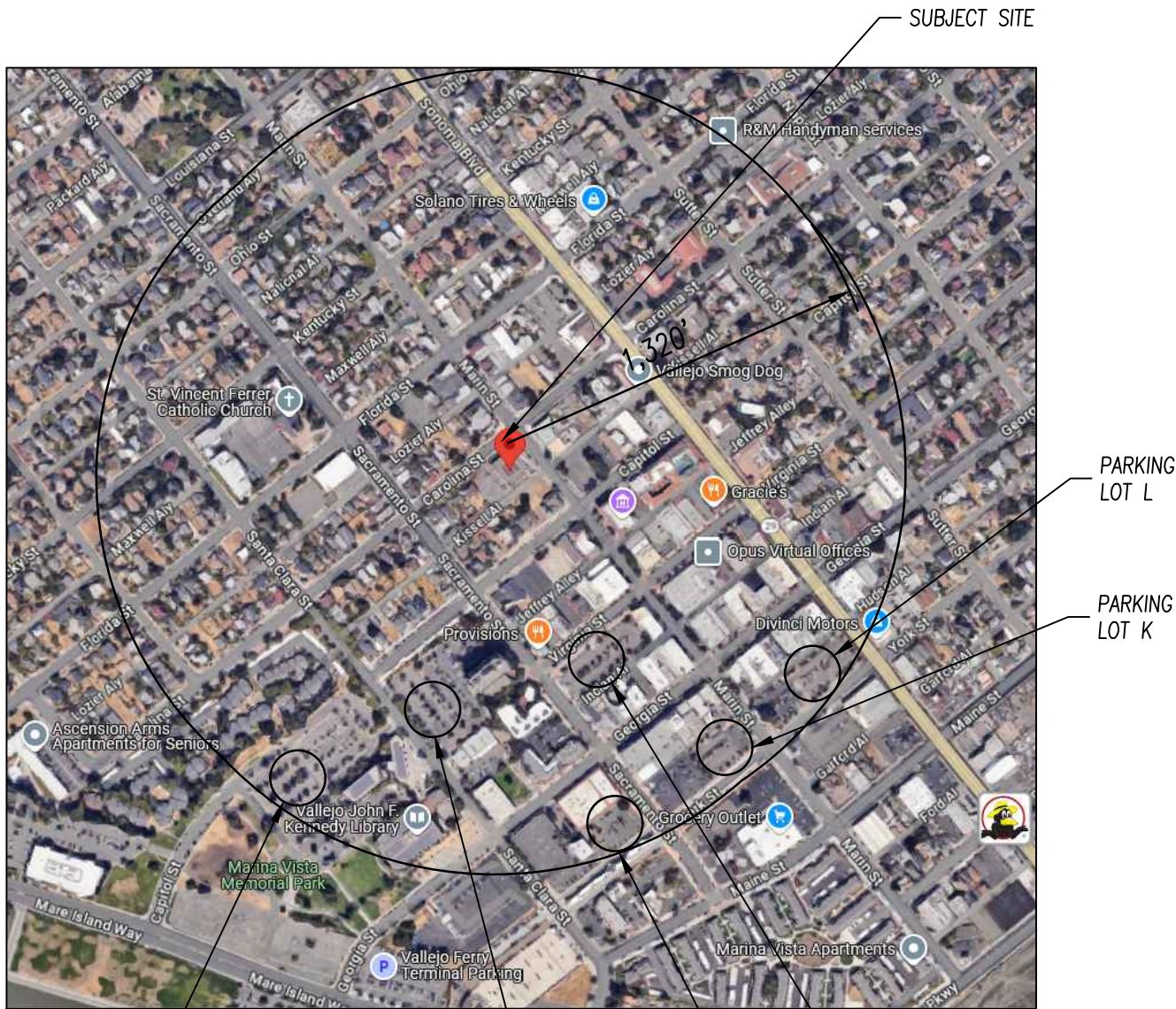
MEC
MAHALAT ENGINEERING CORPORATION
 4711 MANGELS BOULEVARD, SUITE A, FAIRFIELD, CA 94534-4175

SCALE 1"=266.66'	PROJECT NO. 24069
DRAWN AGM	DATE 05/13/25
CHECKED	DATE

PROJECT ADDRESS
 823 MARIN STREET, VALLEJO, CALIFORNIA
 APN 0056-161-040

TITLE
STREET PARKING AND ZONING

SHEET
FIGURE 1



PARKING LOT F

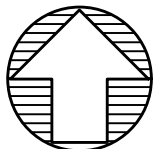
PARKING LOT D

PARKING LOT G

PARKING LOT J

PARKING LOT L

PARKING LOT K



NORTH

APPROVAL



MEC

MAHALAT ENGINEERING CORPORATION

4711 MANGELS BOULEVARD, SUITE A, FAIRFIELD, CA 94534-4175

SCALE
1"=600.4'

PROJECT NO.
24069

DRAWN
AGM

DATE
05/13/25

CHECKED

DATE

PROJECT ADDRESS
823 MARIN STREET, VALLEJO, CALIFORNIA

APN 0056-161-040

TITLE
PUBLIC PARKING LOTS

SHEET
FIGURE 2



The Federal Building Events Center Noise Study

Report Date: July 14, 2020

Site Survey Date: June 30, 2020

Testing Engineer: Barry Grzebik

Equipment: Ivie IE-45 Audio Analysis System

Ivie IE-5P Preamp with ½" Type 1 Microphone

Larson Davis CAL200 Acoustic Calibrator

Calibration certificates available on request.

Subject Site Location: 823 Marin St., Vallejo, CA 94590

General:

For the purpose of evaluating the buildings ability to contain sound energy generated by potential events in the main room, a sound system was temporarily installed at the stage location in the South West corner of the main room. Sound level measurements were taken at the property line establishing a relationship between inside and outside sound levels that can be used to set maxim inside levels to keep operations within the city noise regulations.

Additionally at two locations, ambient outside noise levels were measured.

Noise limits have been taken from the document on the following page that indicated a maximum CNEL of 65dBA. CNEL is the acronym for Community Noise Equivalent Level. CNEL is a single number result that is calculated for a complete 24-hour period and usually made up of results taken at shorter intervals that are averaged over the whole 24 hours.

CNEL number includes a penalty of 5 dB added between 7 pm and 10 pm. and a penalty of 10 dB added for the nighttime hours of 10 pm to 7 am.



TABLE NBE-1 California Land Use Compatibility for Community Noise Environments

Land Uses	CNEL (dBA)					
	55	60	65	70	75	80
Residential – Low Density Single-Family, Duplex, Mobile Homes	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable
Residential – Multiple Family	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Transient Lodging, Motels, Hotels	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Schools, Libraries, Churches, Hospitals, Nursing Homes	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Auditoriums, Concert Halls, Amphitheaters	Conditionally Acceptable	Conditionally Acceptable	Conditionally Acceptable	Conditionally Acceptable	Clearly Unacceptable	Clearly Unacceptable
Sports Arena, Outdoor Spectator Sports	Conditionally Acceptable	Conditionally Acceptable	Conditionally Acceptable	Conditionally Acceptable	Clearly Unacceptable	Clearly Unacceptable
Playgrounds, Neighborhood Parks	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Golf Courses, Riding Stables, Water Recreation, Cemeteries	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Office Buildings, Businesses, Commercial, and Professional	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable
Industrial, Manufacturing, Utilities, Agricultural	Normally Acceptable	Normally Acceptable	Normally Acceptable	Normally Unacceptable	Clearly Unacceptable	Clearly Unacceptable

Normally Acceptable:
Specified land use is satisfactory based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.

Conditionally Acceptable:
New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and the needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning will normally suffice.

Normally Unacceptable:
New construction or development should generally be discouraged. If new construction does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.

Clearly Unacceptable:
New construction or development generally should not be undertaken.

Source: Governor's Office of Planning and Research, General Plan Guidelines, November 2003.



Findings:

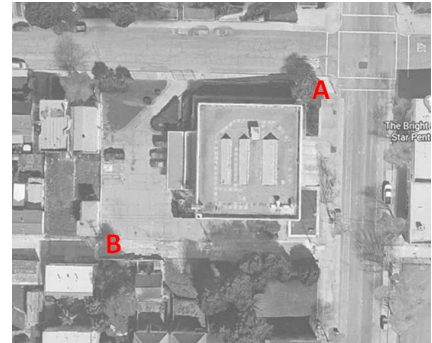
With a sound pressure level of 98dBA in the center of the main room, sound levels at the property line do not exceed 65dBA (slow detection real time measurement). With the assumption that during most of the day the facility will be quiet and activities generating high sound pressure levels will be limited to a 4 hour period, the total CNEL is 57.1 dBA for daytime events and 63.5 dBA for evening events ending at 10pm.

Facility management should obtain a Type-2 Sound Pressure Level meter and Field Calibrator to monitor sound levels during events

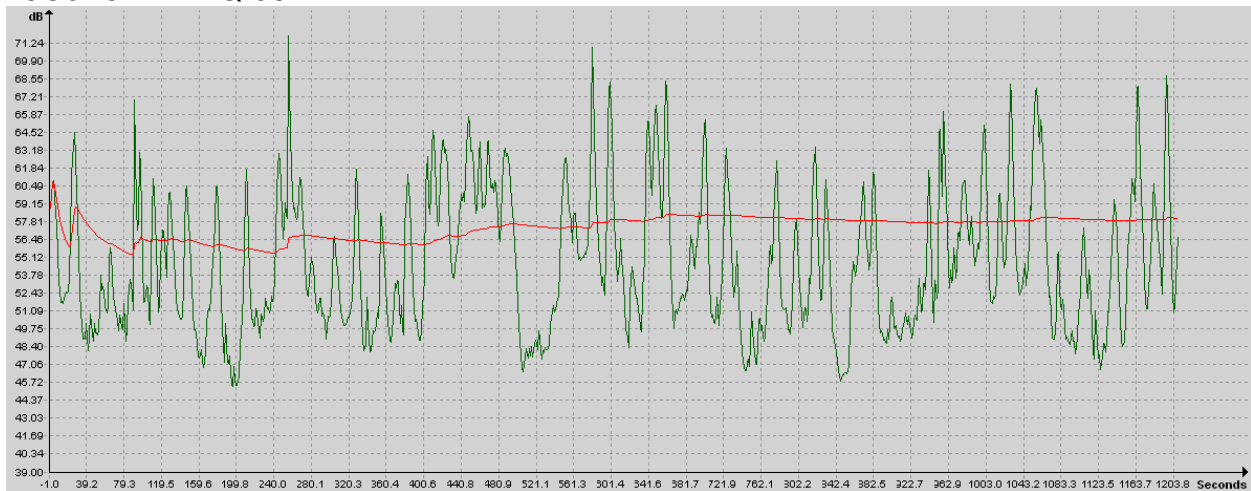




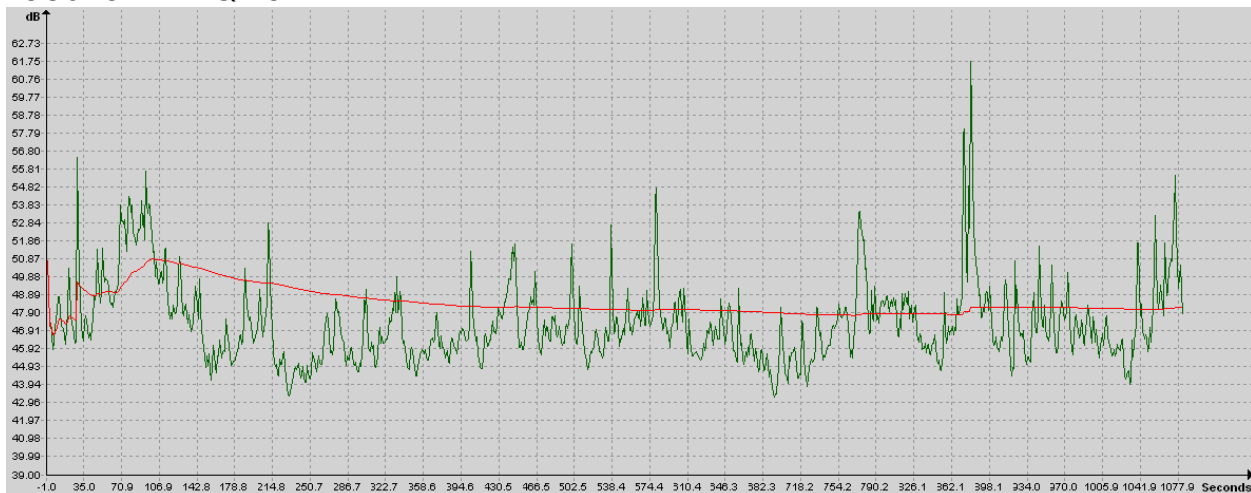
Long term average outside sound levels were Measured at two locations indicated as A and B. Location A is the North East porperty corner at Marin and Carolina Street. Measurement duration at each location was twenty minuits. Below is the data for each location. The green curve is the raw data shown with slow detection and A weighting. The red curve is the LEQ (time weighted average, A weighted).



Location A LEQ 58



Location B LEQ 48



END