



AGENDA

VALLEJO PLANNING COMMISSION REGULAR MEETING - 7:00 PM

City Council Chambers

555 Santa Clara Street
Vallejo, CA 94590
www.cityofvallejo.net

February 3, 2020

Robert Schussel, Chair
Peggy Cohen-Thompson, Vice-Chair
Diosdado "J.R." Matulac
Chris Platzer
Kathleen Diohep
Randy Larson

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Planning Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Agenda Items: Those wishing to address the Commission on a scheduled agenda item should fill out a speaker card and give it to the Secretary. Speaker time limits for scheduled agenda items are five minutes for designated spokespersons for a group and three minutes for individuals.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Planning Commission will be available for public inspection at City Hall, 555 Santa Clara St., 2nd Floor, or the Vallejo Public Library, 505 Santa Clara St. at the same time that the public records are distributed or made available to the Planning Commission. Such documents may also be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Planning Commission may, within ten days after the rendition of the decision of the Planning Commission, appeal in writing to the City Council by filing a written appeal with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within two hundred or five hundred feet of the project boundary, whichever was the original notification boundary.

The Council may affirm, reverse or modify any decision of the Planning Commission which is appealed. The Council may summarily reject any appeal upon determination that the appellant is not adversely affected by a decision under appeal.

If any party challenges the Planning Commission's actions on any of the following items, they may be limited to raising only those issues they or someone else raised at the public hearing described in this agenda or in written correspondence delivered to the Secretary of the Planning Commission.



The Vallejo Room in the JFK Library is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

Please note:

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF MINUTES

A. January 22, 2020

5. WRITTEN COMMUNICATIONS

6. REPORT OF THE SECRETARY

A. Upcoming Meetings:

February 19, 2020 - Zoning Code Study Session: District Standards B: Non-residential and Overlay Districts (Tentative)

March 2, 2020 - Costco/Fairview at Northgate: Draft EIR Hearing - Southeast corner of Admiral Callaghan and Turner Parkway (Tentative)

March 16, 2020 - General Plan Vehicle Miles Traveled Study Session (Tentative)

April 6, 2020 - 602 Georgia Street: Variance and Minor Exception (Tentative)

April 6, 2020 - Northern Waterfront/Mariners Cove Study Session: Between Mare Island Way and Mare Island Causeway (Tentative)

7. CITY ATTORNEY'S REPORT

8. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE PLANNING COMMISSION

9. COMMUNITY FORUM

Anyone wishing to address the Commission on any matter for which another opportunity to speak is not provided on the agenda, and which is within the jurisdiction of the Commission to resolve, is requested to submit a completed speaker card to the Secretary. When called upon, each speaker should step to the podium, state his/her name and address for the record. The conduct of the community forum shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to three minutes pursuant to Vallejo Municipal Code Section 2.20.300. The Commission may take information but may not take action on any item not on the agenda.

10. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

Consent Calendar items appear below, with the Secretary's or City Attorney's designation as such. Members of the public wishing to address the Commission on Consent Calendar items are asked to address the Secretary and submit a completed speaker card prior to the approval of the agenda. Such requests shall be granted, and items will be addressed in the order in which they appear in the agenda. After making any changes to the agenda, the agenda shall be approved. All matters are approved under one motion unless requested to be removed for discussion by a commissioner or any member of the public.

11. PUBLIC HEARING

A. None

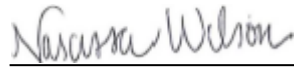
12. OTHER

- A. Zoning Code Study Session - District Standards A: Residential Districts
This is an informational item only; no Planning Commission action.

- B. Discussion of Future Agenda Items

13. ADJOURNMENT

I, Narcissa Wilson, Planning Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Vallejo Planning Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m. on Wednesday, January 29, 2020.



Narcissa Wilson, Planning Executive
Secretary

**CITY OF VALLEJO PLANNING COMMISSION
REGULAR MEETING MINUTES
COUNCIL CHAMBERS
January 22, 2020**

1. CALL TO ORDER

The meeting was called to order by Chairman Schussel at 7:01 p.m.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair Schussel, Vice-Chair Cohen-Thompson, Commissioners Platzer, Matulac, Larson, Diohep

Absent: Commissioner Judt

Staff present: Planning Manager Hamid, Assistant City Attorney Eckmeyer, Associate Planner Orozco

4. APPROVAL OF MINUTES

A. December 2, 2019

Commissioner Diohep commented on the minutes regarding making a motion and then offering a second motion.

Planning Manager Hamid clarified that staff re-watched the Planning Commission meeting from December 2, 2019 and is presenting what was recorded from the meeting.

Action: Vice-Chair Cohen-Thompson offered a motion to approve the December 2, 2019 minutes.

Vote:

AYES: Chairman Schussel, Vice-Chair Cohen-Thompson, Commissioners Larson, Matulac, and Platzer

NOES: Commissioner Diohep

ABSENT: Commissioner Judt

ABSTAIN: None

B. January 6, 2020

Action: Moved by Vice-Chair Cohen-Thompson and carried unanimously to adopt the minutes of the January 6, 2020 meeting.

5. WRITTEN COMMUNICATIONS – Staff received a letter from the neighboring Safeway regarding the Fairview Study session and was placed on the dais and in the written communication binder for the public to review.

6. REPORT OF THE SECRETARY

A. Upcoming Meetings:

February 3, 2020	Zoning Code Study Session: Districts Review (Tentative)
February 19, 2020	Zoning Code Study Session: Districts Review (Tentative)
March 2, 2020	Fairview at Northgate: Draft EIR Hearing (Tentative)
March 16, 2020	General Plan VMT Study Session (Tentative)
	Vista La Terraza: Tentative Map and Planned Development Addendum (Tentative)

Planning Manager Hamid reported on items A.

7. CITY ATTORNEY REPORT - None

8. REPORT OF THE PRESIDING OFFICE AND MEMBERS OF THE PLANNING COMMISSION AND LIAISON REPORTS

A. Report of the Presiding Office and Members of the Planning Commission

Chairman Schussel commented on the two pre-meeting with Staff. The first meeting was more like a business meeting with the Vice-Chair and staff. The second pre-meeting was about the Study Session on the scheduled tonight. Chairman Schussel reminded everyone to stay on topic, and to use the point of order to get people back on topic and to go through the chair when speaking with other commissioners, the public or the applicant. Chairman Schussel reminded staff and Commissioner to net text, send emails or have computers on during the meeting. Chairman Schussel reminded the commission regarding a commission appreciate dinner and to send all notes and questions to the director Ms. Hayes.

Commissioner Diohep made a comment about not having internet access in the chambers and she will be revenging the draft EIR on the dais.

B. Council Liaison to Planning Commission

Council Member McConnell commented on a new bill that will ban the use of electronics at the dais and there may be some adjustments to be allowed to refer to maps and secondly SWAB (Solano County Water Agency Board) a coordinated body with all board of supervisors and mayors from all the City's, entered into an agreement to asses all water related projects and will be rolling out a meeting to introduce what their body is about.

9. COMMUNITY FORUM – None

10. CONSENT CALANDER AND APPROVAL OF THE AGENDA

Action: Moved by Vice-Chair Cohen-Thompson and carried unanimously to approve the consent calendar and amendment to the agenda.

11. PUBLIC HEARING - None

12. OTHER AGENDA ITEMS

- A. Study Session: Costco Development, Fairview at Northgate Project.
This is an informational item only; no Planning Commission Action is required.

Ex Parte Communications:

Chairman Schussel stated he has a Costco membership.

Commissioner Diohep met with the developer back in 2015 and the two prior developer.

Commissioner Matulac regularly drives by the site and is a member of Costco.

Commissioner Larson met with the developer.

Commissioner Platzer met with the developer.

Chairman Schussel introduced the item.

Planning and Development Services Director Hayes commented on the project and process.

Principal Planner Sage presented the item.

Assistant to the City Manager Morat commented on the project.

The applicant commented on the project

Staff and applicant responded to questions from the Commissioners.

Chairman Schussel opened for public comment

Speakers: Anne Carr, Marvin Kinney, Avery Greene

Chairman Schussel closed public comment.

Commissioners provided comments and Staff and applicant responded.

- B. Discussion of Future Agenda Items.

13. ADJOURNMENT

The meeting adjourned at 8:35 p.m.

ROBERT SCHUSSEL, CHAIRPERSON

ATTEST:

CESAR OROZCO
ASSOCIATE PLANNER

DRAFT



MEMORANDUM
PLANNING DIVISION

DATE: February 3, 2020
TO: Vallejo Planning Commission
FROM: Michelle Hightower, Senior Planner
Afshan Hamid, Planning Manager
SUBJECT: New Zoning Code Project, Residential District Standards

BACKGROUND

Planning staff and consultants Dyett & Bhatia have completed the four Modules for the New Zoning Code Project and recently developed more detailed standards and regulations for the proposed zoning districts as the final phase for completing the Draft Code. Although completion of the Draft Code was anticipated by early 2020, additional time is necessary to develop the district standards and include a comprehensive internal review by City Staff. Based on a revised schedule, the Draft Code will be available for public review by early spring. Staff will provide a detailed schedule at a later date.

The draft district standards will be presented in two phases - District Standards A: Residential Districts and District Standards B: Non-residential and Overlay Districts. Discussions regarding the District Standards will take place during Community Open Houses and Planning Commission Study Sessions on February 3, 2020 (Report A) and February 19, 2020 (Report B). The new zoning map will also be presented on February 19, 2020. Public comments on the district standards are due by February 24, 2020.

Staff and the consultants initially introduced the zoning districts for the new Code in June 2019 during Module 2. This included a summary of the proposed districts, intent and purpose, allowed residential density and development intensity, and corresponding General Plan land use designations. Since that time, modifications to several of the districts have been made and detailed standards have been developed to address consistency with the General Plan, 5th Cycle Housing Element, Sonoma Boulevard Specific Plan, and State law.

As conveyed in June, the new Code will carry forward several districts from the existing Code and include a number of new districts to implement the policies of the General Plan. This includes 18 Base districts and two Overlay districts intended to preserve the residential view areas and architectural heritage districts. The new Code will also include tables and graphics to clearly identify and illustrate allowed land uses, permitting requirements and development standards from the existing Code as well as new regulations to comply with State law. The goal is to provide objective standards, a more streamlined review, and allow for a variety of housing types as required by the General Plan and adopted Housing Element (see attached Housing Element Matrix) that will encourage new development and investment throughout the City.

RESIDENTIAL DISTRICT STANDARDS

Four base residential districts are proposed for the new Code, namely Rural Residential (RR), Residential Low Density (RLD), Residential Medium Density (RMD) and Residential High Density (RHD). These are generally

the same as the existing residential districts labeled as RR (no change), Low Density Residential (LDR), Medium Density Residential (MDR) and High Density Residential (HDR). In addition to new objective design standards regarding building form, architectural articulation, materials and location, and open space and landscaping requirements, notable changes to the existing code include the following:

- New Permit Requirements:
 - Market rate units
1 – 9 units permitted with Director approval
Minor use permit and Design Review Board approval for 10 or more attached units.
Major use permit for more than 50 units with Design Review Board approval.
 - Affordable units
Permitted by right consistent with State Gov. Code Sec. 65589.4 for affordable units. This law allows for ministerial review of projects that include a certain percentage of affordable housing units and have no environmental impacts.
 - Permitting Live/work by right in RMD and RHD districts (Consistent with Housing Element)
- New development standards for small lots, bungalow court and townhouse or row house development.
- New hillside development standards that affect all hillside areas and protect views throughout Vallejo.

Staff has revised the attached District Standards A Report to address minor corrections and provide clarifications. Staff requests that the commission provide comments on the draft district standards. Reference to the Module 1 Report for proposed land use definitions and classifications listed in the Land Use Table may be helpful.

RECOMMENDATION

Staff recommends the Planning Commission:

1. Receive the Staff presentation and public testimony regarding Residential District Standards
2. Provide verbal feedback to Staff focusing on key topics provided in the REVISED District Standards A Report

ATTACHMENTS

1. REVISED District Standards A: Residential Districts Report
2. Priority Development Area (PDA) Map
3. Housing Element and New Zoning Code Matrix

REVISED



DISTRICT STANDARDS A: RESIDENTIAL DISTRICTS

Prepared for

City of Vallejo

Michelle Hightower, Project Manager

Afshan Hamid, Planning Manager

By

DYETT & BHATIA

Urban and Regional Planners

January 2020

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Introduction

The proposed zoning district regulations and standards for the new Zoning Code will be presented in two phases, District Standards Report A, which includes residential districts and Report B, non-residential and overlay districts. As discussed in the Module 2 Overview Report presented in June 2019, the new Zoning Code will carry forward several districts from the existing Code and will also include a number of new Base zoning districts to implement the policies of the General Plan. These regulations attempt to respond to issues raised by the Planning Commission, other stakeholders, and the technical analysis of the existing zoning regulations. In some cases, best practices in peer communities were consulted to arrive at a recommendation. Comments by the Planning Commission and the public on the draft regulations will guide the final draft regulations reflected in the new draft Zoning Code to be released for public review and comment by May 2020. This new date reflects the additional review time required for thorough and extensive internal review by City staff.

PROPOSED ZONING DISTRICTS

The new Code includes 18 Base districts, some of which have changed since publishing the Module 2 Report, and two Overlay districts for the existing residential view area and the architectural heritage and historic districts. Draft regulations including development and design standards for the four residential base districts are featured in this report.

The new Code will combine Base and Overlay districts in Part II reflecting the fact that most of the overlay districts in the existing Code will be eliminated. All of the eliminated districts (SLU Special Land Use District and the districts applicable to areas that are especially prone to geologic, flood, and fire hazards, and the hillside development guidelines) will be replaced with specific objective requirements intended to achieve the same purpose.

The new Code will identify the General Plan land use designations that each district implements to ensure clarity in zoning consistency with the General Plan. Table 1 below lists all of the proposed zoning districts, General Plan classifications, corresponding existing zoning districts, and proposed requirements for residential density and development intensity.

TABLE 1: PROPOSED ZONING DISTRICTS			
Proposed Zoning District	General Plan Land Use	Existing Zoning District	Residential Density/Development Intensity
RR Rural Residential	Primarily Single Family	RR Rural Residential	To be shown on Zoning Map
RLD Residential Low Density	Primarily Single Family	LDR Low Density Residential	Up to 9 units/acre excluding ADUs
RMD Residential Medium Density	Mix of Housing Types	MDR Medium Density Residential	Up to 25 units/acre
RHD Residential High Density	Primarily Multi-Family	HDR High Density Residential	Up to 40 units/acre
NC Neighborhood Commercial	Primarily Single Family, Neighborhood Corridor	CN Neighborhood Shopping and Service	20 units/acre and 2.0 FAR
CW Waterfront Commercial	Retail/Entertainment, Business/Limited Residential	CW Waterfront Shopping and Service	2.0 FAR
NMX Neighborhood Mixed-Use	Retail/Entertainment, Business/Limited Residential, Neighborhood Corridor	CL Linear Commercial, CP Pedestrian Shopping and Service	2.0 FAR
DMX Downtown Mixed Use	Central Corridor, District - Downtown Waterfront	MUPD Mixed Use Planned Development, DSP Downtown Specific Plan	30 – 90 units/acre 6.0 FAR
WMX Waterfront Mixed Use	District Downtown/ Waterfront, Central Corridor	Existing Waterfront PDMP	30 – 90 units/acre 6.0 FAR
CC Central Corridor	Central Corridor, Business/Limited Residential, District – North Gateway	LC, CP, HDR, and others	18 – 50 units/acre 3.0 FAR
RC Regional Corridor	Retail/Entertainment	CF Freeway Shopping and Service, HDR, CP, MUPD and others	1.5 FAR Min. lot size 10,000
OR Office Residential	Business/Limited Residential, Public Facilities and Institutions, Business/Light Industrial	LO Limited Office	2.0 FAR Min. lot size 5,000-6,000 for corner lots
M Medical Office	Public Facilities and Institutions	PF Public Facilities	
IL Light Industrial	Business/Limited	IU-L Intensive Use-	2.5 FAR

TABLE 1: PROPOSED ZONING DISTRICTS			
Proposed Zoning District	General Plan Land Use	Existing Zoning District	Residential Density/Development Intensity
	Industrial, Light Industrial	Limited	
IG General Industrial	Industrial	IU Intensive Use	2.0 FAR
PROS Parks, Recreation and Open Space	Parks, Recreation and Open Space	RCD Resource Conservation	0.1 to 1.0 per MNP Min. lot size 10,000
RCN Resource Conservation	Wetlands	RCD Resource Conservation	
PF Public and Semi-Public (K-12 schools in Residential districts)	Public Facilities and Institutions	PF Public Facilities (including K-12 schools), M Medical	2.0 FAR Min. lot size 5,000-6,000 for corner lots or 1.0 FAR, Min. lot size 10,000
H Architectural Heritage and Historic Districts (separately named or numbered)	N/A	LDR, MDR with St. Vincent, Heritage District Overlays	Same as base zoning district unless modified by H or L district designation
RV Residential View Overlay District	N/A	LDR, MDR with View District Overlay	Same as base zoning district
PD – Planned Development	District Designations (not otherwise zoned)	MUPD Mixed Use Planned Development, PDR Planned Development Residential, PDC Planned Development Commercial, PDI Planned Development Industrial	As specified in approved -PD district and approved use permit
	SP Districts	MUPD Mixed Use Planned Development, PDR Planned Development Residential, PDC Planned Development Commercial, PDI Planned Development Industrial	As specified in approved SP

ZONING DISTRICT PURPOSES AND NEW REGULATIONS

The new Zoning Code will include detailed purpose statements for each district based on the General Plan. The purpose statements for zoning districts are sufficiently specific to demonstrate that the Zoning Code is consistent with the General Plan and to allow users to understand the differences among various districts. The purposes also are clear enough to provide a basis for use regulations and development and design standards. In addition, they provide a basis for the findings required to make discretionary decisions.

An important revision to the existing code addresses regulations involving multi-family development that removes the requirement for a major use permit for the development of nine units or more where affordable housing is proposed. This change is intended to implement the adopted Housing Element and State housing law. Government Code Section 65589.4 states that attached housing projects with fewer than 100 units and a minimum density of 12 units per acre must be a permitted use and not subject to discretionary review on any parcel zoned for attached housing if the development is consistent with the General Plan and all applicable zoning requirements, is exempt from environmental review, and includes a specified minimum percent of affordable units. The proposed regulations also include a tiered process that allows staff approval for nine units or less, a minor use permit for 10 or more units, a major use permit for 50 units or more and design review for 10 or more units.

To encourage development of small infill lots, staff is proposing to allow small-lot development and subdivisions in the City's Priority Development Areas where there are vacant and undeveloped lots or on sites where homes have been demolished. This type of development could provide a more affordable type of single-family home ownership than can be produced in multi-unit projects. Other areas that might be appropriate for this type of housing could include vacant and undeveloped parcels adjacent to major corridors such as Tennessee Street and Solano Avenue and Springs Road. Chapter 15.20 of the Vallejo Municipal Code only allows subdivision of existing lots into lots smaller than 5,000 square feet when the property owner may be proposing to renovate and rehabilitate existing residential structures and provide additional amenities such as parking and landscaping. These lots are generally in the historic areas of the City.

Another significant change from the existing code is the incorporation of regulations to minimize impacts of hillside development and protect views in hillside areas throughout the City. These regulations, which will apply to all properties with a slope of 15 percent or more are included as part of other General Regulations for design and development in multiple districts such as Fences and Walls, Landscaping, and Off-Street Parking and Loading. The regulations for development on steeper lots will carry forward the purpose of Chapter 16.54, Hillside Development Guidelines District of the existing Code. The intent of these regulations is to ensure that the design of new development complements existing topography and preserves natural hill forms to the extent possible. The regulations are also intended to ensure that improvements result in a natural and unobtrusive appearance and to minimize risk of personal injury, impacts to water quality, and damage to property from landslides, erosion, earth creep, stormwater runoff, and other hazards in and near hillside areas of the City.

POLICY ISSUES FOR DISCUSSION

- Consistent with the Housing Element goal of expanding housing choices, Staff is proposing to allow small-lot development and subdivisions in the City's Priority Development Areas where there are vacant and undeveloped lots or on sites where homes have been demolished. Staff seeks confirmation from the Planning Commission on consistency of the proposed approach to provide more opportunities for a mix of housing ownership. Would it be appropriate to use this approach in other areas of the City such as vacant sites in certain Residential Low Density areas of the City, the PDAs, and adjacent to corridors?
- The General Plan proposes that permitted non-residential land uses in areas designated as Primarily Single-Family typically include small commercial spaces, and public facilities such as schools, religious institutions, parks, and other community facilities (e.g. libraries, community centers, police and fire sub-stations, etc.). As these are typical uses that support primarily single-family districts, staff desires confirmation from Planning Commission that the proposed provisions for non-residential uses are appropriate. Such uses would be subject to discretionary review.
- Consistent with the adopted Housing Element, Residential Low Density, Residential Medium Density, and Residential High-Density districts allow a mixture of housing types ranging from single-family detached and attached units including townhouses and cottages around courtyards in the RLD district to multi-family development with up to 40 units per acre. The proposed development standards are intended to protect the privacy, light and air available to residents living in and adjacent to these types of housing and to ensure that new development is a good fit within and adjacent to less-intense residential neighborhoods. Are the proposed standards adequate to achieve this objective?

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Chapter 16.05 Residential Districts

Sections:

16.05.010	Purpose and Applicability
16.05.020	Land Use Regulations
16.05.030	Development Regulations – RR and RLD Districts
16.05.040	Design Standards for Single-family Housing (Detached and Attached)
16.05.050	Development Standards — RMD and RHD Districts
16.05.060	Residential Development Types
16.05.070	Small Lot Development
16.05.080	Hillside Development Standards

16.05.010 Purpose and Applicability

The specific purposes of the Residential (R) Districts are to:

- A. Preserve, protect, and enhance the character of the City’s residential neighborhoods.
- B. Ensure adequate light, air, and open space for each dwelling.
- C. Ensure that the scale and design of new development and alterations and additions to existing structures are compatible with surrounding homes and appropriate to the physical characteristics of the site and the surrounding area.
- D. Promote opportunities for housing for all income groups and for those with special housing needs.
- E. Provide sites for public and semi-public land uses, such as childcare and early education facilities, parks, community assembly, schools, emergency shelters, and public safety facilities that will serve City residents.

RR Rural Residential: The RR District is intended for a rural residential district in which agriculture, open space, and very low population density residential development with necessary supporting public service facilities are the principal uses. The RR District is consistent with the General Plan classification: Primarily Single Family. Minimum lot size standards are indicated with designators on the Zoning Map.

RLD Residential Low Density: The RLD District is for a low-density residential district, in which permanent single-family residences, including detached and attached (duplexes and townhouses) units, are the principal use. Permitted and conditionally permitted land uses also include cottages and bungalows around courts, small retail commercial spaces on arterial and collector streets (“corner stores”), family day care, child care and early education facilities, public facilities, such as schools, community assembly, parks, and other community facilities appropriate within a residential neighborhood, and community gardens. The maximum permitted residential density is nine dwelling units

per acre, excluding accessory dwelling units. The RLD District is consistent with the General Plan classification: Primarily Single Family.

RMD Residential Medium Density: The RMD district is intended for a district in which a mix of housing types, including attached and detached single-family homes, duplexes, triplexes, fourplexes, small lot single-family and bungalow or courtyard housing, and small apartment buildings are allowed, subject to density limits (up to 25 units per acre) and design and development standards to ensure land use compatibility. Other permitted uses include small commercial spaces in mixed use development, child care and early education facilities, residential care facilities, supportive and transitional housing, public facilities such as schools, community assembly, parks and other community facilities, community gardens. The maximum permitted residential density in the RMD designation is nine dwelling units per acre. Front, corner side, and rear yards are required, and zero-side yard development is permitted subject to discretionary review. In the established neighborhoods of the City, it is the intent of this district to maintain the existing pattern of single-family residences, including attached units and duplexes, while in the undeveloped areas of the City it is the intent of this district to encourage the creation of multiple-family residential neighborhoods with a variety of housing types. The RMD District is consistent with the General Plan classification: Mix of Housing Types.

RHD Residential High Density: The RHD District is intended for a high-density residential district, in which a mix of housing types are allowed, subject to density limits (up to 40 units per acre) and design and development standards to ensure land use compatibility. Mixed use development with small commercial spaces is allowed with design review at locations judged appropriate by the Planning Commission. Other permitted land uses include childcare and early education facilities, community assembly, residential care facilities, supportive and transitional housing, public facilities such as schools, religious institutions, parks and other community facilities, and community gardens. Private and common outdoor living area will be required in Multi-Unit development, but townhouse projects will have individual yards for dwelling units. The RHD District is consistent with the General Plan classification: Primarily Multi-Unit.

16.05.020 Land Use Regulations

Table 16.05.020 prescribes the land use regulations for the Base Residential Districts. The regulations for each district are established by letter designations as follows:

“P” designates permitted uses.

“MNP” designates use classifications that are permitted after a Staff level review and approval of a minor use permit by the Director.

“MJP” designates use classifications that are permitted after review and approval of a major use permit by the Planning Commission.

“L#” designates numbered limitations listed at the end of the table.

“x” designates uses that are not permitted.

Use classifications are defined in Chapter 16.TBD, List of Terms and Definitions. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and sub-classifications not listed in the table or not found to be substantially similar to the uses below are prohibited. Section numbers in the right-hand column refer to other Sections of this Code.

TABLE 16.05.020 LAND USE REGULATIONS: RESIDENTIAL DISTRICTS					
P	Permitted				
MNP	Minor Use Permit				
MJP	Major Use Permit				
L#	Subject to numbered limitation/s listed below table				
x	Not permitted				
Uses	RR	RLD	RMD	RHD	Additional Regulations
Residential					
Single-family	See sub-classifications below				
Attached	x	x	L1	L1	See Chapter 16.TBD, Use Types, for description of Residential types. See Chapter 16.TBD for requirements applicable to Accessory Dwelling Units, and Home Occupations
Detached	P	P	P	P	
Accessory Dwelling Unit	P	P	P	P	
Duplex	P	P	P	P	
Multi-Family Dwelling (triplex, fourplex, more than four units)	x	x	L1	L1	
Family Day Care					
Large	P	P	P	P	
Small	P	P	P	P	
Group Residential	x	MJP	MNP	MNP	
Mobile Home Park	x	MJP	MJP	MJP	See Chapter 16.TBD
Mobile Home - Single	P	P	P	x	
Residential Care Facility	See sub-classifications below				
General	x	x	MJP	MJP	See Chapter 16.TBD
Limited	P	P	P	P	
Residential Care, Senior	x	x	MJP	MJP	
Skilled Nursing Facility	x	x	MJP	MJP	
Hospice, General	x	x	MJP	MJP	
Hospice, Limited	P	P	P	P	
Single Room Occupancy	x	x	MJP	MNP	See Chapter 16.TBD
Supportive Housing	P	P	P	P	
Transitional Housing	P	P	P	P	

Public and Semi-Public Use Types					
Adult Day Care	x	x	MJP	MJP	
Small (6 or fewer)	P	P	P	P	
Large (7 or more)	MNP	MNP	MNP	MNP	
Cemetery	See sub-classification below				
Crematory	x	x	MJP	MJP	
Child Care and Early Education Facility	x	x	MJP	MJP	See Chapter 16.26
Colleges, Trade Schools, Public or Private	x	MJP	MJP	MJP	
Community Assembly	x	MJP	MJP	MJP	See Chapter 16.26
Community Garden	P	P	P	P	See Chapter 16.26
Cultural Facility	x	MJP	MJP	MJP	See Chapter 16.26
Emergency Shelter	x	x	x	x	See Chapter 16.26
Government Building	x	P	P	P	
Hospitals and Clinics	See sub-classifications below				
TABLE 16.05.020 LAND USE REGULATIONS: RESIDENTIAL DISTRICTS					
P Permitted					
MNP Minor Use Permit					
MJP Major Use Permit					
L# Subject to numbered limitation/s listed below table					
X Not permitted					
Uses	RR	RLD	RMD	RHD	
Clinic	x	x	x	x	
Extended Care	x	x	MJP	MJP	
Park and Recreation Facilities	P	P	P	P	
Public Safety Facility	P	P	P	P	
School (K-12)	L2	L2	L2	L2	See Chapter 16.26
Social Service Center	x	x	x	x	See Chapter 16.26
Commercial Use Types					
Agricultural production	L6	x	x	x	
Animal Care, Sales and Services	See sub-classifications below				
Animal Boarding	MNP	x	x	x	
Horse Stables	MNP	x	x	x	
Kennel	P	x	x	P	
Pet Day Care Service	P	x	x	P	
Food and Beverage	See sub-classifications below				

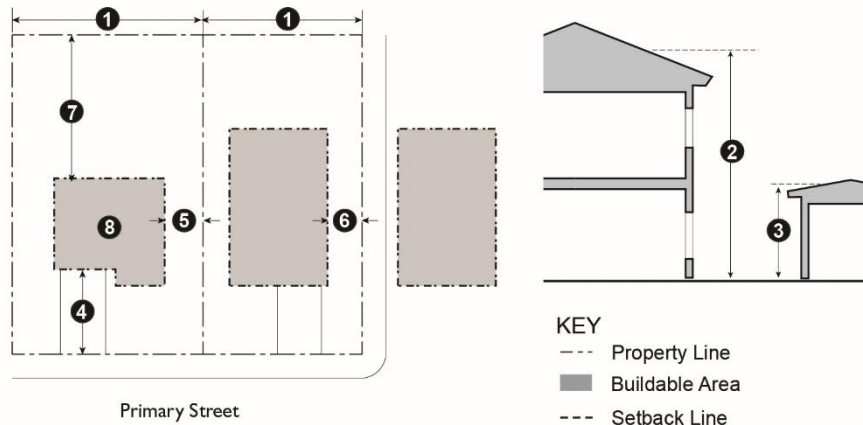
Retail Sales					
Convenience Store	x	MJP	L3	L3	See Chapter 16.26
Funeral and Interment Service	x	x	MJP	MJP	
Live/work Unit	P	MNP	P	P	See Chapter 16.26
Offices	See sub-classifications below				
Medical	x	x	L3	L3	See Chapter 16.26
Walk in Clientele	x	x	L4	L4	
Personal Services	See sub-classifications below				
General Personal Services	x	x	P	MNP	See Chapter 16.26
Personal Services, Physical Training	x	x	L4	MNP	
Transient Lodging	See sub-classifications below				
Bed and Breakfast	MNP	MNP	MNP	MN P	See Chapter 16.26
Hotels, Motels	x	x	x	L5	-
Transportation, Communication and Utilities					
Utilities, Minor	P	P	P	P	
Agriculture					
Cultivation	P	x	x	x	-
Animal Husbandry	P	x	x	x	-
Other					
Accessory Uses	See Section 16.26, Accessory Uses and Structures				
Nonconforming Uses	See Section 16.21, Nonconforming Uses, Structures, and Lots				
Temporary Uses	See Section 16.26 Temporary Uses				
L1 1-9 units permitted subject to Director approval. A minor use permit and Design Review Board approval is required for 10 or more units. A major use permit is required for more than 50 units. If project complies with State Gov. Code Sec. 65589.4, no major use permit or Design Review Board approval is required. Design Review Board approval is required for 10 or more units.					
L2 A minor use permit is required if a new school will be in an existing building and any new space added to the building will not exceed 20 percent of existing floor area, excluding space in portable classrooms. A major use permit is required for construction of new schools and for additions to existing buildings that exceed 20 percent of existing floor area.					
L3 Only allowed 3					
L4 Only allowed on ground floor in mixed-use buildings; a minor use permit is required for more than 2,000 sq. feet					
L5 A major use permit is required; limited to a 20 guest rooms.					
L6 Only allowed when a primary residential unit is on the same lot.					

16.05.030 Development Regulations – RR and RLD Districts

Table 16.05.030 prescribes the development standards for the RR and RLD districts. The numbers in the illustration refers to corresponding regulations in the “#” column. Additional regulations are denoted in

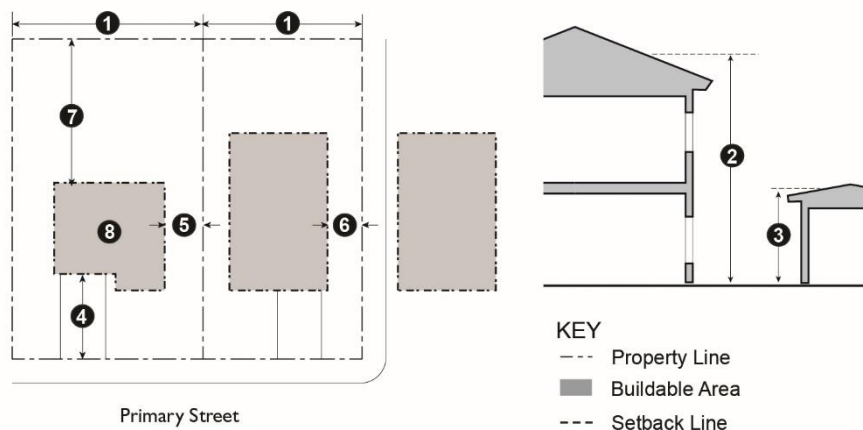
the fourth column where Section numbers refer to other Sections of this Code and individual letters refer to subsections as Additional Development Standards that directly follow the table.

TABLE 16.05.030: DEVELOPMENT STANDARDS – RR AND RLD DISTRICTS



District	RR	RLD	Additional Regulations/	Figure #
Lot and Density Standards				
Maximum Density (units/net acre)	-	9		
Minimum Lot Size (sq. feet)	2.5 acres to 15 acres depending on lot size	5,000	For Small Lot Single Family Bungalow Court, or Townhouse development, see Section TBD and (F) below	
Minimum Lot Width (feet)	(A)	50		①
Building Form and Location				
Maximum Height (feet)				
Main Building	35 (B)	35(B)	See Section TBD Height Regulations for Sloped Lots, and Section TBD Exceptions to Height Limits, #2, #3	②
				③
Accessory Building	14 (B)	14		
Minimum Setbacks (feet)				
Front	30 (A)	15 (A)	See Section 16.14, Setbacks and Encroachments	④
Interior Side	20 (A)	5 (D) (E)		⑤
Street Side	20 (A)	10 (D) (F)		⑥
Rear	20 (A)	5		⑦
Garage	20	20		④ ⑦

TABLE 16.05.030: DEVELOPMENT STANDARDS – RR AND RLD DISTRICTS



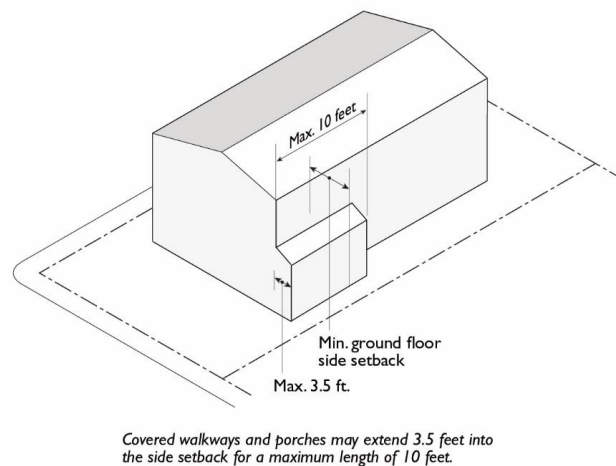
District	RR	RLD	Additional Regulations/	Figure #
Minimum Distance between Buildings (feet)	30	5		
Maximum Lot Coverage (% of Lot)	-	50	For Small Lot Single Family, Bungalow Court, or Townhouse development, see Chapter 16.04, Rules of Measurement	⑧
Additional Standards				
Accessory Structures	No accessory structure in the RLD and RV district shall exceed 1,000 sq. feet in floor area. See Chapter 16.14, Accessory Structures for additional regulations.			
Exceptions to Height Limits	See Chapter 16.TBD			
Fences and Walls	See Chapter 16.TBD			
Lighting	See Chapter 16.TBD			
Off-Street Parking and Loading	See Chapter 16.TBD			
Hillside Development Standards	See Chapter 16.TBD			
Minimum lot size in RR varies as follows: 5 acres in RR-5 10 acres in RR-10 15 acres in RR-15				

Additional Development Standards for RR and RLD Districts.

A. Lot Dimensions. The ratio of lot depth to lot width shall not be greater than 4:1.

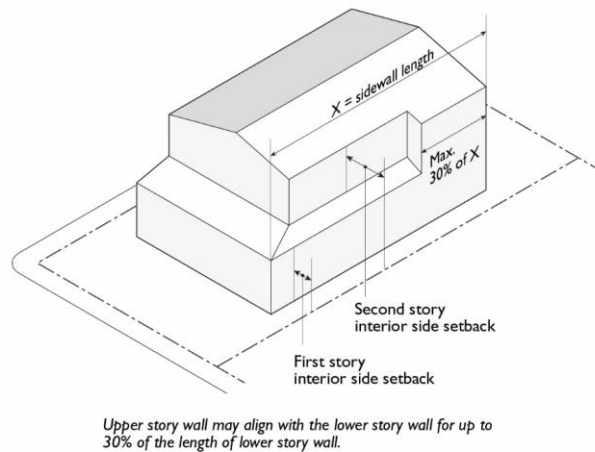
- B. Building Height.** Shall not exceed two stories or 35 feet. Accessory structures shall not exceed 14 feet unless greater height, up to 24 feet, is allowed with Minor Use Permit.
- C. Setback for Structures Containing Animals.**
1. **Yards abutting streets:** 60 feet and 20 feet for corrals and paddocks.
 2. **Other yards:** 20 feet plus two feet for each foot of building height over 24 feet
- D. Side Setback Projection.** Covered walkways, porches, and verandas may project up to 3.5 feet into the required side setback for a maximum length of 10 feet subject to approval by the Chief Building Official.

FIGURE 16.05.030-C: PORCHES WITHIN SIDE SETBACK



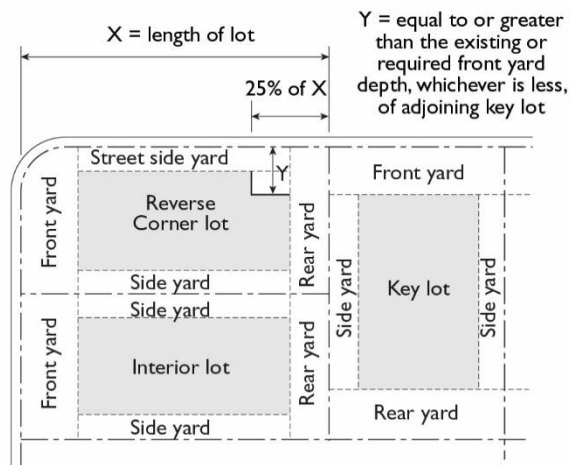
- E. Side Setback for Narrow Lots.**
1. **Minimum.** The minimum side setback for lots with an average width of 45 feet or less shall be a minimum of 10 percent of the lot width, or three feet on one side, whichever is greater.
 2. **Second Story Projection.** On lots less than 45 feet in width, the upper story wall may project a maximum of four feet into the required second story setback for up to 30 percent of the length of the lower story wall.

FIGURE 16.05.030-D: SECOND STORY PROJECTION ON NARROW LOTS



- F. Street Side Yards on Lots with Reversed Frontage.** The rear one-quarter of the street side yard shall not be less than the front yard required or existing on the lot adjoining such street side yard if lot frontage is reversed as shown in Figure 16.05.030-E.

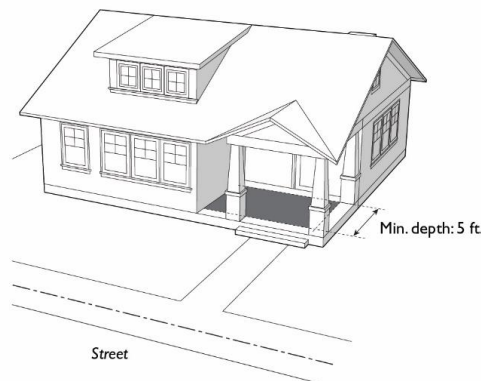
FIGURE 16.05.030-E: STREET SIDE SETBACK ON LOTS WITH REVERSED FRONTAGE



16.05.040 Design Standards for Single-family Housing (Detached and Attached)

- A. Design of Building Additions.** Rooflines, exterior materials, windows, railings, porches, and other design elements shall be designed to incorporate design features of the existing buildings and surrounding neighborhood. At a minimum, the roof shape and style, massing, location of window and door openings, colors, materials, and other design features of the addition shall be similar to the existing structure and the prevailing character of the surrounding neighborhood.
- B. Building Entrances.** The principal entry shall be in a visible location facing the street and shall incorporate a projection (e.g. porch) or recess, with a minimum depth of five feet. Alternative designs that create a welcoming entry feature facing the street, such as a trellis or landscaped courtyard entry, may be approved by the Director if determined to be consistent with original architecture or prevailing architectural style of neighboring structures based on documentation provided by the applicant. (Note: Additional graphic examples of building entrances will be provided in full draft for public review.)

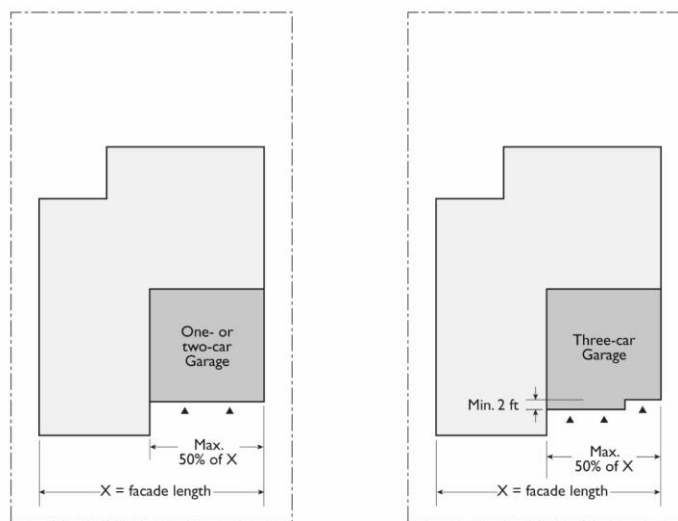
FIGURE 16.05.040-B: BUILDING ENTRANCES
(Note: additional examples will be provided)



- C. Architectural Articulation.** Buildings shall include design features that create visual variety and minimize the appearance of bulk and by meeting the following requirements:
1. No street-facing facade shall run in a continuous plane of more than 25 feet without a window or a minimum four-foot projection, offset, or recess of the building wall at least one foot in depth. Building entrances and front porches, and projections into required front or street side yards such as stoops, bays, overhangs, chimneys, and trellises count towards this requirement.

2. Building elevations abutting street side yards shall be designed to provide at least one horizontal plane break of at least three feet, and one vertical break of at least one foot. Alternative designs to create consistency with the architectural style of the building may be approved if the Director finds these designs create visual variety.
- D. Materials.** All materials shall allow for long-term durability and appearance. The exterior use of plywood or unfinished aluminum as siding materials is prohibited unless approved by the Director following review and approval under Chapter 16.TBD.
- E. Garage Frontage.**
1. Where an attached garage is located on the front half of the lot and garage doors face a street, garage width shall not exceed 50 percent of the width of the front facade of the building (40 percent on lots wider than 100 feet).
 2. On front facades with both a two-car garage and a separate single car garage, (a total of three garage doors) the facades of the two garages must be offset a minimum of two feet.

FIGURE 16.05.040-E: GARAGE FRONTAGE



- F. Paving.** The maximum amount of paving (impervious surface) in street-facing yards is 50 percent of the required yard.
- G. Driveways.** In addition to any other applicable requirements of Chapter 16.TBD, Off-street parking and loading, curb cuts and driveways shall comply with the following:
1. Driveway approaches (curb cuts) are permitted only to provide access to garages, carports and parking spaces.

- a. A maximum of one driveway up to 20 feet wide is permitted to serve a single-family. Driveways serving two or more units shall be the minimum width required by this Code.
- b. All driveways shall be setback at least four feet from side property lines.
- c. Driveways must have minimum three-foot wide planted area along a side or rear lot line.

H. Alley Access. A detached garage or carport is permitted to have access to the alley if:

1. The garage or carport entrance is setback a minimum of five feet from the rear property line;
2. The garage door does not cross the property line when opened or closed;
3. The alley is paved; and
4. The Director or Traffic Engineer finds that such access will not adversely affect vehicle or pedestrian use of the alley.

16.05.050 Development Standards — RMD and RHD Districts

Table 16.05.050 prescribes the development standards for the RMD and RHD Districts. The letters in the columns for each district refer to the additional development standards that directly follow the table. The numbers in the right-hand column refer to development features indicated in the diagrams.

TABLE 16.05.050: DEVELOPMENT STANDARDS – RMD AND RHD DISTRICTS	
Primary Street	KEY --- Property Line ■ Buildable Area --- Setback Line ▨ Parking Area

District	RMD	RHD	Additional Regulations	#
Lot and Density Standards				
Density (units/net acre)	Min. 10; Max. 25	Min. 15; Max. 40		
Minimum Lot Area per Unit (sq. feet)	1,740	1,100		
Minimum Lot Size (sq. feet)	5,000	5,000		
Minimum Lot Width (feet)	50	50		①
Building Form and Location				
Maximum Height (feet)				
Main Building	50	75 – May be increased	See Section TBD Exceptions to Height Limits	②
Accessory Building	14	14		
Maximum Stories	3	6 (B)		
Minimum Setbacks (feet)				
Front	15 (C)	15 (C)	See Section TBD Building Projections into Yards	③
Interior Side	5 for the first two stories, 10 thereafter (A)			④
Street Side	10 (D)	10 (D)		⑤
Rear	10 (A)	10 (A)		⑥
Parking, from street facing property line	40 (E)	40 (E)		⑦
Minimum Distance Between Buildings (feet) (this should be consistent with fire and bldg. code or more)	6	6		⑧
Maximum Lot Coverage (% of Lot)	60	75		⑨
Maximum Upper Story Massing (% of Ground Floor Footprint)				
2 nd Story	100			
3 rd Story and Above	60 may be articulated through bays, relief, and architectural articulation			
Accessory Structure Size	No accessory structure shall exceed 1,000 sq. feet in floor area unless a larger size is approved by the Director with a maximum of 1,250 sq. feet			
Open Space, Landscaping and Paving				
Minimum Private Open Space (sq. feet per unit)	75	60	(F)	
Minimum Total Open Space (sq. feet per unit)	150	120	(F)	

Required additional Open Space for 3 or more Bedrooms (sq. feet per unit)	100 (common or private)			
Minimum Amount of Landscaping (% of site)	30	25	See Section TBD Water-Efficient Landscaping	
Maximum Paving in Street-facing Yards (% of required yard)	50	50		

Additional Development Standards — RMD and RHD Districts

- A. Transitional Standards.** Where an RMD or RHD District adjoins an RLD District, the following standards apply:
1. The building setback from the RLD District boundary shall be 10 feet for interior side yards and 20 feet for rear yards; and
 2. A landscaped planting area, a minimum of five feet in width, shall be provided along all RLD District boundaries. A tree screen shall be planted in this area, with trees planted at MNP maximum interval of 15 feet along with shrubs and or ground cover.
- B. Upper Story Setback - RHD District.** The fourth story of a street-facing building frontage shall be set back a minimum of 10 feet from the facade of the stories below. Exceptions may be granted by the Director, provided that an entry courtyard with a minimum depth of 20 feet, landscaping, and seating amenities are provided on the ground level.
- C. Reduced Front Setback.** Where 75 percent or more of the lots in a block, on both sides of the street, have been improved with buildings, the minimum front setback required for the entry element (stoop or projected porch) shall be the average of those on the improved lots or 10 feet, whichever is less.
- D. Street Side Yards on Lots with Reversed Frontage.** The rear one-quarter of the exterior side yard shall not be less than the front yard required or existing on the lot adjoining such exterior side yard.
- E. Parking Setback.** Parking may be located within 40 feet of the street-facing property line in accordance with the following standards.
1. **Underground and Partially Submerged Parking.** Parking completely or partially underground may match the setbacks of the main structure. The maximum height of a parking podium visible from a street is five feet from finished grade.
 2. **Surface Parking.** Above ground parking may be located within 40 feet of a street facing property line with the approval of an administrative use permit when the all of following findings can be made:
 - a. The design incorporates habitable space built close to the public sidewalk to the maximum extent feasible;
 - b. The parking area is well screened with a wall, hedge, trellis, and/or landscaping; and
 - c. The site is small and constrained such that underground, partially submerged, or surface parking located more than 40 feet from the street frontage is not feasible.
- F. Open Space.** Private and common open space shall be provided in accordance with this subsection. Private areas consist of balconies, decks, patios, fenced yards, and similar areas outside the residence. Common open space consists of landscaped areas, walks, patios, swimming pools, barbeque areas, playgrounds, turf, or other improvements that enhance the outdoor environment. Landscaped courtyard entries that are oriented towards the public street and create a welcoming entry feature are also considered common areas.

1. **Minimum Dimensions.**
 - a. Private Open Space. Private open space located on the ground level (e.g., yards, decks, patios) shall have no dimension less than 10 feet. Private open space located above ground level (e.g., balconies) shall have no dimension less than six feet.
 - b. Common Open Space. Minimum dimension of 15 feet.
2. **Usability.** A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practicable combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust-free surfacing with a slope not exceeding 10 percent.
3. **Accessibility.**
 - a. *Private Open Space.* The space shall be accessible to only one living unit by a doorway or doorways to a habitable room or hallway.
 - b. *Common Open Space.* The space shall be accessible to the living units on the lot. It shall be served by any stairway or other accessway qualifying as an egress facility from a habitable room.

G. Planting Areas

1. **Setback Areas Adjoining Streets.** All visible portions of a required yard adjoining a street shall be planting area or hard scape that includes parking areas, driveways and walks, as well as areas covered by ornamental gravel, crushed rock or similar materials.
2. **Interior Setback Areas.** At least 50 percent of each required interior side setback and rear setback shall be planting areas having a minimum width of five feet adjoining a side or rear property line; provided, that the width of a required planting area may be reduced to two feet in one side or rear yard adjoining a driveway and an accessory structure may occupy MNP portion of the planting area in a rear yard.
3. **Adjoining an RLD District.** A continuous planting area having a minimum five-foot width shall adjoin an RLD District.

16.05.060 Residential Development Types

This sub-section illustrates development types allowed in all Residential Districts and provides supplemental standards for small lot single-family, bungalow court, which is a style of multi-unit housing that has several small attached or detached units arranged around a central courtyard or garden, and townhouse or rowhouse development types. Small lot single-family, bungalow court, and townhouse or rowhouse development types are subject to the development standards of the base district unless modified by Table 16.05.060.

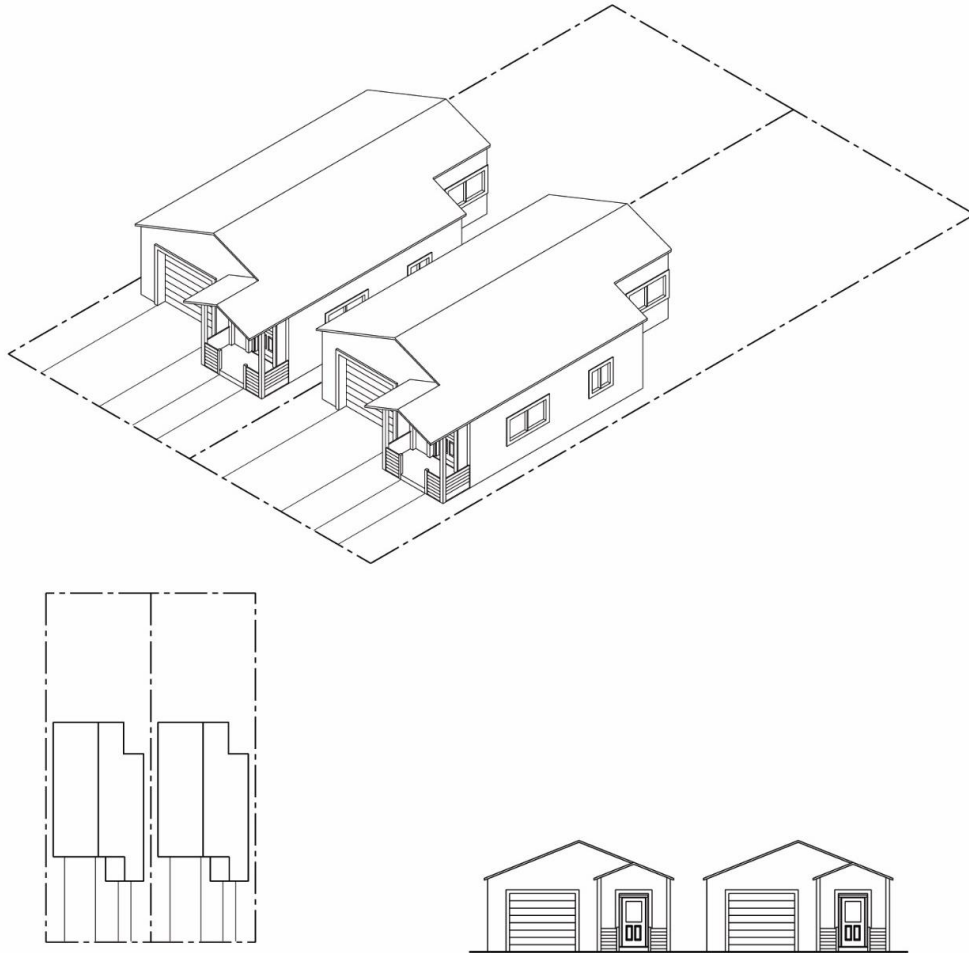
In addition to the development standards in Table 16.05.060, these residential development types shall be designed to meet the following design standards.

- A.** Entries shall be designed to be prominent features by including features such as:
1. Covered entries;
 2. Raised panels;
 3. Glazed side lights or transom;
 4. Contrasting colors; and
 5. Extending up to four feet beyond front facade of building.
- B.** Appearance of garages shall be minimized by:
1. Setback at least four feet from entry;
 2. Orienting garage entrance away from adjacent street;
 3. Locating garage at back of lot or providing side entrance if feasible;
 4. Matching siding, windows, entry doors and trim with rest of structure;
 5. Breaking up appearance of multi-car garage by providing two or more smaller doors;
 6. Cantilever second floor above garage entrance.

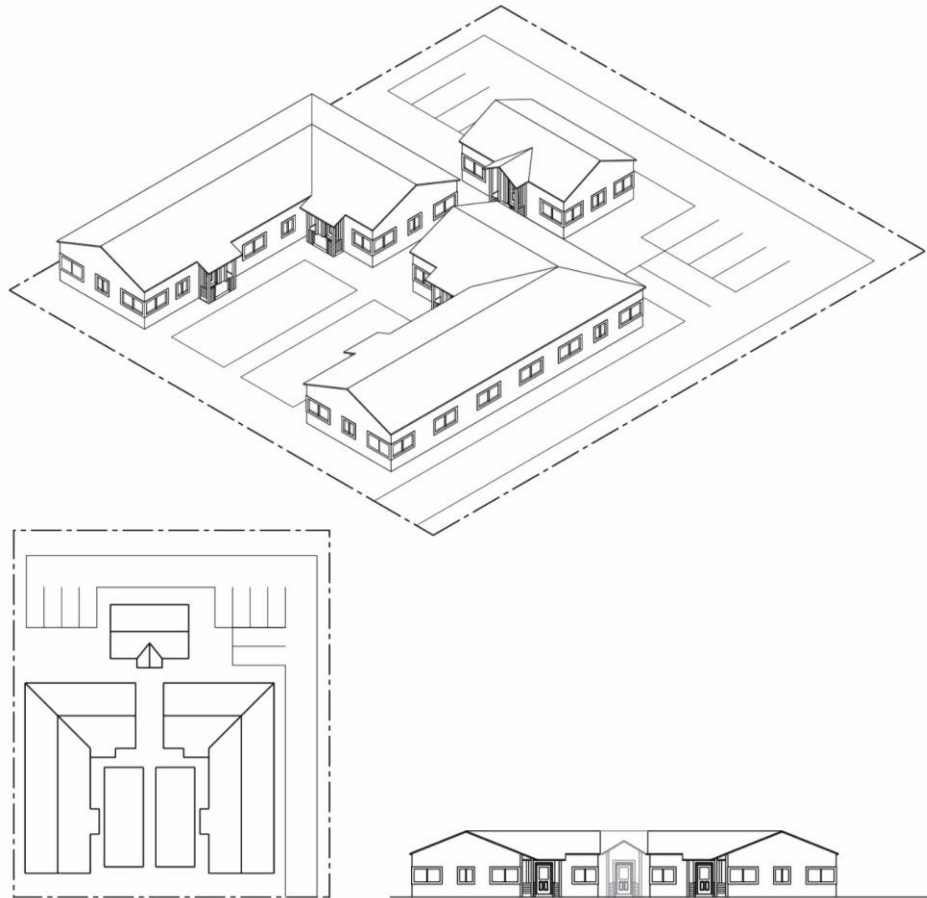
TABLE 16.05.060: DEVELOPMENT STANDARDS – SMALL LOT SINGLE-FAMILY, BUNGALOW COURT, AND TOWNHOUSE DEVELOPMENT			
Standard	Small Lot Single-family	Bungalow Court	Townhouse or Rowhouse
Site Standards			
Minimum Lot Width (feet)	25	75	40
Maximum Floor Area Ratio (FAR)	0.6	0.6	1.0
Maximum Lot Coverage (% of site)	50	50	60
Building Height and Form			
Maximum Height	35	50	50
Maximum Building Length (feet)	No max	No max	No max
Setbacks			
Individual Lot (feet)			
Front	Minimum 10 feet; 7 for porches, stoops, and entries		
Side	1-story portion: 0 or minimum 3 if any setback is provided; 2 nd and 3 rd story portions: 5 For Townhouses, required setbacks apply to the ends of rows of attached units		
Rear	5 feet; 0 for a detached garage on an alley		
Parking and Access			
Maximum Garage Width (feet)	2-car garage door		

TABLE 16.05.060: DEVELOPMENT STANDARDS – SMALL LOT SINGLE-FAMILY, BUNGALOW COURT, AND TOWNHOUSE DEVELOPMENT			
Standard	Small Lot Single-family	Bungalow Court	Townhouse or Rowhouse
Access Location	Alley or side street, preferred. Secondary preference is setback of 4 foot minimum from main entrance. Residential entries are designed as a prominent feature and are the main focal point Residential entries are incorporated as part of porches or entrance feature		
Building Orientation			
Orientation	Facades shall be designed to orient towards the public street or to a common courtyard, if provided.		
Entrance Location	The main entrance to each ground floor dwelling shall be visible to and located directly off a common courtyard or directly from the street.		
Usable Open Space			
Minimum Open Space (sq. feet per unit)	300	150	200
Minimum Common Open Space	n/a	15% of lot area provided as a central courtyard	None required
Minimum Dimensions			
Ground floor, common (feet)	n/a	20	15
Ground floor, private (feet)	15	10	10
Balcony (feet)	6	6	6
Additional Standards			
Minimum Visible Landscaping (% of site) (1)	30	30	25
Minimum Amount of Enclosed Storage Area in garages and accessory structure (sq. feet)	200 or 10 % of net floor area, whichever is greater	200 or 10 % of net floor area, whichever is greater	200 or 10 % of net floor area, whichever is greater

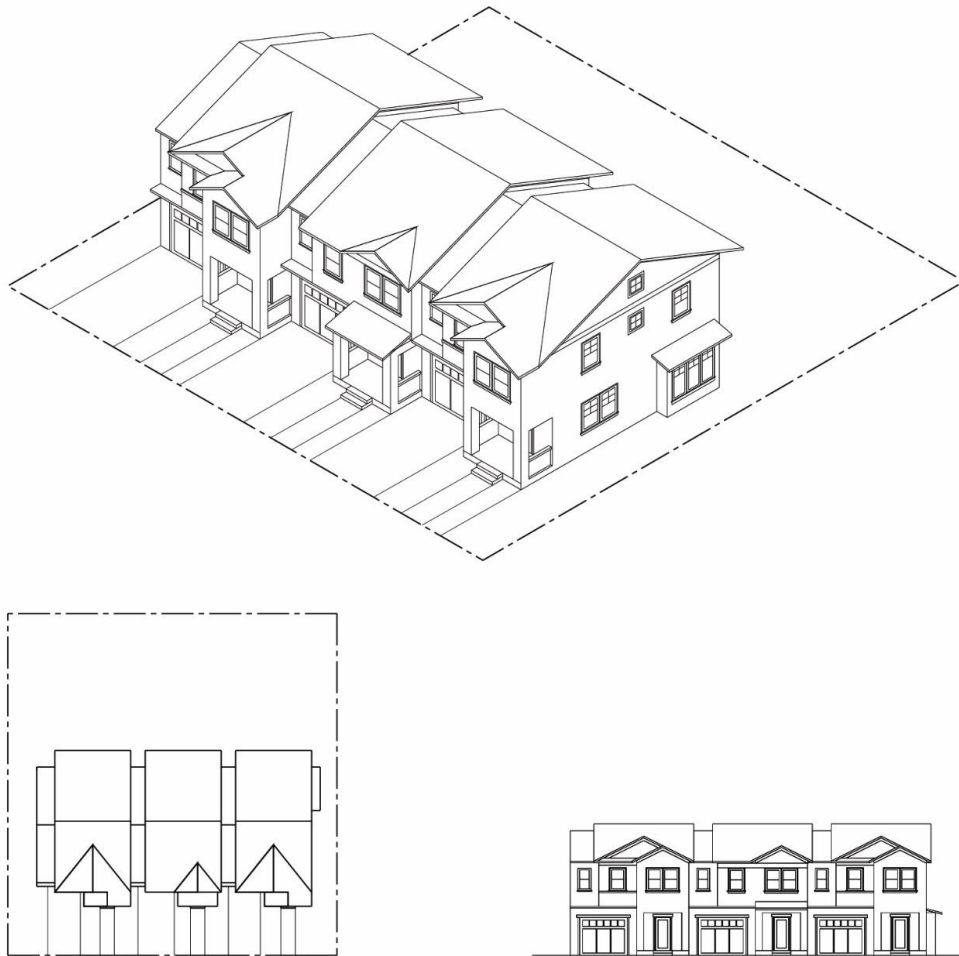
**FIGURE 16.05.060 (1): RESIDENTIAL DEVELOPMENT TYPE EXAMPLE –
SMALL LOT SINGLE-FAMILY**



**FIGURE 16.05.060 (2): RESIDENTIAL DEVELOPMENT TYPE EXAMPLE—
SINGLESTORY BUNGALOW COURT**



**FIGURE 16.05.060 (3): RESIDENTIAL DEVELOPMENT TYPE EXAMPLE--
TOWNHOUSE DEVELOPMENT**



16.05.070 Small Lot Development

- A. **Purpose.** The purpose of this Section is to provide opportunities to increase the supply of smaller dwelling units in the City by allowing the creation of subdivisions with smaller lots and dwellings. It also is intended to establish design and development standards for these projects to ensure they are compatible with the surrounding neighborhood.
- B. **Location.** A small lot development may be proposed and approved on any site within an RLD and RMD District, the City's Priority Development Areas where there are vacant and undeveloped lots or on sites where homes have been demolished or vacated, and undeveloped parcels adjacent to major corridors such as Tennessee Street, Solano Avenue and Springs Road. where such development would be compatible with adjacent uses and the character of the area, and the density will not exceed the General Plan maximum. A small lot development shall not be allowed where the Director determines that such compatibility will not occur, public utilities and services are inadequate, or the landform is inappropriate for such development because of grading or impacts on views from adjacent lots.
- C. **Development Types.** Small lot development may be proposed and approved for small lot single-family, bungalow court, and townhouse development developed according to Section 16.05.070, Residential Development Types.
- D. **Lot Standards.** The process for establishing a small lot subdivision shall be in accordance with Chapter 15.20 of the Municipal Code; however, the Director may approve smaller lots than required for the base district, but no less than 2,000 square feet in area and 30 feet in width.

16.05.080 Hillside Development Standards

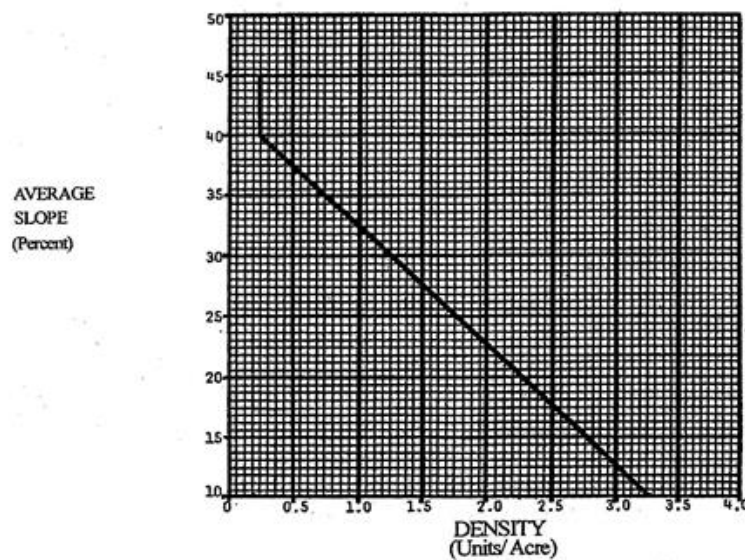
- A. **Purpose.** The purpose of these regulations is to minimize impacts of hillside development and protect views in hillside areas. The intent of these regulations is to ensure that the design of new development complements existing topography so that improvements result in a natural and unobtrusive appearance. These regulations are also established to minimize risk of personal injury, impacts to water quality, and damage to property from landslides, erosion, earth creep, stormwater runoff, and other hazards in and near hillside areas of the city.
- B. **Applicability.** The provisions of this section apply to any subdivision, new use, or structure (including accessory structures), additions to existing structures that exceed 50 percent of the size of the existing structure, and other development on any parcel with an average slope of 15 percent or greater, hereinafter referred to as "hillside parcels."

The provisions of this chapter do not apply to additions to existing single-family residences when the area of the addition is less than fifty percent of the area of the existing residence and there is no hillside development permit for the existing residence. Nothing in this chapter shall prohibit the construction and occupancy of a single-family residence on a hillside parcel created pursuant to the Subdivision Map Act and the City's subdivision ordinance. New development shall be built in compliance with this chapter.

- C. **Slope measurement.** Slope is measured by taking the vertical distance, or "rise," over the horizontal distance, or "run." The resulting fraction, or percentage, is the "slope" of the land.

- D. Conflicts.** In the event of a conflict between the provisions of this chapter and other development code regulations, including the provisions of the applicable zoning district, the provisions of this chapter shall apply.
- E. Hillside development permit required.** A Minor Use Permit (MNP) shall be required for all development subject to the requirements of this section.
- F. Maximum Allowed Density.**
- The maximum residential density for any hillside parcel shall be calculated according to the following figure:

FIGURE 16.05.080: MAXIMUM ALLOWED DENSITY



- The maximum intensity or floor area ratio (FAR) for nonresidential development shall be reduced for hillside parcels in compliance with Table 16.05.080.

TABLE 16.05.080: NONRESIDENTIAL DEVELOPMENT MAXIMUM ALLOWED INTENSITY OR FAR

<i>Average Slope of Lot (percent)</i>	<i>Percent Reduction to Maximum FAR</i>
15	30
16	29
17	28
18	27
19	26
20	25

3. The maximum permitted density or intensity in subsections (1) and (2) of this section may be required to be further reduced by the review authority, if necessary, to:
 - a. Protect the health, safety, or general welfare of persons residing or employed in the vicinity of the site, protect property and improvements in the vicinity, or to protect the general welfare of the City;
 - b. Protect water quality in downstream creeks or rivers; or
 - c. Preserve significant views from public open spaces, rights-of-way, or other public places.
4. An exemption from the maximum allowed density or intensity may be approved by the review authority on any hillside parcel meeting all of the following conditions:
 - a. The average slope is less than 20 percent;
 - b. The parcel has previously been developed, or the parcel is abutted on all four sides with developed properties, and the proposed density or intensity is consistent with the adjacent development;
 - c. Open space does not exist on any side of the parcel; and
 - d. The parcel is less than five acres in size.
5. Any hillside parcel exempted from the maximum allowed density or intensity by subsection (A)(4) of this section shall comply with all of the other provisions in this chapter.

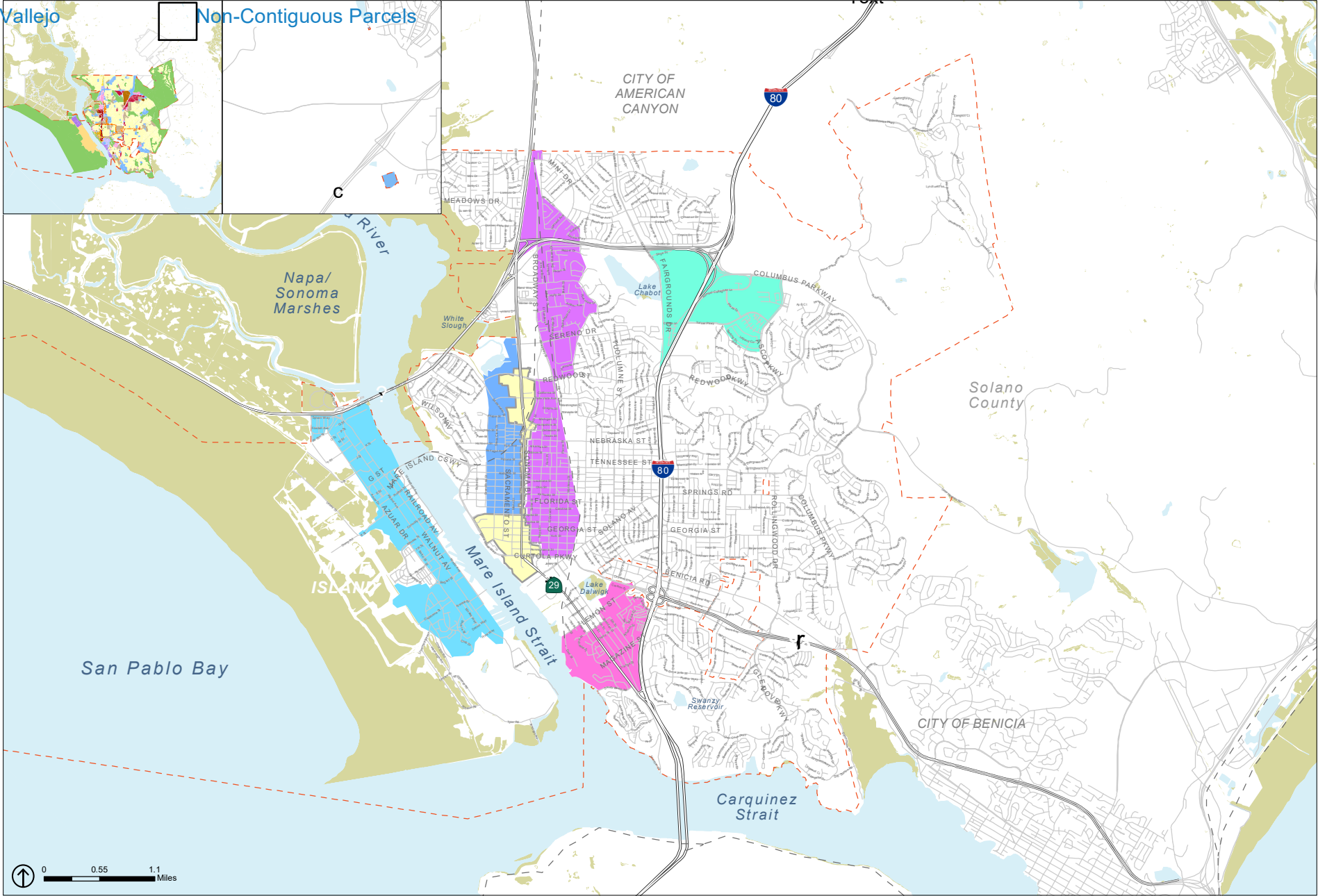
G. Development standards. All hillside development shall comply with the following development standards in addition to the standards for the applicable base zoning district.

1. **Slope Limits.** Land with an average slope of 30 percent or more shall not be developed. Development on land with an average slope of 20 percent or more may be permitted by the Director only when all of the following findings can be made:
 - a. It is substantially infeasible to locate the proposed building inside the maximum percent slope area;
 - b. Where such location would have a substantially less impact on the environment;
 - c. Where such location is deemed appropriate to facilitate clustered development; and
 - d. Measures are included that provide adequate mitigation of environmental impacts such as visual, biological, and geotechnical impacts.
2. **Treatment of Sloped Areas.**
 - a. All areas with an existing average slope of 30 percent or greater shall be left undisturbed;

- b. All areas with an existing average slope of 20 percent or more that are not covered with structures or used for access to the property shall not be paved, and shall only be disturbed as necessary to develop the site;
 - c. Slopes created or altered by grading shall not exceed 30 percent; and
 - d. For slopes up to 15 percent, impervious surfaces shall not exceed 40 percent of the gross land area. Slopes that exceed 15 percent shall not have impervious surfaces that exceed 30 percent or less.
- 3. **Protection of Ridgeline Views.** The highest point of any structure shall not be located within 100 vertical feet of a ridgeline (i.e., a ground line located at the highest elevation of a connected series of major and minor hills).
- 4. **Subfloor Parking for Nonresidential Buildings.** The maximum allowable floor area for nonresidential development may be increased to a maximum of 20 percent when at least 25 percent of the required parking spaces are provided below grade, or in a subfloor, and incorporated into the design of the building. The 20 percent increase in FAR shall be applied to the total floor area calculated after the maximum allowable FARs in Table 16.X00.0X0 are applied. In no case shall a project exceed the FAR or other development standards of the applicable zoning district.
- 5. **Fences.** Exterior fencing on hillside parcels shall be limited to wire mesh with wood posts or other similar natural materials that are transparent and do not significantly affect views of the site. Chain link fencing, solid wood, masonry, or other opaque fence/wall materials are prohibited.

H. Soils report and peer review.

- 1. As a part of each application for an HDP, the applicant shall submit a preliminary soils or geotechnical report prepared by a qualified professional, at the applicant's expense. The study shall include all information and materials required by the City engineer.
- 2. The report shall be reviewed and approved by the City engineer or by a consulting geotechnical engineer, hired by the City at the applicant's expense.
- 3. The applicant shall incorporate all recommendations into the design of the project.
- 4. This requirement may be waived if the City engineer determines that the project, because of its size, location, or design, will not have a significant impact on the hillside, or that sufficient information already exists, and further analysis is not necessary.



CITY OF VALLEJO PROPOSED PDAS

Existing PDAs

- Waterfront and Downtown
- Sonoma Boulevard

Proposed PDAs

- Solano 360
- Mare Island
- Central Corridor West
- Central Corridor East
- Carquinez Heights

- Railroad
- Vallejo City Limit
- Wetland

1/6/2020



HOUSING AND ZONING CODE MATRIX

January 29, 2020

ATTACHMENT 3

The City of Vallejo General Plan 2030, 5th Cycle Housing Element Update (2015-2023) (HE) adopted by City Council on May 26, 2015 has the following Goals, Policies, Programs (pg 95 – 116) that require consistency with the new Zoning Code. The focus of the matrix is to identify those policy items that are required to be implemented through the Zoning Code. The last column identifies how the Zoning Code will be consistent with the Housing Element.

#	PROGRAM NUMBER	PROGRAM NAME	DESCRIPTION	HE ZONING CODE MEASUREABLES	PROPOSED ZONING CODE STANDARD
GOAL A - FACILITATE PRODUCTION OF HOUSING TO ACCOMMODATE VALLEJO'S FAIR SHARE OF THE REGIONAL HOUSING DEMAND					
1	Program A 1.1.2 Page 90	Vacant Land Inventory	The City of Vallejo will continue to maintain a vacant land inventory for residential, commercial, and industrially zoned parcels. In considering development applications and/or pending changes in local land use policy, the City of Vallejo will place a priority on activities (i.e., expedite permits when possible) that support the City's ability to meet its unmet share of the regional housing need.	City staff will review list annually to ensure enough land to meet the City's RHNA allocation through the 5 th cycle planning period and update site information as projects are approved through planning.	ADU permits over the counter Identify additional streamline measures
2	Program A1.1.3 Page 90	Mixed Use Development	The City will continue to encourage and facilitate the residential development in mixed-use zones, particularly units affordable to extremely low-, low- and very low-income households. The City will consider in the General Plan update, Sonoma Boulevard Specific Plan, and Zoning Ordinance update providing more flexibility for mixed-use development with residential units on the ground floor of certain commercial areas (except for storefronts abutting the public sidewalk) or under certain conditions. The City's vacant land inventory described in Program A 1.1.2 will include a listing of mixed-use and high density sites appropriate for residential uses. This inventory will be made	Discourage the development of exclusively commercial projects, in areas designated for mixed-use. Complete form-based design standards for Sonoma Boulevard Specific Plan and other areas as appropriate to provide developers a predictable path to entitlement of mixed-use projects.	Non-residential district standards February 19 will address this program. Staff proposes to adopt Design Guidelines which have the same intent and are consistent by September 2020.

			available to interested developers, including affordable housing developers, to facilitate and encourage them to propose development on these sites.		
3	Program A1.1.4 Page 97	High Density	Increase the density of High Density Residential (HDR) designated parcels from 27 to 30 units per acre	By December 2016	General Plan has densities identified. Ensure consistency in conjunction with the Zoning Code update process.
4	Program A 2.1.1 Page 97	Underutilized Commercial Land Conversion Program	The City, through the comprehensive General Plan and Zoning Code update, will expand opportunities for residential and mixed-use development. Through this process the City will offer regulatory incentives, such expedited permit processing for projects that contain an affordable housing component. The City will also promote the availability of both the underutilized sites and regulatory incentives through the use of the City's website, during pre-application meetings, and during other relevant community outreach workshops/meetings. Lastly, the City will monitor the supply of underutilized sites and evaluate whether the incentives described above are providing the necessary catalyst to ensure that development is occurring consistent with the RHNA needs. As necessary, the City will make changes to this program to ensure that infill development remains a realistic and viable development strategy.	Study and site inventory will be completed by December 2015. General Plan and Zoning Ordinance Update 2016. Promotional materials will be prepared and put on the website by June 2016. Monitor supply of underutilized sites ongoing.	New Zoning Code addresses SB 35, Density Bonus and Government Code Section 65589.4 all have requirements for expedited process for projects with affordable housing component. City is monitoring RHNA requirements on an annual basis with update and report to City Council and HCD.
5	Program A 3.1.1 Page 92	Removal of Governmental Constraints	Review local regulations to remove or mitigate constraints on housing production	Remove the regulation requiring a major conditional use permit for multi-family housing	New Zoning Code proposes 9 units or less through a staff review. 10 to 49 units with a minor use and design review. 50

				developments with nine or more units	or more units a major use permit with design review.
				Currently “group residential” facilities under five persons are permitted with a CUP in High-Density Residential. The City will allow licensed group homes and other residential care facilities with six or fewer residents by right in residential zones accordance with State law.	New Zoning Code permits 6 or fewer in all residential zones for group residential care facilities. Greater than 6 will require a minor use permit in RMD and RHD.
				Assembly Bill (AB) 2634 requires the City to identify zoning to encourage and facilitate housing suitable for extremely low-income households, which includes supportive housing and single-room occupancy (SRO) units. As part of the Zoning Ordinance Update, the City will add a definition of SRO and identify a zone, or zones where SROs will be allowed.	New Zoning Code allows SROs under RMD as a major use permit and RHD as a Minor Use Permit. Definition added.
6	Program A 3.1.2 Page 98	Density Bonus Amendment	Amend zoning ordinance to incentivize development of affordable housing, increased density and reduce parking standards The City will amend its Zoning Ordinance pursuant to Government Code Section 65915-65918 to incentivize the development of affordable housing in the City, including increased density allowances and reduced parking standards in compliance with State law.	Complete as part of the General Plan and Zoning Ordinance Update in 2016.	New Zoning Code incorporates State Density Bonus in compliance with State Law.

7	Program A 4.1.1 Page 99	Housing Marketing and Promotion	Encourage and facilitate the development of housing that is affordable to households with a wide range of incomes, particularly in the downtown area, by updating land use policies and regulations and marketing and branding the City as an investment opportunity for moderate and above moderate income households	--	Staff proposes in Zoning Code variety of housing types in RMD and RHD districts. Updates to Downtown Specific Plan will be addressed in Phase 2 of Zoning Code
GOAL C – IMPROVE AND PRESERVE THE CITY'S EXISTING SUPPLY OF AFFORDABLE HOUSING.					
8	Program C 2.1.1 Page 103	Condominium Conversion Ordinance	Continue to administer the City's condominium conversion ordinance that was designed to minimize the negative impacts of conversions on the rental market. During the Zoning Ordinance update, the City will review the current regulations to consider their effectiveness to mitigate potential displacement of affordable units and to address complexes with approved condominium maps that are yet to be converted.	Review and revise ordinance, as necessary, during the Zoning Ordinance update to be completed in 2016.	As part of Housing Taskforce and Zoning Code Phase 2 evaluate the update.
GOAL D – INCREASE HOMEOWNERSHIP OPPORTUNITIES.					
9	ProgramD 1.1.5 Page 104	Mobile Home Permitting	The City through the Zoning Ordinance update will clarify that a single mobile home or a manufactured house on a permanent foundation will be processed and permitted the same as conventional single family homes in all zoning districts.	With adoption of Zoning Code update in 2016.	Add to the Zoning Code Phase 1.
GOAL E – ENCOURAGE HOUSING TO MEET THE CITY'S SPECIAL NEEDS POPULATION					
10	Program E1.1.2 Page 105	Senior Housing Needs	The City will identify the existing and future housing needs of senior citizens and identify annual funding opportunities. The City will meet with affordable housing/senior housing developers, senior stakeholder groups, and other senior housing advocates such as the Legal Services of Northern California on an annual basis to discuss available sites and	Look at incentives to reduce setbacks and parking requirements.	Review as part of the parking section of the Zoning Code.

			senior needs in the community. The City will provide incentives to developers to provide housing, care choices, and age in place options for seniors of all incomes levels (possible incentives will include reduced setbacks, reduced parking requirements, and technical assistance with applications funding).		
11	Program E 1.1.5 Page 106	Reasonable Accommodations	As required by both the federal Fair Housing Act and the California Fair Employment and Housing Act, the City will establish a procedure for allowing reasonable accommodation requests made by persons with disabilities for exceptions or modifications and other special considerations during the planning and building permit review process.	Complete with Zoning Code update, 2016	New Zoning Code incorporates Reasonable Accommodation.
12	Program E 1.1.8 Page 107	Employee Housing	The City will ensure local zoning, development standards and permitting processes comply with California Health and Safety Code Sections 17021.5 and 17021.6. Section 17021.5 for Employee Housing	Complete with Zoning Code update, 2016	Confirm in New Zoning Code
GOAL H – GUIDE DEVELOPMENT OF BALANCED NEIGHBORHOODS.					
13	Program H 1.1.1 Page 111	Neighborhood Park Access Program	Based on the need for parks identified in the General Plan update, the City will encourage the development of public neighborhood or pocket parks for new subdivisions and will incorporate the goals of this program into new open space requirements as part of the City-wide Zoning Ordinance update. Through conditions of approval, development agreements, and or mitigation measures identified in environmental review, the City will require that developers proposing to build parks and park facilities will do so concurrently	As subdivisions are submitted to the Planning Division	Encourage the development of public neighborhood or pocket parks for new subdivisions as part of review.

			with residential construction to ensure these amenities are available to existing and new residents within a reasonable amount of time from project approval.		
14	Program H 1.1.2 Page 112	Neighborhood Services	The City will evaluate, and if appropriate, encourage the development of services, such as child-care centers, within or adjacent to neighborhoods that will allow residents to minimize vehicle trips and access services close to home. Neighborhood serving uses will be incorporated into the City-wide Zoning Code update.	As plans are submitted to the Planning Division	Evaluate as part of development incentives Evaluate as part of Urban Villages
15	ProgramH 2.1.2 Page 112	Downtown Vallejo Specific Plan and Sonoma Boulevard Specific Plan	The City will implement the Downtown Vallejo and Sonoma Boulevard Specific Plans to introduce high-density mixed-use housing while revitalizing existing retail and commercial areas. The Specific Plans focus on improvements to the physical environment through development standards and design guidelines, both for public improvements and for private developments. The City will encourage the development of affordable housing units to implement residential development as part of the Specific Plan goals.		Evaluate as part of Zoning Districts February 3 and February 19
16	Program H 2.1.3 Page 112	Live/Work Ordinance	The City currently permits live/work units with an administrative review process and will continue to process applications in this manner to facilitate the development of live/work units.		Zoning Code update with administrative process.

17	Program H 2.1.4 Page 113	Transit-Oriented Development (TOD)	The City will implement the goals of the Mare Island Specific Plan, and the Sonoma Boulevard Specific Plan to implement transit-oriented development. The City shall actively support and encourage vacant sites or underutilized sites near transit stops or along major transit corridors between activity nodes to be rezoned to mixed-use designations by offering regulatory incentives, such as relaxed development standards, building setbacks, height, FARs, and parking, to encourage transit-oriented development. The purpose of TOD development is to stimulate the production of housing developments located near transit stations that include affordable units and increase public transit ridership and minimize automobile trips. TODs also strengthen local transit and promote infill, retail, employment, and residential development around existing and future transit stations, centers, and corridors.	Support transit-oriented development within the Mare Island Specific Plan, Waterfront Planned Development Master Plan, and Sonoma Boulevard Specific Plan, through implementation of TOD goals by December 2016.	Implement as part of Zoning Districts February 3 and February 19
18	Program H 3.1.1 Page 113	Design Review	The City, through the City-wide Zoning Ordinance update, will establish design review criteria to use in determining whether proposed infill projects are compatible with the existing neighborhoods in which they are proposed. The purpose of which is to give clear direction for project design and to provide staff and the Planning Commission with clear criteria for decision-making. These criteria could include a pre-application process to provide project direction. As part of the City-wide Zoning Ordinance update, consideration should be given to exempting projects in form-based code areas, as these areas will provide direction on building form, massing, compatibility and the provision of on-site		Implement Design Review and Design Guidelines in new Zoning Code Phase 1 with objective standards and criteria.

			amenities and services as described above.		
19	Program H 3.1.2 Page 114	Design Guidelines for Housing Quality	The City will establish residential design guidelines to ensure residential development projects are consistent with the goals of this Housing Element, produce better housing and neighborhoods, and improve the quality of life for existing and future Vallejo residents. The guidelines may apply to features including, but not limited to: lighting, access, landscaping and the provision of on-site amenities and services, such as community centers, and support, educational or security services. As part of the City-wide Zoning Ordinance update, consideration should be given to exempting projects in form-based code areas, as these areas will provide direction on building form, massing, compatibility and the provision of on-site amenities and services as described above.	Update of the Zoning Ordinance in 2016	Implement Design Review and Design Guidelines in new Zoning Code Phase 1 with objective standards and criteria.
20	Program H 4.1.1 Page 114	Regulate for Housing Variety	Encourage a variety of housing types, including duplexes, townhomes, apartment buildings, and condominiums, in neighborhoods and new subdivisions through updated land use policies and regulations	Update the Zoning Ordinance in 2016.	Implement as part of Zoning Districts February 3 and February 19
21	Program H 4.1.3 Page 115	Higher Density Residential	To de-concentrate poverty, ensure sufficient higher density residential land is available in areas throughout the City.	Update the Zoning Ordinance in 2016 and on-going.	Implement as part of Zoning Districts February 3 and February 19