



AGENDA

VALLEJO PLANNING COMMISSION REGULAR MEETING – 7:00 P.M. VIA TELECONFERENCE

Diosdado "J.R." Matulac, Chair
Kathleen Diohep, Vice-Chair
Peggy Cohen-Thompson
Jamar Stamps
Charles Palmares
Melissa Bowman
Donald Douglass

VIA TELECONFERENCE

www.cityofvallejo.net

June 21, 2021

IMPORTANT NOTICE

Until further notice, meetings of the Planning Commission are being conducted using teleconference and electronic means, consistent with State of California Executive Order N-29-30 regarding the COVID-19 pandemic. The live stream of the meeting may be viewed on television or online. Details may be found at www.cityofvallejo.net. In accordance with Executive Order N-29-30, the public may only view the meetings on television and/or online and not in the Council Chamber.

PUBLIC COMMENT: Members of the Public may provide public comments during the Planning Commission Meeting via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 914 0075 0676#

For additional instructions on how to speak during public comment, please visit, www.cityofvallejo.net/publiccomment

VIEW THE MEETING: There are three different ways you can view this public meeting:

- Watch Vallejo local channel 28
- Stream from the City website: www.cityofvallejo.net/Streaming
- Join the Zoom webinar: <https://zoomregular.cityofvallejo.net>

Want more City information? Members of the public can:

- Like us on Facebook (www.facebook.com/cityofvallejo)
- Sign up to receive City Communications via e-mail (www.cityofvallejo.net/living/connect)
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This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Planning Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Planning Commission will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Planning Commission may, within ten days after the rendition of the decision of the Planning Commission, appeal in writing to the City Council by filing a written appeal with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within two hundred or five hundred feet of the project boundary, whichever was the original notification boundary.

The Council may affirm, reverse or modify any decision of the Planning Commission which is appealed. The Council may summarily reject any appeal upon determination that the appellant is not adversely affected by a decision under appeal.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF MINUTES**

A. May 17, 2021

- 5. WRITTEN COMMUNICATIONS**
- 6. REPORT OF THE SECRETARY**

A. Upcoming Meetings

July 7, 2021

1. Appeal to Planning Commission of Director's approval of Minor Use Permit 20-0012 for Life Enhancement Services, a cannabis cultivation, manufacturing and distribution facility at 1630 Lewis Brown Drive.

2. Discussion of Phase II Project List

July 19, 2021

No items tentatively scheduled.

- 7. CITY ATTORNEY REPORT**
- 8. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE PLANNING COMMISSION**
- 9. REPORT OF THE SUBCOMMITTEES**
- 10. REPORT OF THE CITY COUNCIL LIAISON**
- 11. COMMUNITY FORUM**

Due to the current Shelter at Home Order and in conformance with the Governor's Executive Order N-29-30, the City of Vallejo has opted to hold Planning Commission meetings via teleconference. Any interested members of the public desiring to communicate with the Planning Commission as part of the Community Forum may do so via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 914 0075 0676#

- 12. CONSENT CALENDAR AND APPROVAL OF THE AGENDA**

Due to the current Shelter at Home Order and in conformance with the Governor's Executive Order N-29-30, the City of Vallejo has opted to hold Planning Commission meetings via teleconference. Any interested members of the public desiring to communicate with the Planning Commission as part of the Consent Calendar and Approval of the agenda may do so via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 9140075 0676#

- 13. PUBLIC HEARING**

Due to the current Shelter at Home Order and in conformance with the Governor's Executive Order N-29-30, the City of Vallejo has opted to hold Planning Commission meetings via teleconference. Any interested members of the public desiring to communicate with the Planning Commission as

part of the Public Hearing may do so via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 914 0075 0676#

PROJECT TITLE:	Renovation of an existing gas station and convenience store.
PROJECT LOCATION:	2601 Springs Road / APN: 0072-021-350
PROJECT APPLICANT:	Charles Nattland
PROJECT DESCRIPTION:	The project consists of a Conditional Use Permit, Site Development Permit, Minor Exception Permit and Sign Permit for the modification of a legal non-conforming gas station and convenience store. The project includes requests to allow 24-hour business hours, and “substantial remodeling” of a nonconforming use (gasoline sales).The site will be brought into American Disability Act (ADA) compliance. Additionally, the project includes a request to allow an increase of maximum signage by 25 percent. No alcohol sales are being proposed.
PROPOSED ENVIRONMENTAL DETERMINATION	The project is categorically exempt pursuant to Section 15301 of the California Environmental Quality Act (CEQA) Guidelines (Class 1: “Existing Facilities”). Therefore, no further environmental review is required.
STAFF RECOMMENDATION:	Staff recommends that the Planning Commission adopt Resolution to APPROVE Use Permit (UP) 20-0009, Site Development (SD) 20-0015, Minor Exception (ME) 20-0009 and Sign Permit (SP) 20-0040
PROJECT PLANNER:	Cesar Orozco, Associate Planner cesar.orozco@cityofvallejo.net

14. ACTION CALENDAR

NOTICE: Members of the public wishing to address the Planning Commission on Action Calendar Items may do so via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 914 0075 0676#. For additional instructions on how to speak during public comment, please visit, www.cityofvallejo.net/publiccomment.

15. OTHER

Due to the current Shelter at Home Order and in conformance with the Governor's Executive Order N-29-30, the City of Vallejo has opted to hold Planning Commission meetings via teleconference. Any interested members of the public desiring to communicate with the Planning Commission as

part of the Other item may do so via ZOOM (<https://zoomregular.cityofvallejo.net>), or via phone, by dialing (669) 900-6833, enter meeting id: 914 0075 0676#

A. Nimitz Group Development Agreement Annual Review

16. ADJOURNMENT

I, Narcissa Wilson, Planning Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Vallejo Planning Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m. Monday, June 14, 2021.



Dated June 14, 2021

Narcissa Wilson, Planning Executive Secretary

Minutes

**CITY OF VALLEJO PLANNING COMMISSION
REGULAR MEETING MINUTES
COUNCIL CHAMBERS
MAY 17, 2021**

1. CALL TO ORDER

The meeting was called to order by Chairman Matulac at 7:03 p.m.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair Matulac, Vice-Chair Diohep, Commissioners Palmares, Stamps, Bowman, Douglass, and Cohen-Thompson

Absent: None

Staff present: Interim Planning and Development Services Director Ratcliffe, City Attorney Nebb, Assistant City Attorney Zagaroli, Planning Manager Kavanaugh-Lynch, Public Works Director Davis

4. APPROVAL OF MINUTES

A. March 29, 2021

B. April 19, 2021

On a motion of Commissioner Cohen-Thompson, second by Commissioner Bowman, the Commission approved the minutes with the following vote:

VOTE:

AYES: Chair Matulac, Vice-Chair Diohep, Commissioners Palmares, Bowman, Stamps, Douglass and Cohen-Thompson

NOES: None

ABSENT: None

ABSTAIN: None

5. WRITTEN COMMUNICATION – None

6. REPORT OF THE SECRETARY

A. Upcoming Meetings:

May 7, 2021

No items tentatively scheduled.

June 21, 2021

2601 Springs Road – Two Conditional Use Permits, Site Development Permit, Minor Exception Permit, Sign Permit for AM/PM Gas Station Renovation (tentative)

Planning Manager Kavanaugh-Lynch provided a brief update on the following:

1. A status report on Crown Hill Materials Site Development Permit (1888 Broadway).
2. An Appeal of the Planning Commission approval of V-Town Farms (5184 Sonoma
3. Boulevard) is set before the City Council on May 25, 2021.

4. Draft New Zoning Code shall be heard at a Special Meeting of the City Council on June 7, 2021.
5. An Appeal of the Planning Commission approval of Oakville Apartments (Northwest Corner of Sonoma Boulevard and Magazine Street - APN: 0061-160-210) is set before the City Council on June 15, 2021.

7. **CITY ATTORNEY REPORT** – City Attorney Nebb introduced Assistant City Attorney Zagaroli to the Planning Commission.

8. **REPORT OF THE PRESIDING OFFICE, MEMBERS OF THE PLANNING COMMISSION AND LIAISON REPORTS**

Commissioner Diohep noted Urban Land Institute will be hosting a two-day conference regarding affordable housing.

9. **REPORT OF THE SUBCOMMITTEES** – None

10. **REPORT OF THE CITY COUNCIL LIAISON** – None

11. **COMMUNITY FORUM** – Josh Morrison

12. **CONSENT CALENDER AND APPROVAL OF THE AGENDA**

A. General Plan Conformance Review for Fiscal Year 2021-2022 Capital Improvement Program.

Action: Moved by Vice-Chair Diohep, seconded by Commissioner Douglas, to approve the Agenda, subject to pulling the item from the Consent Calendar related to the CIP and taking it as an action item at the end of the consent calendar.

VOTE:

AYES: Chair Matulac, Vice-Chair Diohep, Commissioners Palmares, Bowman, Douglass, Cohen-Thompson and Stamps

NOES: None

ABSENT: None

ABSTAIN: None

Public Works Director Davis presented the item.

Commissioners asked questions and staff responded.

Action: Moved by Vice-Chair Diohep, second by Commissioner Cohen-Thompson, to Adopt Resolution 21-10 finding that the proposed Fiscal Year (FY) 2021 - 2022 Capital Improvement Program conforms with the City of Vallejo's General Plan 2040.

VOTE:

AYES: Chair Matulac, Vice-Chair Diohep, Commissioners Palmares, Bowman, Douglass, Cohen-Thompson and Stamps

NOES: None

ABSENT: None

ABSTAIN: None

- 13. PUBLIC HEARING – None**
- 14. ACTION CALENDAR - None**
- 15. OTHER**

A. Density Bonus Regulations Overview

Planning Manager Kavanaugh-Lynch presented the item.

Commissioners asked questions and staff responded.

16. ADJOURNMENT

Chair Matulac adjourned the meeting at 8:21 p.m.

DIOSDADO "J.R." MATULAC, CHAIRPERSON

ATTEST:

CESAR OROZCO
ASSOCIATE PLANNER

Staff Reports



**STAFF REPORT
CITY OF VALLEJO
PLANNING COMMISSION**

I. PROJECT INFORMATION

Item No. 13-A

DATE OF MEETING:

June 21, 2021

PROJECT NUMBER:

Use Permit (UP) 20-0009
Site Development (SD) 20-0015
Minor Exception (ME) 20-0009
Sign Permit (SP) 20-0040

PREPARED BY:

Cesar Orozco, Associate Planner

PROJECT LOCATION:

2601 Springs Road / APN: 0072-021-350

**APPLICABLE ZONING
CODE SECTION(S):**

Conditional Use Permit (Vallejo Municipal Code (VMC) Chapter 16.82)
Site Development Permit (VMC Chapter 16.90)
Minor Exception (VMC Chapter 16.80)
Sign Permit (VMC Chapter 16.64)

PROJECT SUMMARY:

The project consists of a Conditional Use Permit, Site Development Permit, Minor Exception Permit and Sign Permit for the modification of a legal non-conforming gas station and convenience store. The project includes requests to allow 24-hour business hours, "substantial remodeling" of a nonconforming use (gasoline sales) and the site will be brought into American Disability Act (ADA) compliance. Additionally, the project includes the request to allow an increase of maximum signage by 25 percent. No alcohol sales are being proposed.

CEQA DETERMINATION:

The project is categorically exempt pursuant to Section 15301 of the California Environmental Quality Act (CEQA) Guidelines (Class 1: "Existing Facilities"). Therefore, no further environmental review is required.

RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. PC 21-XX to **APPROVE** UP#20-0009, SD#20-0015, ME#20-0009 and Sign Permit#SP20-0040.

PROJECT DATA SUMMARY

APPLICANT:	Charles Nattland 701 University Avenue, Suite 210 Sacramento, CA 95825
PROPERTY OWNER:	Victor Owens 2601 Springs Road Vallejo, CA 94591
GENERAL PLAN DESIGNATION:	Neighborhood Corridor (NC)
ZONING DISTRICT:	Pedestrian Shopping and Service District (CP)
EXISTING LAND USE:	Gasoline and Convenience Sales
SURROUNDING LAND USE:	North – Springs Road/Commercial/Residential South – Parking Lot/ Residential East – Commercial West – Rollingwood Drive/Commercial
LOT AREA:	15,432 square feet (0.35 Acres)
TOTAL FLOOR AREA:	1,640 square feet for convenience store
PARKING REQUIREMENTS/ PROVIDED:	Five spaces / Five spaces

II. PROJECT DESCRIPTION

A. Background

Charles Nattland, the applicant, submitted an application for a Conditional Use Permit, Site Development, Minor Exception and a Sign Permit for “substantial remodeling” of a nonconforming use and requested an expansion to 24-hour service for a gasoline and convenience sales use at 2601 Springs Road.

The timeline for the application is as follows:

Table 1 – Project Timeline	
Date	Action / Event
September 8, 2020	The applicant Charles Nattland, filed an application for a Conditional Use Permit, Site Development, Minor Exception and a Sign Permit.
September 8, 2020	The project plans were routed to various agencies for interdepartmental review and comment.
October 7, 2020	Staff sent a Permit Streamlining Act Letter to the applicant requesting additional information to be submitted.
December 8, 2020	The applicant resubmitted plans addressing staff’s comments. The project plans were routed to various agencies for interdepartmental review and comment.

January 7, 2021	Staff sent a Permit Streamlining Act Letter to the applicant requesting additional information to be submitted.
March 3, 2021	The applicant resubmitted plans addressing staff's comments. The project plans were routed to various agencies for interdepartmental review and comment.
April 8, 2021	The application was determined to be complete for processing and staff confirmed via email.
June 8, 2021	A public notice was sent to the Planning Commission (PC), all active neighborhood groups within 500 feet of the subject property, property owners within 200 feet of the subject property, and to the applicant.

Required Permits

The project requires the following approval under the Vallejo Municipal Code (VMC):

Table 2 – Required Permits			
Permit Type	Description	VMC Code Section	Review Authority
Conditional Use Permit	1. 24-hour business hours, and 2. “substantial remodeling” of a nonconforming use.	16.82.030	Planning Commission
Site Development Permit	Exterior upgrades and a new trash enclosure.	16.90.050	Planning and Development Services Director
Minor Exception	Increase of signage by 25 percent.	16.80.090	Planning and Development Services Director
Sign Permit	Installation of new signage.	16.64.120	Planning and Development Services Director

Per Section 16.90.080 of the Vallejo Municipal Code (VMC), when a development proposal subject to a approval of a Site Development Permit, additionally requires a Conditional Use Permit(s); the Site Development approval shall be conducted concurrently with the review required by the Conditional Use Permit(s). Additionally, Per Section 16.80.100 (C) of the VMC, whenever the Planning and Development Services Director finds that the decision on any application is beyond their authority, the application shall be forwarded to the Planning Commission for consideration. As the Conditional Use Permit is the purview of the Planning Commission; the Director has made the determination to forward the entire set of entitlements to the Planning Commission for action. In addition to this entitlement, this project will also require a building permit from the City of Vallejo.

Entitlement History

1. In 1963, the City of Vallejo Planning Division granted an Architectural Supervision permit for a service station.

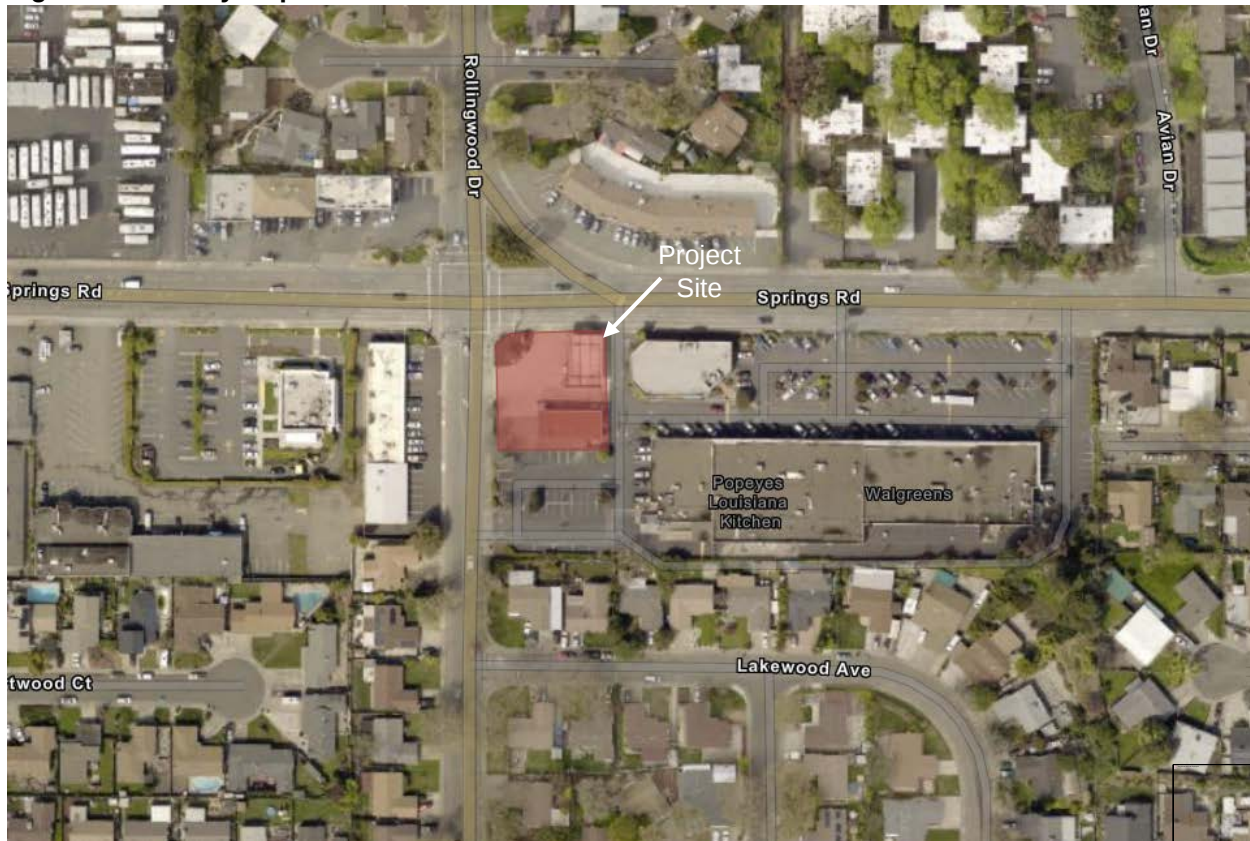
Location and Land Use Context

The project site is located on a corner lot at Springs Road and Rollingwood Drive. It is surrounded by existing commercial and residential uses:

Table 3 – Surrounding Uses	
Direction	Land Uses
North	Springs Road Commercial Single-family Residences
East	Commercial Shopping Center
South	Parking Lot Single-Family Residences
West	Rollingwood Drive Commercial

Interstate 80 is located approximately one mile to the west. The immediate vicinity of the project site is characterized by existing commercial and residential land uses (see Figure 1). The site's General Plan 2040 Land Use Designation is Neighborhood Corridor (NC) and has a Zoning Designation of Pedestrian Shopping and Service District (CP). The new proposed zoning district for the subject site is Neighborhood Mixed-Use (NMX).

Figure 1 – Vicinity Map

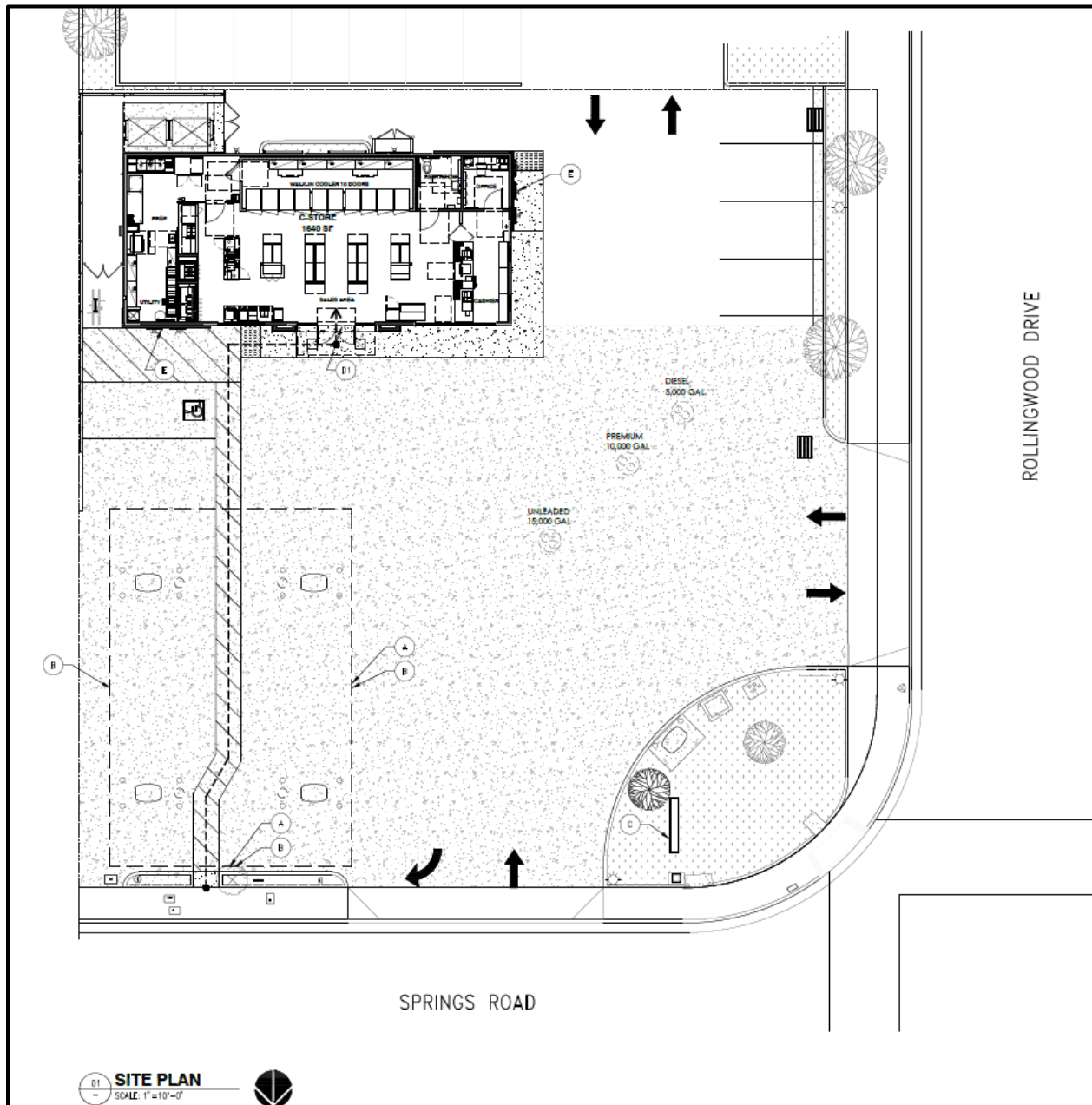


B. Project Description

The proposed project consists of two Conditional Use Permits, a Site Development, a Minor Exception and a Sign Permit to remodel an existing gas station and convenience store located at 2601 Springs Road. The existing 1,640 square-foot convenience store will be remodeled both internally and externally. The interior is proposed to have a new sales floor area, new equipment and a new American Disabilities Act (ADA) compliant restroom. The exterior is proposed to incorporate three new tower features causing the overall building height to increase from 12 feet and six inches to 20 feet and one inch. The north elevation/entrance to the store will have stacked stone at the base of the building that wraps around to the west elevation, and stucco with a smooth finish above and roof cap. The main entrance to the store will extend out surrounded with an aluminum composite material to enhance the main entrance with a steel awning. Additionally, the rear of the building will have two new trellises and a new trash enclosure. Tower features and metal trellises break up the flat walls to ensure four-sided architecture treatment is achieved on the highly visible structure. The trash enclosure will be constructed with a new steel roof and will have new retrofitted metal square-ribbed panels that will screen the area. The site will be brought into ADA compliance by adding a ADA path of travel from the public right-of-way to the store entrance and a new ADA parking stall. Additionally, the gas station will be rebranded and new signage will be installed. A total of five permanent wall posters will be installed along the north and west elevation. The applicant is requesting a minor exception to increase the allowable 125 square feet of signage by 25 percent; resulting in 156.25 square feet of allowable signage (see figure 2).

Additionally, the remodeled gas station and convenience store will continue to provide a total of 14 parking spaces; five regular spaces and nine at the gasoline pumps. The applicant is requesting to increase hours of operation to a 24-hour service. A total of four full-time and two part-time employment positions will be available at this location. Alcohol sales are not being proposed at the time of application.

Figure 2 – Proposed Site Plan



III. STAFF ANALYSIS

General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is Neighborhood Corridor (NC). The General Plan characterizes this designation as follows:

"The NC designation is intended to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-

oriented mixed-use environment. The maximum permitted FAR in the NC designation is 2.0, with minimum residential density of 18 dwelling units per acre up to 30 dwelling units per acre."

The project is consistent with the NC land use designation in that it facilitates site improvements of an existing gas station and convenience store that will serve the daily needs of local residents and the existing neighborhoods in the area. Additionally, the project is also consistent with applicable General Plan 2040 policies and actions. Key policies and actions relevant to the project are shown in **bold**, followed by staff's analysis in *italic*:

Table 4 - General Plan 2040 Policies and Actions	
Policies and Actions	Staff's Analysis
Policy NBE-2.2 Inviting Gateways. Establish gateways that proudly announce entry to Vallejo with high-quality, similarly themed design and/or landscaping.	<i>The project's updated architecture will help to revitalize its design with a variety of materials and forms to enhance the gateway into the City.</i>
Policy NBE-2.3 Inviting, Compatible Design. Promote attractive development that is compatible with surrounding uses.	<i>The project is compatible with the surrounding neighborhood through the use of stacked stone, an enhanced entrance and stucco along with a form that fits with the overall surrounding neighborhood.</i>
Policy NBE-2.8 Infill Development. Promote infill development targets vacant and underutilized sites for community-desired and enhancing uses that is compatible with surrounding uses.	<i>The project renovates an underutilized gas station and convenience store enhancing its appearance and making it more vibrant.</i>

Interim Zoning Determination

On August 29, 2017, the City Council adopted the Interim Zoning Policy (IZP) to facilitate development that is consistent with General Plan 2040 until the new zoning code is adopted. Under the IZP, each General Plan 2040 land use designation correlates to the City's existing zoning districts and specific plans for the purposes of applying land use and development standards to a proposal.

The IZP identifies the following zoning districts as consistent with the Neighborhood Corridor (NC) designation:

1. Pedestrian Shopping and Service District (CP).
2. Linear Commercial District (CL).
3. White Slough Specific Plan.

The project site is identified as Pedestrian Shopping and Service District (CP) on the City's existing zoning map and is consistent with the project.

The CP District is the “best fit” zoning designation for the use, and is also consistent with existing and proposed zoning designations.

The project is consistent with the applicable development standards outlined in Title 16 of the Vallejo Municipal Code, as proposed. This includes VMC Chapter(s) 16.24 Pedestrian Shopping and Service District, 16.64 Signs, 16.70 Screening and Landscaping Regulations, 16.75 Site Development Standards, 16.80 Exception Regulations, 16.82 Conditional Use Permit Approval Procedure and 16.90 Site Development Plan Approval Procedure.

Vallejo Municipal Code Compliance

The project site is zoned Pedestrian Shopping and Service District (CP). The CP zoning district is intended to create and establish regulations for a pedestrian shopping and service district, in which a wide range of retail goods and services are permitted. “*Convenience sales and personal services*” uses are permitted in the CP zoning district (VMC Section 16.24.020(B.7)). “*Gasoline Sales*” uses are permitted upon issuance of a Conditional Use Permit (VMC Section 16.24.040(B.3)).

The gas station is a nonconforming use because it was originally approved with an Architectural Supervision permit by the Planning Commission in 1963. Per Section 16.78.040(B) of the VMC, a nonconforming use “*shall not intensify in operation except with the issuance of a conditional use permit*” pursuant to Chapter 16.82. “*An increase in operational intensity shall mean but not be limited to significant change in hours of operation, significant change in the number of employees, substantial remodeling, or an increase in the number of seats, service area or floor area.*” The current proposal is considered “an increase in operational intensity” due to the proposed hours of operation and substantial exterior and interior remodeling.

The project is consistent with the applicable standards in the CP zoning district. Key development standards are analyzed as follows:

Table 5 - Pedestrian Shopping and Service District Development Standards (VMC Section 16.24.060)			
Code Section	Development Standard	Proposal	Compliant
16.24.060 (A): Max. Building Height	75 feet	20-feet, one-inch	Yes
16.24.060(B): Use Permitted under this chapter.	All uses permitted under this chapter shall be conducted entirely within an enclosed building; except when associated with a community education use;	All sales are conducted indoors.	Yes
16.24.060 (C): Off-Street Parking as prescribed in Chapter 16.62			
16.62.100 (E): Number of-street parking spaces	One space for each 250 square feet of gross first floor area. - Six Spaces required	14 (including nine at fueling pumps)	Yes

16.62.140 (B): Compact Parking Space Dimensions	Eight feet wide and 16 feet long	Eight feet wide and 16 feet long	Yes
- 16.62.140(F): Driveway serving uses	For two way - twenty feet wide or greater	- 40 feet wide - 35 feet wide	Yes
16.62.150 (M): Bicycle Parking	Bicycle parking shall be provided in a secure area for all nonresidential uses,	Bicycle rack provided.	Yes
16.24.060 (D): Signs as prescribed in Chapter 16.64			
16.64.040 (G): Regulations for Special Signs	All gasoline and service stations shall be permitted one price sign per street frontage. Each sign shall not exceed fifteen square feet and shall be placed in a landscaping area whenever possible.	20 square feet	No ¹
16.64.070 (2): Sign Area	The aggregate sign area for all permanent signs on a site housing a gasoline shall not exceed 125 feet.	148.9 square feet	No ²
16.64.070 (1): Freestanding Signs	One monument sign may be permitted not to exceed 10 feet in height and 25 square feet in area	10 feet with 25 square feet.	Yes
16.24.060 (E): Screening and Landscaping as prescribed in Chapter 16.70			
16.70.060 (A): Screening Height Standards	Required screening, except for plant material, shall not be more than six feet in height.	Six feet	Yes
16.70.070 (B.1): Boundary Landscaping	A minimum depth of two feet along all property lines abutting streets except for the area required for street openings.	Two Feet	Yes

1 Applicant is requesting a Minor Exception to increase signage by 25 percent.

2 If Minor Exception is granted, maximum allowable sign area is 156.25 square feet.

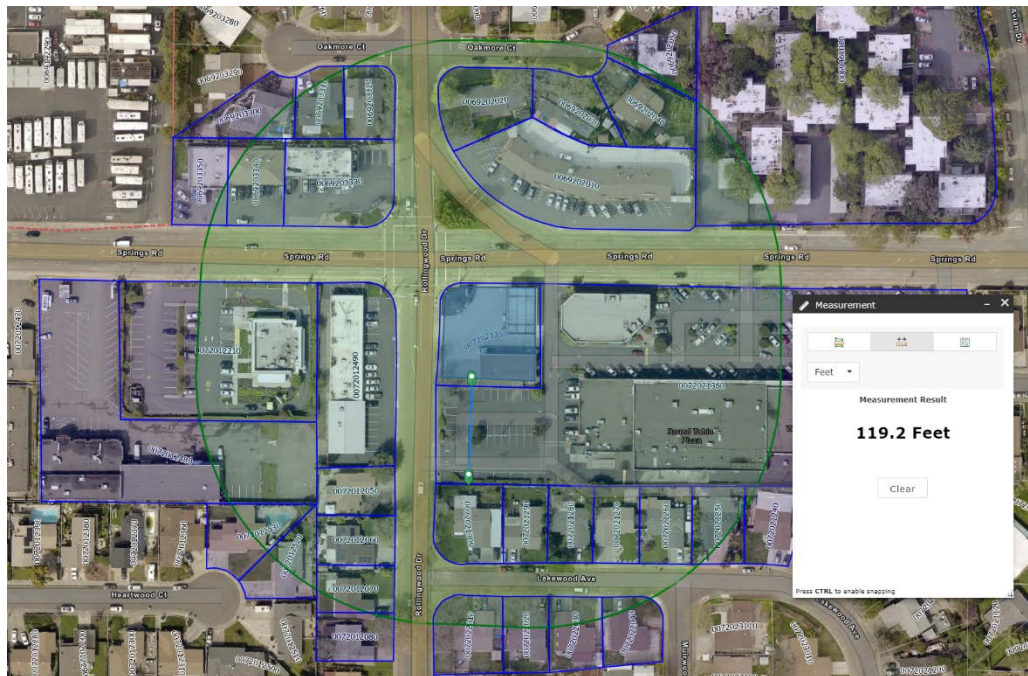
16.70.070 (B.2): Boundary Landscaping	All portions of the building site, exclusive of structures, parking areas, recreational uses, driveways and walkways, shall be landscaped.	All portions of existing site is landscaped.	Yes
16.70.070 (B.3): Boundary Landscaping	At least one street tree is required for each fifty feet of street frontage or fraction thereof. Required five street trees.	Five Street Trees	Yes

The intention of the CP development standards is to provide specific development criteria. The updates to the existing gas station and convenience store are compliant with all development standards, as conditioned in this report.

Hours of Operation

The proposed hours of operation for the gas station and the convenience store are 24 hours per day, seven days per week. Per Section 16.57.030 (A.1) of the VMC, *"All late night business operations, located within three hundred feet of a residential use or zoning district, and commenced on or after the effective date of the ordinance codified in this section, shall require a major conditional use permit, as prescribed in Chapter 16.82."* The subject property is located approximately 120 feet to the north of a residential use and Low Density Residential District (see Figure 3).

Figure 3 – Distance to Residential Use



There are two additional uses that operate with 24-hour service in the immediate area; McDonald's to the west and Seven-Eleven to the north-west. Staff believes the proposed 24-hour service will not have

a substantial adverse impact since the gas station and convenience store are not anticipated to generate substantial additional traffic on Springs Road and Rollingwood Drive. Rather, the existing gas station and convenience store will primarily attract customer within the existing neighborhoods in the area. Additionally, no outdoor activities other than the fueling of vehicles will occur on site.

Security Measures

The convenience store currently has security cameras and a security system in place. The operators have agreed to inspect fences and the outside of the building regularly to ensure there are no graffiti on the site and this has been added as a condition of approval. Signage in the windows will be limited to 15 percent of the window area to ensure transparency between the store, the fuel pumps and the street. The Vallejo Police Department have reviewed the proposed security measures and did not provide any comments.

Architecture and Landscaping

During the review process, the applicant has worked with staff to incorporate changes to the proposed façade improvements beyond the original submittal. Additional features such as, stacked stone at the base of the building that wraps around to the west elevation, the introduction of additional glazing along the west elevation, metal trellises along the south elevation, the introduction of a new enclosed trash enclosure and the replacement of the chain link fence to new retrofitted metal square-ribbed panels along the south and east elevation, were all added to enhance the proposed architecture.

While the existing landscaping areas meets the minimum area requirements in that it includes the minimum of two feet depth along all property lines abutting streets and provides appropriate amounts of gravel or wood as noted in Section 16.70.090 (A.4) of the VMC, the existing landscaping areas need to be replanted. Therefore, as a condition of approval staff proposes that a new landscaping and irrigation plan be submitted that will illustrate a robust and drought tolerant planting plan for all of the existing landscape areas. This plan will be including a mix of annual and perennial plantings to provide year round color and interest. This plan will be subject to review and approval by the Planning and Development Services Director before the issuance of a building permit.

Standards for evaluating non-residential projects

VMC Section 16.75.030 requires the application to demonstrate, and that the appropriate permit issuing authority shall certify, that the use meets the following pertinent standards and criteria (the standards are in **bold**, and staff's determination follows in *italics*):

- 1. Compatibility with Adjacent Projects. All structures, outdoor storage areas and structures, parking areas and driveways shall be oriented to maintain privacy of and be compatible with less-intensive adjacent uses. Landscape, berming and fencing shall be required if necessary to preserve privacy.**

The proposed project will continue to maintain privacy with adjacent properties. The existing chain link fence located along the south and east property line will be retrofitted metal square-ribbed panels to ensure the solid waste storage area is screened from adjacent residential uses.

- 2. Circulation and Access. The circulation pattern shall provide for pedestrian and vehicle connections with adjoining uses where such traffic is anticipated. Driveway intersections with arterial and major collector streets shall be kept to a minimum and shall be readily identifiable as access to the site. On large-scale projects, pedestrian traffic should be separated from vehicle traffic. Signalization and turning lanes may be required. Heavy truck traffic and loading areas should**

be kept separate from other traffic. Loading areas shall be screened from public view. Access easements may be required to provide future access to adjoining parcels.

The project will continue to have vehicular and pedestrian access from Springs Road and Rollingwood Drive. A new American Disability Act (ADA) compliant pedestrian access will be created off of Springs Road. The existing vehicle connection along the south property line will be maintained to connect the gas station and convenience store to the existing shopping center. The subject site will continue to maintain adequate vehicular access for both vehicles and pedestrians.

3. **Architectural Treatment.** Overall architectural harmony is encouraged, with variation and interest provided through differing roof lines, canopies, building lines, setbacks, surface textures, colors and materials. Four-sided architectural treatment is appropriate on highly visible structures. The signing program should be an integral part of the building design in terms of size, placement, color and style. Open storage and solid waste storage areas should be screened in a manner compatible with the primary architectural treatment.

The project's proposed massing and roof lines of the remodeled convenience store is in character with the surrounding commercial uses. The proposed variety and textures for exterior building materials of stacked stone, stucco and aluminum composite material for an enhanced entrance is similar to other uses in the immediate area. The added tower features and metal trellises break up the flat walls to ensure four-sided architecture treatment is achieved on the highly visible structure. The solid waste storage area is located along the south property line is covered with a new steel roof and retrofitted metal square-ribbed panels that will screen the solid waste storage area is screened from adjacent residential uses.

4. **Utilities.** Mechanical equipment, meter boxes and utility transformers shall be screened from view. Light standards shall be in scale and compatible with the adopted architectural style.

Proposed lighting at the rear and side of the building will be upgraded to LED light fixtures. As conditioned, the new proposed lighting will be architecturally compatible, shielded and dark sky compliant.

Exceptions to Measurable Standards

VMC Section 16.80.090 provides that the Planning and Development Services Director may approve minor exceptions to the measurable standards prescribed in this title upon the granting of an exception permit when, in the development services director's judgment, such exceptions (the standards are in bold, and staff's determination follows in italics):

1. **Would not exceed twenty-five percent of the prescribed measurable standards.**

The total allowable area for signage with a minor exception is 156.25 square feet of allowable signage. As mentioned above, the applicant is proposing a total of 148.9 square feet meeting the allowable square footage with a minor exception.

2. **Would not adversely affect any development or persons upon abutting property, with adversely affect to mean to impact in a substantial, negative manner the economic value, habitability, or enjoy ability of properties.**

The increase of signage that will be mounted on the gas station canopy and the building and monument sign will not adversely affect any development or persons upon abutting property because the signage is placed along the street frontages and away from the single-family residences to the south.

3. Would not result in a hazard to pedestrian and/or vehicular traffic; and

The increase of signage will not result in a hazard to pedestrian and/or vehicular traffic as the proposed monument sign will be located in the same location as the previous sign and the additional signage will be on the fuel canopy and on the building.

4. Would be reasonably necessary to the sound development of such property, or would result in better environmental quality of development of such property than without such exception.

The increase of signage would be reasonably necessary as the proposed permanent wall posters will help eliminate signage in the windows to ensure transparency between the building, the fuel pumps and the street.

Standards and Criteria for Certain Conditionally Permitted Uses

VMC Section 16.82.060 (O) requires the use permit application must demonstrate and the appropriate permit issuing authority shall certify that the use meets the following pertinent standards and criteria (the standards are in bold, and staff's determination follows in italics):

1. The use shall be located at the intersection of two major streets or a major and a collector street, or be part of a planned shopping center, freeway service complex, or other planned commercial concentration.

The existing gas station and convenience store will continue to be located at the intersection of Springs Road and Rollingwood Drive; two arterial streets³ (two major streets).

2. Where the use abuts or is across an alley from a residential zoning district, it shall comply with all the following standards:

a. A six-foot masonry wall shall be constructed along the property line which abuts the residential zoning district, or along the property line which is across the alley from said zoning district.

The subject property is located approximately 120 feet from a residential zoning district. In between the two uses, there is a parking lot that is used to serve the adjacent shopping center. A six-foot fence will be located at the rear of the subject property to screen the trash enclosure from the single-family residences to the south.

3. All site lighting and lighted signs shall be directed away or shielded from the residential zoning district.

Proposed lighting at the rear and side of the building will be upgraded to LED light fixtures. As conditioned, the new proposed lighting will be shielded and dark sky compliant to ensure light is shielded away from the residential zoning districts.

4. The use shall comply with the front and side yard requirements which apply to the affected residential zoning district. All required yards shall be appropriately landscaped.

³ General Plan 2040, Map MTC-3, page 6-13

The existing building will maintain its existing setback. As conditioned, the existing landscaping will be upgraded to drought tolerant landscaping to enhance the existing landscaping.

5. **The use shall have a site area of at least fifteen thousand square feet when the use is not in conjunction with a planned complex.**

The subject site currently measures 15,432 square feet; meeting the minimum area of at least 15,000 square feet.

6. **A self-service automobile service station or a partial self-service station, whether newly constructed or a conversion from an existing full-service automobile service station, shall be permitted if the following findings are made:**

1. **Minor emergency health and safety services, including public restrooms, will be available to the motoring public when the availability of such services are considered on a city-wide basis.**

The existing convenience store will provide minor emergency health and safety services such as public restrooms and merchandise for minor emergencies. Additionally, the site will host an air/water station for minor vehicle emergencies.

Site Development Permit Findings

VMC Section 16.90.050(F) requires the Planning and Development Services Director to make the following findings prior to granting a Major Conditional Use Permit (the findings are in **bold**, and staff's determination follows in *italics*):

1. **That the proposed development meets the intent and specific standards and criteria prescribed in pertinent sections of this title.**

The project involves a Site Development Permit request for a property currently zoned Pedestrian and Shopping Services (CP) District. The project is consistent with the CP District in terms of land use in that involves the façade improvements to an existing convenience store with Site Development Approval. The project is consistent with the applicable development standards outline in Title 16 of the Vallejo Municipal Code, as proposed and conditioned.

2. **That the proposed development is consistent with the Vallejo general plan.**

The project site is designated as Neighborhood Corridor (NC) on the General Plan 2040 Land Use Map. The General Plan 2040 anticipates the district to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The project is consistent with the NC General Plan land use designation in the existing uses will cater to local residents in the established neighborhood. The project is also consistent with applicable General Plan 2040 policies.

3. **That the proposed development shall serve to achieve groupings of structures which will be well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in**

the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered.

The convenience store that compromises the project site is well-related to others in the immediate buildings by size and scale. The use of architecture features, materials and colors that provide visual reliefs break up the building massing along Springs Road and Rollingwood Drive. Building materials including stacked stone, stucco, and storefront windows, tower elements, steel awnings with tiebacks, recessed windows, and light fixtures create a well-designed building. The size and sale of the building is appropriate for the location in that proposed building is in harmony with adjacent buildings and structures. As conditioned, new landscape improvements along Springs Road and Rollingwood Drive, will enhance the aesthetics of the development and complement hardscapes.

- 4. That the proposed development shall be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.**

The project will result in the redevelopment of an older and highly visible gas station at the intersection of Springs Road and Rollingwood Drive. The proposed improvements to the property site will help protect both private and public investments in the area through building architecture and site improvements that will beautify the immediate vicinity. The size and scale of the project buildings are harmonious with the surrounding area as they are of a comparable size to those adjacent to Springs Road and Rollingwood Drive.

- 5. That the design of the development conforms in all significant respects with the proposals of any applicable district plan or development and control map which has been adopted by the city council.**

The project site is not located within the bounds of any district plan or on a development plan and control map adopted by the City of Vallejo.

Conditional Use Permit Findings

VMC Section 16.82.050 provides that the Planning Commission or the Planning and Development Services Director, as is appropriate, shall grant a conditional use permit only if from the facts presented with the application or at the public hearing, or as determined by investigation, the following conditions are found (the findings are in **bold**, and staff's determination follows in *italics*):

- 1. That the location, size, design and operating characteristics of the proposed conditional use will be compatible with adjacent uses, buildings or structures, with consideration given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities, to the harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity and physical character of surrounding streets; and to any other relevant impact of the proposed use.**

The proposed remodeling of the gas station and the convenience store will reinvigorate an underutilized site, thereby improving the visual character of the neighborhood. The convenience store is a relatively low-impact use that has been in operation on the site since 1963; continued operation of the use is therefore anticipated be compatible with the neighborhood. The 24-hour service for the gas station and the convenience store are not anticipated to generate substantial additional traffic on Springs Road and Rollingwood Drive; rather, these uses will primarily attract customer from the established neighborhood. Therefore, no substantial increase in traffic noise is anticipated from the 24-hour service.

Additionally, the project's proposed massing and roof lines of the remodeled convenience store is in character with the surrounding commercial uses. The proposed variety and textures for exterior building materials of stacked stone, stucco and aluminum composite material for an enhanced entrance is similar to other uses in the immediate area. The added tower features and metal trellises break up the flat walls to ensure four-sided architecture treatment is achieved on the highly visible structure. The solid waste storage area is located along the south property line and will be covered with a new steel roof and retrofitted metal square-ribbed panels that will screen the solid waste storage area from adjacent residential uses.

2. That the impacts, as described in subsection A of this section, and the location of the proposed conditional use are consistent with the city General Plan.

The project site is designated as Neighborhood Corridor (NC) on the General Plan 2040 land use map. The NC designation in the General Plan promotes pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The project is consistent with the NC General Plan land use designation in the existing uses will cater to local residents in the established neighborhood.

IV. ENVIRONMENTAL REVIEW

Following a review of the project, staff has determined that it is exempt from the requirements of the California Environmental Quality Act (CEQA). Under CEQA, the State has identified classes of projects which have been determined to not have a significant impact on the environment and are therefore exempt from the requirements of CEQA. The project is categorically exempt pursuant to Section 15301 Class 1: "Existing Facilities" of the CEQA Guidelines.

Furthermore, the City has considered whether or not any of the exceptions found under Section 15300.2 of the CEQA Guidelines exist, which would preclude the project from being categorically exempt from CEQA. The project is consistent with Section 15300.2 as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on an open a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

V. NOTICING AND PUBLIC COMMENTS

On June 8, 2021, pursuant to VMC Section 16.82.030 (C), notice of this hearing was published in the Times Herald, all active neighborhood groups and property owners within 500 feet of the subject property, members of the Planning Commission and to the applicant. Staff has not received any comments or questions from the public on the application as of writing this staff report.

VI. CONCLUSION / STAFF RECOMMENDATION

Based on the analysis contained in this staff report and the project's consistency with General Plan 2040 and the Vallejo Municipal Code, staff recommends that the Planning Commission **APPROVE** Use Permit (UP) #20-0009, Site Development (SD) #20-0015, Minor Exception (ME) #20-0009 and Sign Permit (SP) #20-0040 based on the findings and provided in the attached Resolution and subject to the Conditions of Approval provided as Exhibit A to the Resolution.

VII. EXPIRATION

Pursuant to VMC Section 16.82.090 (A), approval of this Conditional Use Permit shall expire automatically 24 months after its approval unless authorized construction has commenced prior to the expiration date (June 21, 2023, if approved at this meeting and not appealed).

Pursuant to VMC Section 16.90.050(I), approval of this Site Development Permit shall expire automatically 18 months after its approval unless authorized construction has commenced prior to the expiration date (December 21, 2022, if approved at this meeting and not appealed).

Pursuant to VMC Section 16.80.100(D), approval of this Minor Exception Permit, unless otherwise specified by the Planning Manager, shall expire automatically six months after its approval unless authorized construction has commenced prior to the expiration date (December 21, 2021, if approved at this meeting and not appealed). In this case, staff requests that if the Planning commission approves this project, that they extend the expiration date to December 21, 2022 to align this date with that of the Site Development Permit.

VIII. APPEAL PROCEDURE

Pursuant to VMC Chapter 16.102, the applicant or any party adversely affected by the decision of the Planning Commission may, within ten days after the rendering of the decision of the Planning Commission appeal in writing to the City Council by filing a written appeal with a fee of \$1,277 dollars with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the project boundary. The Council may affirm, reverse, or modify any decision of the Planning Commission that is appealed.

IX. ATTACHMENTS

3. Resolution No. PC 21-xx
 - a. Exhibit A – Conditions of Approval
4. Project Plans
5. Noticing Map

CITY OF VALLEJO PLANNING COMMISSION

RESOLUTION NO. PC 21-xx

A RESOLUTION APPROVING CONDITIONAL USE PERMIT (UP) 20-0009, SITE DEVELOPMENT PERMIT (SD) 20-0015, MINOR EXCEPTION PERMIT (ME) 20-0009, AND SIGN PERMIT (SP) 20-0040 FOR THE EXTERIOR AND INTERIOR REMODEL OF A CONVENIENCE STORE AND GAS STATION AT 2601 SPRINGS ROAD

I. GENERAL FINDINGS

WHEREAS, on August 29, 2017, the City Council adopted General Plan 2040; and

WHEREAS, the property has a General Plan 2040 land use designation of Neighborhood Corridor and is located in the Pedestrian Shopping and Service Zoning District; and

WHEREAS, on September 8, 2020, Charles Nattland submitted an application seeking a Use Permit, Site Development, Minor Exception and a Sign Permit for an interior and exterior remodel of a legal non-conforming convenience store and gas station ("Project") located at 2601 Springs Road; and

WHEREAS, on April 8, 2021, the application was determined to be complete for processing; and

WHEREAS, on June 21, 2021, the City of Vallejo Planning Commission, after giving all public notices required by State law and the City of Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Planning Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the Project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, based on evidence received in the staff report and at the public hearing, the Planning Commission makes the following factual findings:

II. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

Following a review of the project, staff has determined that it is exempt from the requirements of the California Environmental Quality Act (CEQA). Under CEQA, the State has identified classes of projects which have been determined to not have a significant impact on the environment and are therefore exempt from the requirements of CEQA. The project is categorically exempt pursuant to Section 15301 Class 1: "Existing Facilities" of the CEQA Guidelines.

Furthermore, the City has considered whether or not any of the exceptions found under Section 15300.2 of the CEQA Guidelines exist, which would preclude the project from being categorically exempt from CEQA. The project is consistent with Section 15300.2 as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no

cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on an open a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

III. FINDINGS RELEVANT TO THE APPROVAL OF THE SITE DEVELOPMENT PERMIT (VMC Section 16.90.050)

- 1. That the proposed development meets the intent and specific standards and criteria prescribed in pertinent sections of this title;**

The project involves a Site Development Permit request for a property currently zoned Pedestrian and Shopping Services (CP) District. The project is consistent with the CP District in that it involves façade improvements to an existing convenience store with Site Development Approval. The project is consistent with the applicable development standards outlined in Section 16.24.060 CP Site Development Standards, Chapter 16.62 Off-Street Parking Standards, Chapter 16.64 Signs and Chapter 16.70 Screening and Landscaping. of the Vallejo Municipal Code, as proposed and conditioned.

- 2. That the proposed development is consistent with the Vallejo general plan;**

The project site is designated as Neighborhood Corridor (NC) on the General Plan 2040 Land Use Map. The General Plan 2040 anticipates the district to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The project is consistent with the NC General Plan land use designation in the existing uses will cater to local residents in the established neighborhood. The project is also consistent with applicable General Plan 2040 Policy NBE-2.2 Inviting Gateways: Establish gateways that proudly announce entry to Vallejo with high-quality, similarly themed design and/or landscaping; Policy NBE-2.3 Inviting, Compatible Design: Promote attractive development that is compatible with surrounding uses; and Policy NBE-2.8 Infill Development: Promote infill development targets vacant and underutilized sites for community-desired and enhancing uses that is compatible with surrounding uses.

- 3. That the proposed development shall serve to achieve groupings of structures which will be well related one to another and which, taken together, will result in a well-composed urban design, with consideration given to site, height, arrangement, texture, material, color and appurtenances, the relation of these factors to other structures in the immediate area, and the relation of the development to the total setting as seen from key points in the surrounding area; only elements of design which have some significant relationship to outside appearance shall be considered;**

The use of architectural features, materials and colors provide visual relief which breaks up the building massing along Springs Road and Rollingwood Drive. Building materials including stacked stone, stucco, and storefront windows, tower elements, steel awnings with tiebacks, recessed windows, and light fixtures create a well-designed building. The size and sale of the building is appropriate for the location in that proposed building is in harmony with adjacent buildings and structures. As

conditioned, new landscape improvements along Springs Road and Rollingwood Drive will enhance the aesthetics of the development and act to soften hardscapes.

- 4. That the proposed development shall be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area;**

The project will result in the redevelopment of an underutilized property that is highly visible from Springs Road and Rollingwood Drive. The proposed improvements of the subject site can benefit both private and public investments in the area through the building architecture and site improvements that will help beautify the immediate vicinity. The size and scale of the project buildings are harmonious with the surrounding context there are existing freestanding building of a comparable size adjacent to Springs Road and Rollingwood Drive.

- 5. That the design of the development conforms in all significant respects with the proposals of any applicable district plan or development and control map which has been adopted by the city council;**

The project site is not located within the boundaries of any district plan or on a development plan and control map adopted by the City of Vallejo.

IV. FINDINGS RELEVANT TO THE APPROVAL OF THE CONDITIONAL USE PERMITS (VMC Section 16.82.050)

- 1. That the location, size, design and operating characteristics of the proposed conditional use will be compatible with adjacent uses, building or structures, with consideration given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities, to the harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity and physical character of surrounding streets; and to any other relevant impact of the proposed use.**

The proposed remodeling of the gas station and the convenience store will reinvigorate an underutilized site, thereby improving the visual character of the neighborhood. The convenience store is a relatively low-impact use that has been in operation on the site since 1963 and therefore continued operation is anticipated to be compatible with the neighborhood. The 24-hour service for the gas station and the convenience store are not anticipated to generate substantial additional traffic on Springs Road and Rollingwood Drive; rather, these uses will primarily attract customers from the established neighborhood. Therefore, no substantial increase in traffic noise is anticipated from the 24-hour service.

Additionally, the project's proposed massing and roof lines of the remodeled convenience store is in character with the surrounding commercial uses. The proposed variety and textures for exterior building materials including stacked stone, stucco and aluminum composite material create an enhanced entrance. The added tower features and metal trellises break up the flat walls to ensure four-sided architecture treatment is achieved on the highly visible structure. The solid waste storage area is located along the south property line and will be covered with a new steel roof and retrofitted metal square-ribbed panels to screen the area from adjacent residential uses.

2. **That the impacts, as described in subsection A of this section, and the location of the proposed conditional use are consistent with the city General Plan.**

The project site is designated as Neighborhood Corridor (NC) on the General Plan 2040 land use map. The NC designation in the General Plan intends to promote pedestrian-oriented neighborhood "main streets" with an emphasis on shops and services catering to the daily needs of local residents, particularly at mixed-use Urban Villages. Permitted uses in the NC designation include multi-family developments, retail, personal, and automotive services, professional offices, community facilities, and other uses conducted primarily inside buildings and compatible with an eclectic neighborhood-oriented mixed-use environment. The project is consistent with the NC General Plan land use designation in the existing uses will cater to local residents in the established neighborhood.

VI. RESOLUTION APPROVING THE PROJECT AT 2601 SPRINGS ROAD

NOW, THEREFORE, LET IT BE RESOLVED that the Planning Commission hereby **APPROVES** Conditional Use Permit (UP) #20-0009, Site Development (SD) #20-0015, Minor Exception (ME) #20-0009 and Sign Permit (SP) #20-0040 for a legal non-conforming gas station and convenience store on the above findings and subject to the Conditions of Approval attached to this Resolution.

VI. VOTE

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Vallejo, State of California, on the 21st day of June, 2021 by the following vote to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DIOSDADO MATULAC, CHAIRPERSON
City of Vallejo Planning Commission

Attest:

Christina Ratcliffe, SECRETARY
City of Vallejo Planning Commission

CONDITIONS OF APPROVAL

**Conditional Use Permit (UP) 20-0009
Site Development (SD) 20-0015
Minor Exception (ME) 20-0009
Sign Permit (SP) 20-0040
2601 SPRINGS ROAD, VALLEJO CA, 94591
APN # 0072-021-350**

PERMIT DESCRIPTION: The project consists of a Conditional Use Permit, a Site Development Permit, a Minor Exception Permit, and Sign Permit for the modification of a legal non-conforming gas station and convenience store. The project includes requests to allow 24-hour business hours and “substantial remodeling” of a nonconforming use (gasoline sales). Additionally, the project includes the request to allow an increase of maximum signage by 25 percent. No alcohol sales are being proposed.

A. PLANNING DIVISION

Cesar Orozco | cesar.orozco@cityofvallejo.net | (707) 648-5436

Pre-Building Permit

1. Prior to building permit issuance, submit a numbered list to the Planning Division with a written response on how each condition of approval (COA) contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate development of the project. The approved COA will be included in the permit set after the cover sheet with each condition listed and how the applicant will address each condition in writing.
2. Prior to building permit issuance, obtain an Administrative Permit from the Planning Division for any temporary office or construction trailer.
3. Prior to building permit issuance, the **Planning Division** shall confirm that the building permit drawings and subsequent construction substantially conform with the approved Planning application drawings.
4. Prior to building permit issuance, submit a landscaping and irrigation plan prepared by a registered landscape architect to the Planning Division for review and approval that includes the following information and details required by Section 16.70 of the VMC:
 - a. All required landscaping materials are defined as follows:
 - i. Shrubs - of one-gallon size or larger, with at least 50 percent of the proposed shrubs shall be a minimum of 5-gallon;
 - ii. A minimum of five street trees - of fifteen-gallon size or larger, double-staked;
 - iii. Ground cover; and decorative nonliving landscaping materials such as sand, stone, gravel, wood or water may be used to satisfy a maximum of thirty percent of required landscaping area when approved by the planning division; except as provided in Section 16.70.070(F).
 - iv. Specification of low-growth-type species adjacent to doors, windows, and walkways;
 - v. Low-water-using and drought-resistant plant materials;
 - vi. A mix of plantings that includes annuals and perennials to ensure a vibrant plant mix.
 - vii. Screening of the required backflow preventers;
 - viii. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches higher than the adjacent vehicular area; and

- ix. The location, species and size of any mature trees six inches in trunk diameter or greater. Every effort shall be made to incorporate on-site trees and shrubbery into the required landscaping. Significant trees to be removed shall be replaced on a one-for-one basis with large size boxed trees.
- b. An Irrigation plan indicating all components of the irrigation system including sprinklers and other outlets, valves, backflow prevention devices, controllers, piping and water usage.

Pre-Operation

1. Prior to operation/final building inspection, the landscape architect shall provide a complete Certificate of Completion and Certificate of Installation According to the Landscape Documentation in accordance with VMC Chapter 16.71: Water Efficient Landscape Requirements. The documentation shall include the following:
 - a. Irrigation Scheduling (VMC Section 16.71.050)
 - b. Schedule of Landscape and Irrigation Maintenance (VMC Section 16.71.051)
 - c. Landscape Irrigation Audit Report (VMC Section 16.71.052)
 - d. Soil Management Report (VMC Section 16.71.045)
2. Prior to occupancy/final building inspection, the applicant shall install landscaping and irrigation per approved plans. The landscape architect shall verify in writing that the landscaping and irrigation have been installed in accordance with the approved landscape plans with respect to size, health, number and species of plants, and the overall design concept.
3. Prior to operation/final building inspection, new American Disabilities Act (ADA) improvements shall be installed including a new ADA compliant access path from the public right-of-way to the convenience store, as well as an ADA compliant restroom and a new ADA compliant parking stall.

General Requirements

1. Any changes to the proposed materials shall require approval by the Planning Commission.
2. Any changes to the proposed colors shall require approval by the Planning and Development Services Director.
3. If staff receives a total of three verified complaints regarding the 24-hour operation in any one year, the project shall be brought back before the Planning Commission to review the hours of operation.
4. There shall be no outdoor storage or display of any kind except as allowed per Chapters 16.70 and 16.77 of the Vallejo Municipal Code.
5. The maximum height of any monument sign is ten feet.
6. Permanent window signs shall be permitted provided the total sign area square footage does not exceed 15 percent of the total ground floor window area. These signs shall be subject to a sign permit and shall be included as part of the total sign area. Temporary window signs shall be permitted provided the total sign area does not exceed 15 percent of the ground floor window. VMC 16.64.040(B)
7. Pennants, flags and other attention-getting devices may be permitted for no longer than sixty days immediately following the initial opening of a business. VMC 16.64.040(A)(1).
8. All mechanical equipment and utility meters shall be screened in a manner approved by the Planning Division. Electrical transformers shall be screened or placed underground.

9. All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the adjacent surface.
10. All roof-mounted mechanical devices and their components such as air conditioners, heating equipment, exhaust fans, vents or ducts, or similar equipment shall be screened from view in a manner approved by the Planning Division. All wall-mounted air conditioners shall be flush mounted.
11. Within five working days after project approval, the applicant/operator shall pay the Notice of Exemption filing fee (the latest fees in effect at the time of payment) for County Clerk processing, made payable to Solano County and submitted to the City of Vallejo Planning Division. If an in-person filing is required, such filing shall be completed by the applicant, unless directed otherwise by the Planning Division. NOTE: If the fees are not paid and the Notice of Exemption is not filed within five working days after approval of the project, it will extend time frames for California Environmental Quality Act (CEQA) legal challenges.
12. Required landscaping shall be maintained in a neat, clean, and healthy condition. This shall include pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the regular watering of all plantings.
13. Obtain an inspection from the Planning Division prior to occupancy/final building inspection. All inspections require a minimum 24-hour notice. Occupancy permits shall not be granted until all construction and landscaping is completed and finalized in accordance with the approved plans and required conditions of approval or a bond has been posted to cover all costs of the unfinished work as agreed to by the Planning and Development Services Director.
14. Construction-related activities shall be limited to between the hours of 7 a.m. and 6 p.m., Monday through Saturday. No construction is to occur on Sunday or federal holidays. Construction equipment noise levels shall not exceed the City's maximum allowable noise levels.
15. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.
16. Lighting. The following lighting requirements shall apply:
 - a. Exterior perimeter lighting shall be in place prior to operation.
 - b. Exterior lighting shall be code compliant LED fixtures or high efficiency luminaries, and shall have an illumination intensity of between one and four foot candles.
 - c. Lights shall be directed and shielded so as not to illuminate adjoining properties.
 - d. Lights shall include housing to protect against breakage.
 - e. Broken or burnt out lights shall be replaced within 48 hours.
 - f. Transitional lighting shall be incorporated in exterior areas providing access to and from buildings or uses within the site.

- g. Trees and shrubs shall not interfere with the distribution of lighting as required by this Permit.
17. Noise. The following noise requirements shall apply:
- a. The use of generators is prohibited, except as short-term temporary emergency back-up systems.
 - b. Other Noise Performance Standards as prescribed in Title 16 of the VMC.
18. Property Maintenance. The following property maintenance requirements shall apply:
- a. Property shall be maintained free of debris, graffiti, litter and trash.
19. Exterior Modification. All exterior modifications to the building façade or site, including landscaping, parking lot improvements, fencing, lighting, and signage, shall be subject to City of Vallejo review and approval. Razor or barbed wire and similar fencing is not permitted.
20. Any proposed modification, alteration, and/or expansion of the use authorized by these Conditional Use Permits, Site Development Permit, Minor Exception and Sign Permit shall require the prior review and approval of the City of Vallejo Planning and Development Services Director, unless otherwise specified. Such changes may require a new or modified Site Development and additional environmental review, if warranted.

Approval Time/Revocation

21. Pursuant to VMC section 16.82.090(A), approval of this Conditional Use Permit shall expire automatically 24 months after its approval unless authorized construction has commenced prior to the expiration date (June 21, 2023, if approved at this meeting and not appealed).
22. Pursuant to VMC Section 16.90.050(I), approval of this Site Development Permit shall expire automatically 18 months after its approval unless authorized construction has commenced prior to the expiration date (December 21, 2022, if approved at this meeting and not appealed).
23. Pursuant to VMC Section 16.80.100(D), approval of this Minor Exception Permit shall expire automatically six months after its approval unless authorized construction has commenced prior to the expiration date (December 21, 2022, if approved at this meeting and not appealed).
24. A request for a time extension for the Site Development from the expiration date of December 21, 2022 (if approved during the hearing) can be considered if an application with required fee is filed at least 45 days before the original expiration date, otherwise a new application is required. A public hearing will be required for all extension applications, except those involving only Design Review. Extensions are not automatically approved. Changes in conditions, City policies, surrounding neighborhood, and other factors permitted to be considered under the law, may require, or permit denial.
25. If the Planning Division, either independently or as a result of complaints from the public, becomes aware that the use is being conducted in a manner which violates the conditions of this Permit or other applicable City regulations, and Planning Division staff is unable to obtain compliance or abatement, staff will refer the Site Development to Code Enforcement and/or the Planning Commission for possible suspension or revocation.

B. BUILDING DIVISION

Steve Arnold | steve.arnold@cityofvallejo.net | (707) 648-4387

1. Permits required per California Code of Regulations, Title 24 and applicable City Ordinance in effect at the time of completed Building Permit application date and required fees paid at time of application.

2. 2019 California Code of Regulations apply if permit application(s) received before end of 2022.

C. PUBLIC WORKS

Philip Ho | Philip.ho@cityofvallejo.net | (707) 554-5902

PUBLIC WORKS – SPECIFIC CONDITIONS OF APPROVAL

1. **DRAINAGE.** Surface runoff from the site shall be intercepted on site, treated then piped before connecting into existing public storm drain system. Sheet flow over sidewalks and driveways is not permitted.
2. **DRIVEWAY.** Retrofit existing driveways on Springs Road and on Rollingwood Drive if they do not meet current ADA standard.
3. **CURB RAMPS.** Retrofit existing curb ramp at corner of Springs Road and Rollingwood Drive to current ADA standards.
4. **SIDEWALK.** Replace any sections of sidewalk on street frontage where sidewalk presents a trip hazard. Per ADA, a trip hazard is defined as a lift (vertical displacement) or a gap (horizontal displacement) of ¼ inch or greater. Per VMC 10.04.010, the owner or occupant of the property is responsible for repairs of sidewalk.

PUBLIC WORKS – STANDARD CONDITIONS OF APPROVAL

The following code requirement conditions may apply prior to detailed construction plans submitted to the city for review:

- PW1. **HOW PROJECT CONDITIONS SATISFIED.** Prior to building permit issuance, submit a numbered list to the **Planning Division** stating how each condition of project approval contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate development of the project.
- PW2. **PUBLIC IMPROVEMENT STANDARDS.** All public improvements shall be designed to City of Vallejo standards and to accepted engineering design standards. The **City Engineer** has all such standards on file and the Engineer's decision shall be final regarding the specific standards that shall apply. (COV, Regulations & Standard Specifications, 2011).
- PW3. **IMPROVEMENT PLANS.** Prior to building permit submittals, submit three sets of plans to the **Department of Public Works** for plan check review and approval. (Improvement or civil plans are to be prepared by a licensed civil engineer.) Plans are to include, but may not be limited to, grading and erosion control plans, improvement plans, joint trench utility, street light plans, and landscaping, irrigation and fencing plans and all supporting documentation, calculations and pertinent reports. (COV, Regulations & Standard Specifications, 2011, Section 1.1.7–A).
- PW4. **LINE OF SIGHT CRITERION.** In design of grading and landscaping, line of sight distance shall be provided based on Caltrans standards. Installation of fencing, signage, above ground utility boxes, etc. shall not block the line of sight of traffic and must be set back as necessary. (VMC, Section 10.14).
- PW5. **DUST AND EROSION CONTROL.** All dust and erosion control shall be in conformance with City standards and ordinances. (VMC, Sections 12.40.050 & 12.40.070).
- PW6. **DRIVEWAY STANDARDS.** Entrances to any private project must be standard driveway approaches unless deviation is permitted by the **City Engineer**. (VMC, Section 10.04.260).

- PW7. **STREET EXCAVATION PERMIT.** Obtain a street excavation permit from the **Department of Public Works** prior to performing any work within City streets or rights-of-way, or prior to any cutting and restoration work in existing public streets for utility trenches. All work shall conform to City standards. (VMC, Section 10.08).
- PW8. **ENCROACHMENT PERMIT.** Prior to building permit issuance, obtain an encroachment permit from the **Department of Public Works** for all work proposed within the public right-of-way. (VMC, Section 10.16).
- PW9. **TRAFFIC CONTROL PLAN.** Prior to start of construction; submit a traffic control plan to the **Department of Public Works** for review and approval. (CA MUTCD).
- PW10. **COORDINATION OF CONSTRUCTION INSPECTION.** Construction inspection shall be coordinated with the **Department of Public Works** and no construction shall deviate from the approved plans. (COV, Regulation & Standard Specification Sections 1.1.4 & 1.1.5).
- PW11. **PLAN CHANGES.** The project design engineer shall be responsible for the project plans. If plan deviations are necessary, the project engineer must first prepare a revised plan or details of the proposed change for review by the **Department of Public Works** and, when applicable, by **Vallejo Flood and Wastewater District**. Changes shall be made in the field only after approval by the City. At the completion of the project, the design engineer must prepare and sign the "as built" plans. (COV, Regulation & Standard Specification Section 1.1.9).
- PW12. **BONDS AND FEES.** Prior to approval of construction plans, provide bonds and pay applicable fees. Bonding shall be provided to the City in the form of a "Performance Surety" and a separate "Labor and Materials Surety" in amounts stipulated by City ordinance. (VMC, Section 15.12.090)
- PW13. **INSTALL IMPROVEMENTS.** Prior to occupancy/final building inspection, install the improvements required by the **Department of Public Works** including but not limited to streets and utilities.
- PW14. **SIDEWALK REPAIR.** Prior to occupancy/final building inspection, remove and replace any broken curb, gutter, sidewalk or driveway approach as directed in the field by the **City Engineer**. (VMC, Section 10.04).
- PW15. **SIGNAL INTERCONNECT CABLES.** There may be fiber optic and /or copper signal interconnect cables located at the edge of the roadway or under the sidewalk. The plans should address either the relocation of these cables or a note should be made of the cable location. A warning should be included on the plans stating that if the cable damaged, the entire length of the cable between the two nearest hubs will be replaced by the contractor unless otherwise authorized by the City Engineer.
- PW16. **ADA COMPLIANCE WITHIN CITY ROW.** In order to ensure ADA compliance within any and all City ROW, ADA compliance will be addressed in accordance to the state government and federal codes: HEALTH AND SAFETY CODE DIVISION 13 PART 5.5. ACCESS TO PUBLIC ACCOMMODATIONS BY PHYSICALLY HANDICAPPED PERSONS [19955 - 19959.5] (Part 5.5 added by Stats. 1969, Ch. 1560.)
http://leginfo.legislature.ca.gov/faces/codes_displayText.xhtml?lawCode=HSC&division=13.&title=&part=5.5.&chapter=&article=
GOVERNMENT CODE DIVISION 5 CHAPTER 7 ACCESS TO PUBLIC BUILDINGS BY PHYSICALLY HANDICAPPED PERSONS [4450 – 4461] (Chapter 7 added by Stats. 1968, Ch. 261.)
http://leginfo.legislature.ca.gov/faces/codes_displayText.xhtml?lawCode=GOV&division=5.&title=1.&part=&chapter=7.&article=
FEDERAL
THE AMERICAN WITH DISABILITIES ACT OF 1990

D. Fire Prevention

Vincent Sproete | vincent.sproete@cityofvallejo.net | (707) 648 – 4566

1. Rooms or areas containing controls for HVAC systems, electrical panels, automatic fire extinguishing systems, fire alarm equipment or other detection, suppression or control elements shall be identified with appropriate signs. Due prior to final inspection.
2. A flush-mounted (recessed) Knox Box (key box) mounted no higher than 5 feet above the finished floor containing appropriate keys for emergency Fire Department access shall be provided. The minimum size box is the 3200 series with a hinged door and recessed mounting kit. The tamper kit is not required, box color may be any of the Knox options. It takes approximately 2 weeks for delivery. For more information call the Fire Prevention Division at (707) 658-4565 or visit www.knoxbox.com Due prior to final inspection.
3. Keys for the Knox Box entry system required by the Fire Department shall be attached to durable tags with permanent marking identifying the door(s) or lock(s) that the key functions with. i.e. "MASTER" or "MECHANICAL ROOM".
4. Approved address numbers shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall clearly contrast with their background. The characters shall be a minimum of 4" high with a 1/2" stroke. The size of the building and distance or location of the address numbers from the roadway may necessitate larger numbers. Due prior to final inspection.
5. The minimum fire-extinguisher requirement shall be one 2A-10BC rated portable unit in such locations so that maximum floor-travel distance does not exceed 75' to the nearest extinguisher from any portion of the building with a maximum of 3,000 square feet of floor area surveyed. Plan submittal shall include the proposed location of extinguishers. Final location shall be approved in the field by the Fire Department. Due prior to final inspection. (M occupancy only)
6. All fire extinguishers shall be mounted in a conspicuous and readily accessible location either on a bracket or within an approved storage cabinet. Fire extinguishers shall be mounted so the top of the unit is 3 feet to 5 feet off the finished floor. If the extinguisher is not readily visible, a sign shall be located directly above the extinguisher. The sign shall be legible and of a contrasting color with its background.
7. Provide an approved exit sign over all required exit doors. Due prior to final inspection.
8. Means of egress illumination shall be provided and maintained at any time the building is occupied. The means of egress shall be illuminated of not less than 1 foot candle power. Due prior to final inspection.
9. Emergency exit lighting shall be provided at or near all exits and as designated by the Fire Marshal. Due prior to final inspection.
10. All emergency lighting, exit sign lights shall have two separate sources of power as required by the California Building Code.

11. All roof material shall be rated class "A" or better.
12. Hazardous Materials Business Plan Requirements. Any occupancy that will be conducting operations or storing materials that are hazardous will obtain the appropriate permits from the Solano County Department of Health prior to commencing business operations.
13. All hazardous material underground storage tanks (Motor Fuel – Dispensing Facilities) shall comply with the 2019 California Fire Code Chapters 22, 27, and 34.
14. Protection from Vehicles: Guard posts or other approved means shall be provided to protect tanks subject to vehicular damage in accordance with CFC §312. When guard posts are installed, posts shall be:

312.1 General. Vehicle impact protection required by this code shall be provided by posts that comply with Section 312.2 or by other approved physical barriers that comply with Section 312.3.

312.2 Posts. Guard posts shall comply with all of the following requirements:

- a. Constructed of steel not less than 4 inches (102 mm) in diameter and concrete filled.
 - b. Spaced not more than 4 feet (1219 mm) between posts on center.
 - c. Set not less than 3 feet (914 mm) deep in a concrete footing of not less than a 15-inch (381 mm) diameter.
 - d. Set with the top of the posts not less than 3 feet (914 mm) above ground.
 - e. Located not less than 3 feet (914 mm) from the protected object.
15. Emergency disconnect switches: An *approved*, clearly identified and readily accessible emergency disconnect switch shall be provided at an *approved* location to stop the transfer of material to the tank. The emergency disconnect switch shall be located within 100 feet (30 480 mm) of, but not less than 20 feet (6096 mm) from the material dispensers. Such devices shall be distinctly *labeled* as: EMERGENCY SHUTOFF. Signs shall be provided in *approved* locations established during final inspection.
 16. Provide spill containment measures (Spill Kit) on site in safe accessible location. The Spill Kit material shall be compatible the material being stored. Training shall be provided to staff in accordance with 2019 California Fire Code. Due prior to final inspection.
 17. Material Data Safety Sheets (MSDS) covering all hazardous materials on site shall be readily available on the premises. Location of the MSDS sheets shall be posted in a conspicuous location approved by the Fire Prevention Division prior to sign-off of the final inspection.
 18. NFPA 704 placard signs shall be posted at all hazardous material storage area's and must be approved by the Fire Prevention Division during final inspection.

Example;

IN CASE OF FIRE, SPILL OR RELEASE;

- 1. USE EMERGENCY PUMP SHUTOFF**
- 2. REPORT THE ACCIDENT**

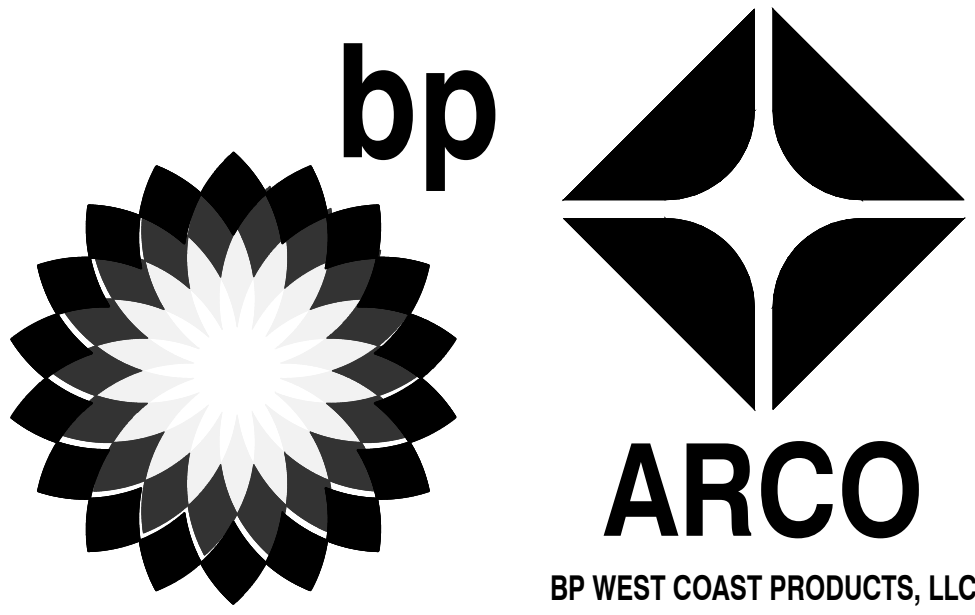
**FIRE DEPARTMENT TELEPHONE NUMBER 911
FACILITY ADDRESS; 2601 Springs Road**

19. Provide one 4A20BC fire extinguisher not less than 10 feet or no more than 50 feet from any dispensers.
20. Warning signs. Warning signs shall be conspicuously posted within sight of each dispenser in the fuel-dispensing area and shall state the following:
 1. No smoking.
 2. Shut off motor.
 3. Discharge your static electricity before fueling by touching a metal surface away from the nozzle.
 4. To prevent static charge, do not reenter your vehicle while gasoline is pumping.
 5. If a fire starts, do not remove nozzle—back away immediately.
 6. It is unlawful and dangerous to dispense gasoline into unapproved containers.
 7. No filling of portable containers in or on a motor vehicle. Place container on ground before filling.

E. VALLEJO FLOOD AND WASTEWATER DISTRICT

Natalie Muradian | nmuradian@vallejowastewater.org | (707) 558 - 3416

1. Need a utility site plan showing location of sewer lateral, a District Cleanout near the public-right-of-way, and a two-way cleanout near the building.
2. Trash enclosure to have a cover per City standards. If trash enclosure area has a hose bib and a drain, grease interceptor shall be installed.
3. Applicant to submit a pretreatment questionnaire. Applicant may need to get sewer encroachment permit and shall pay applicable fees.



CONVENIENCE STORE & GAS STATION

2601 SPRINGS RD VALLEJO, CA 94591

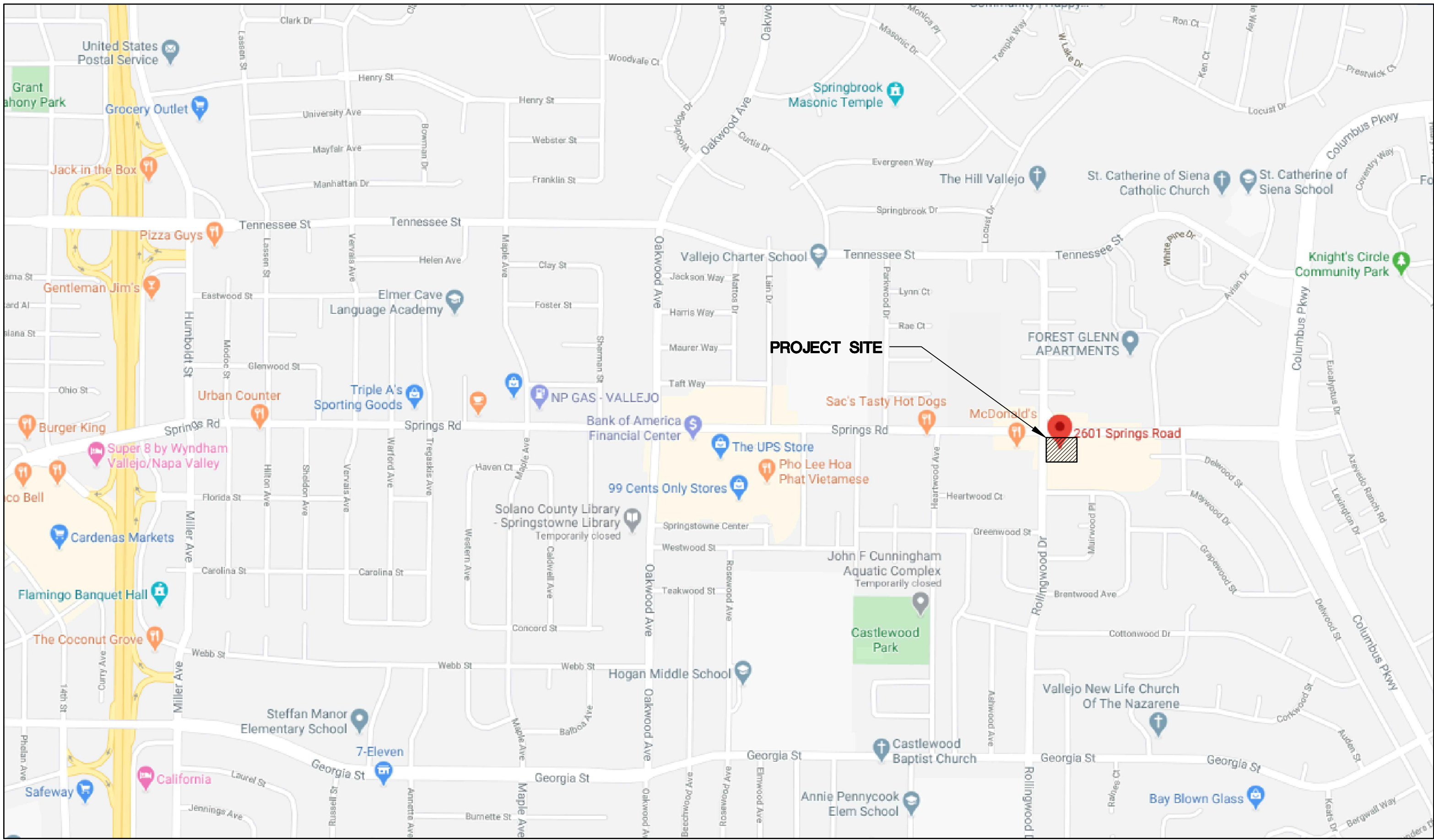
PROJECT DESCRIPTION
RENOVATION OF EXISTING CONVENIENCE STORE BUILDING, FUEL CANOPY, FUEL PUMPS, AND FUEL MONUMENT SIGN. REMODELED CONVENIENCE STORE EQUIPMENT LAYOUT, BUILDING EXTERIOR FACADE AND PROPOSED NEW SIGN LOCATIONS AND SQUARE FOOTAGE, FUEL CANOPY FACADE AND SIGNS, FUEL PUMPS, AND FUEL MONUMENT SIGN.

PROJECT INFORMATION	
APN	0072-021-350
ZONING	CP - PEDESTRIAN SHOPPING & SERVICE CL - LINEAR COMMERCIAL
ADJACENT ZONING	NORTH / WEST: CL SOUTH / EAST: CP
SITE AREA	± 0.35 AC
BUILDING AREA	± 1,640 SF

CONTACTS
OWNER:
ELEMENTS PETROLEUM
2601 Springs Rd
Vallejo, CA 94591
Contact: Namath Kandahari
Tel: 707.718.1967
Email: elementspetroleum@aol.com

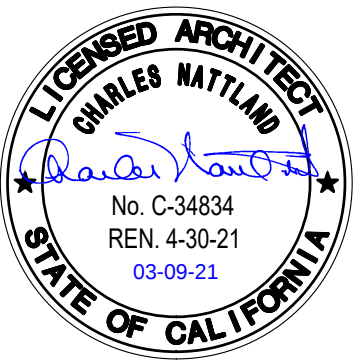
ARCHITECT:
CSHQA, INC.
701 University Ave., Suite 210
Sacramento, CA 95825
Contact: Charlie Nattland
Tel: 916.231.0883
Email: charles.nattland@cshqa.com

CITY OF VALLEJO:
PLANNING & DEVELOPMENT
555 Santa Clara Street
Vallejo, CA 94590
Phone 707.648.4326

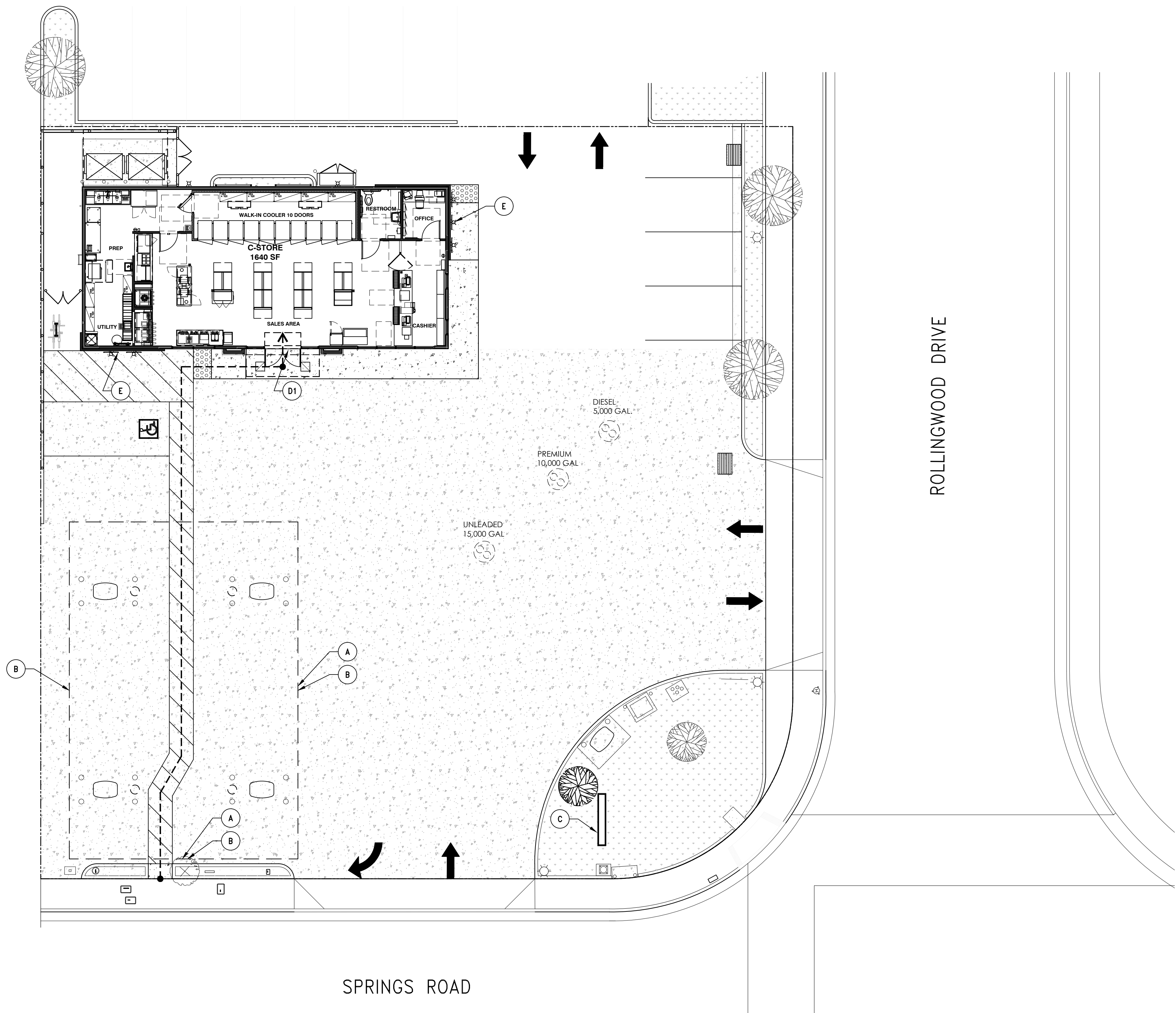


VICINITY MAP
N.T.S.

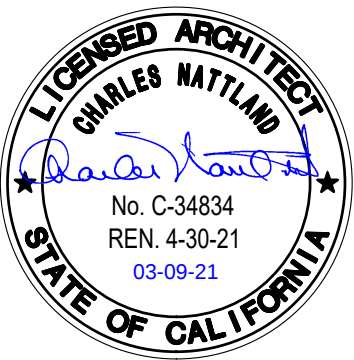
DRAWING INDEX	
A1	COVER SHEET
A2-1	SITE PLAN
A2-2	SITE PLAN - SIGNAGE
A3	FLOOR PLAN
A4-1	EXTERIOR ELEVATIONS
A4-2	FUEL CANOPY ELEVATIONS
A5	SIGN SCHEDULE
A6	STREET VIEWS
A7	COLOR BOARD

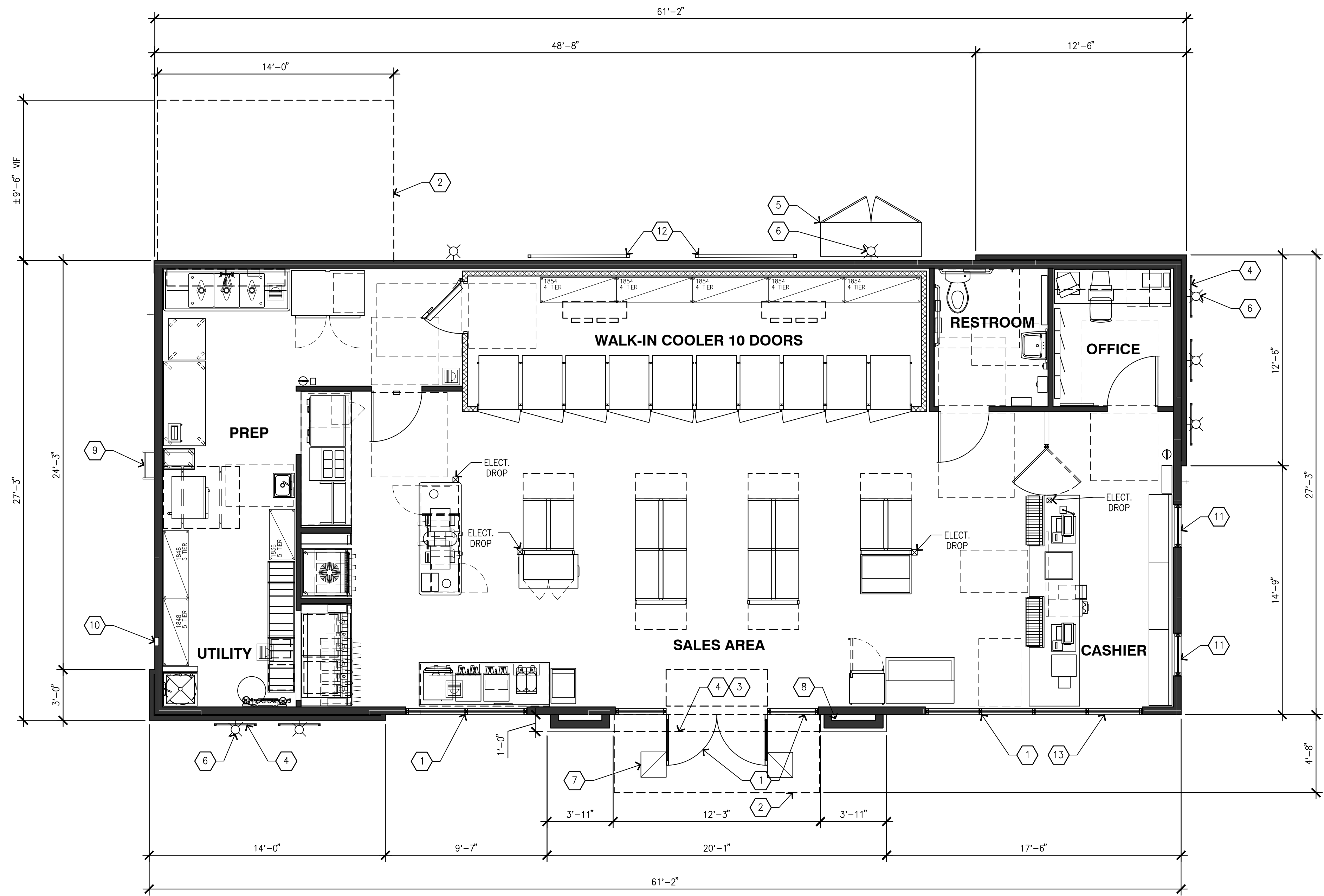


- SIGNAGE NOTES**
SEE A5 FOR SIGNAGE SCHEDULE & DETAILS
- A CANOPY "ARCO" CHANNEL LETTERS
 - B CANOPY SIGN SPARK
 - C ARCO ILLUMINATED DOUBLE FACE MONUMENT SIGN
 - D1 AM/PM SIGN
 - E POSTER



01 SITE PLAN
SCALE: 1"=10'-0"

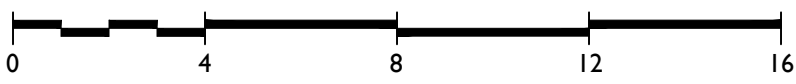
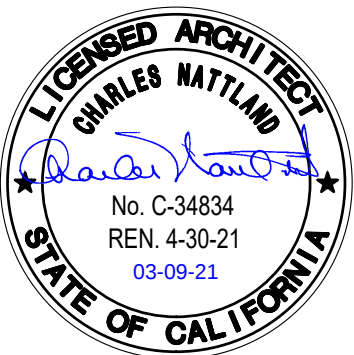


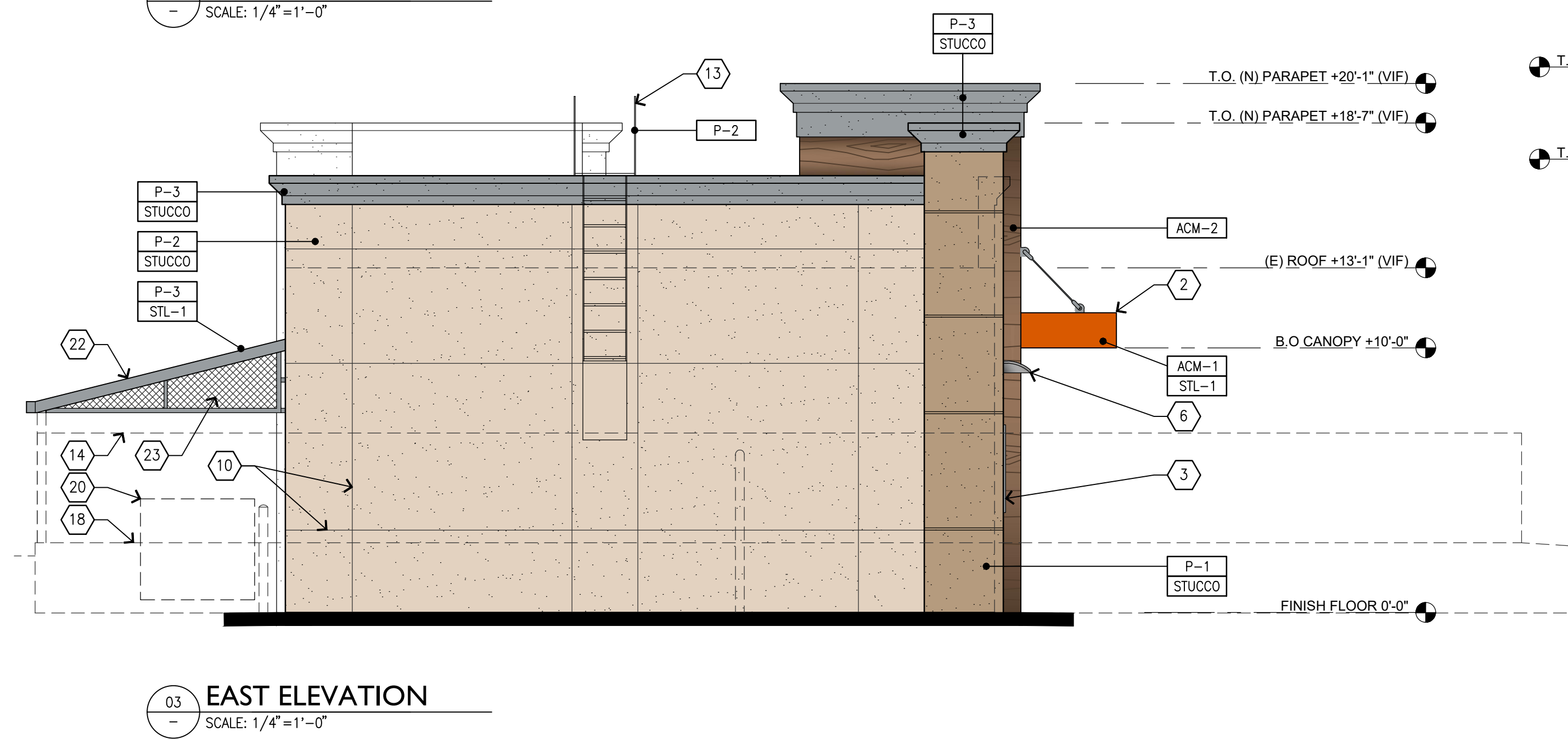
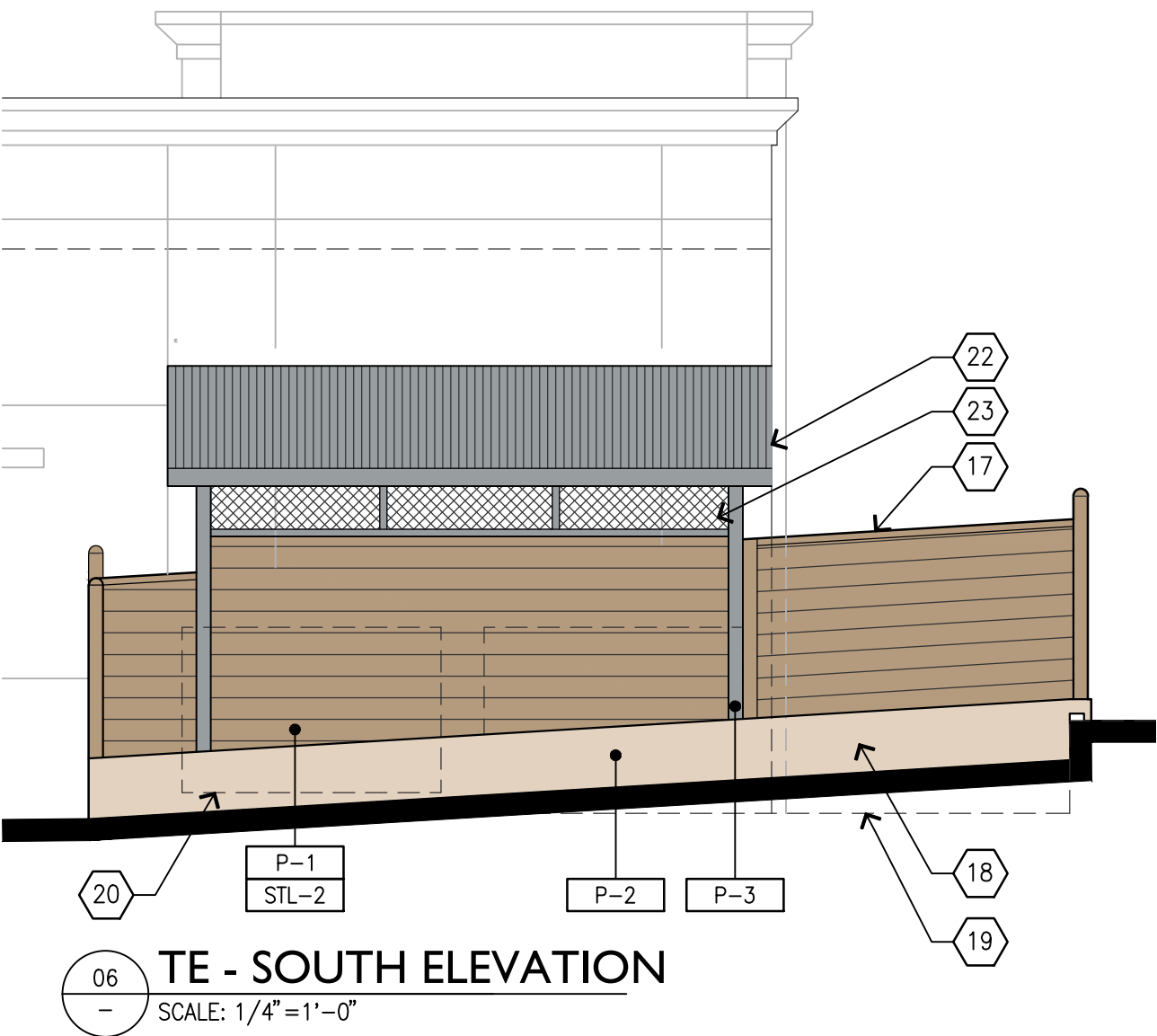
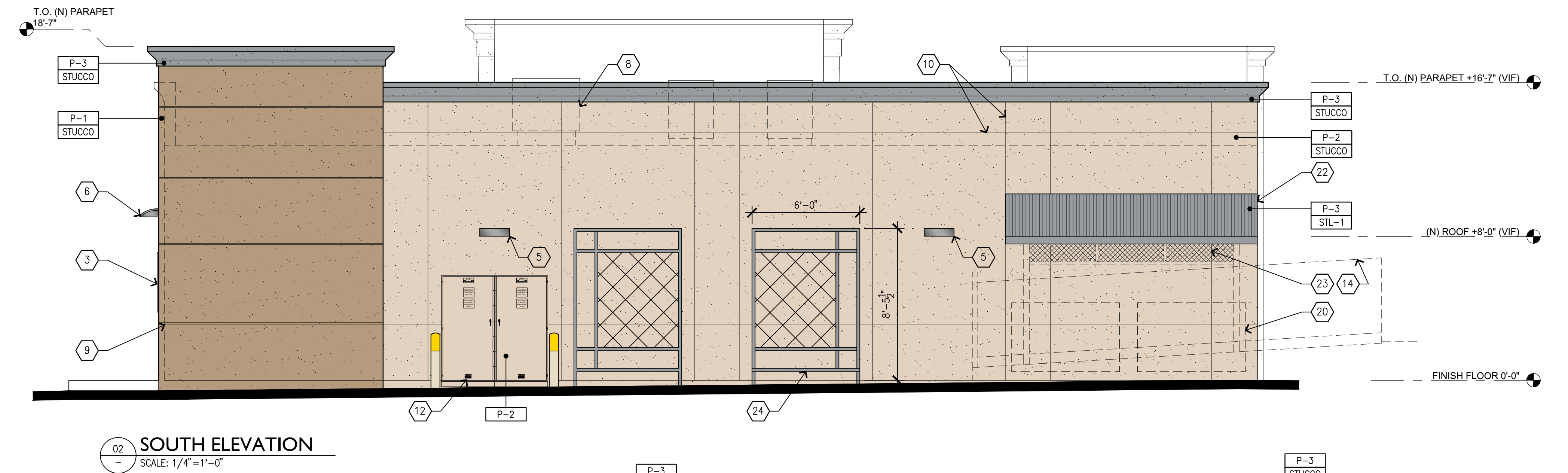
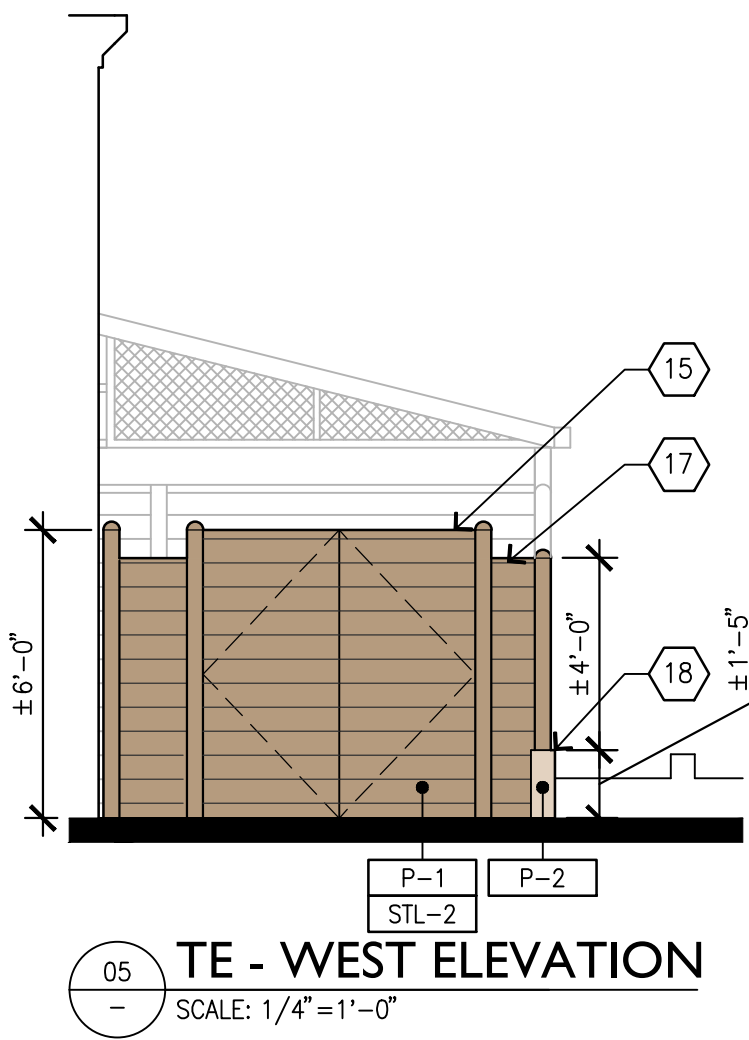


FLOOR PLAN KEY NOTES

- 1 (N) ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, TYP.
- 2 (N) LINE OF STEEL CANOPY ABOVE
- 3 (N) LINE OF SOFFIT ABOVE
- 4 (N) WALL SIGNS W/LIGHTING
- 5 (N) MAIN SWITCHGEAR
- 6 (N) WALL MOUNTED LED LIGHT FIXTURE, TYP.
- 7 (N) RECESSED CANOPY LIGHT ABOVE
- 8 (N) STEEL CANOPY DRAIN LEADER, DAYLIGHT AT FACE OF CURB
- 9 (N) ROOF ACCESS LADDER
- 10 (N) CO2 FILL/VENT BOX
- 11 (N) 2'-6"x2'-6" FIXED WINDOW
- 12 (N) STEEL LATTICE
- 13 (N) OPTIONAL SERVICE WINDOW LOCATION, SEE A4-1

01 PROPOSED C-STORE FLOOR PLAN
SCALE: 1/4"=1'-0" ±1,640 GROSS SQUARE FEET





ELEVATION KEYED NOTES

- 1 (N) ALUMINUM ENTRANCE AND STOREFRONT SYSTEM
- 2 (N) STEEL AWNING, ROD AND CLEVIS, TYP.
- 3 (N) WALL POSTER, SEE 10/A5
- 4 (N) INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN (BY OTHERS), SEE 9/A5
- 5 (N) WALL MOUNTED LED LIGHT FIXTURE
- 6 (N) WALL MOUNTED SIGN LIGHTING
- 7 ROOF LINE BEYOND
- 8 (F) ROOFTOP EQUIPMENT BEYOND
- 9 (N) HORIZONTAL REVEAL FRY REGLET
- 10 (N) HORIZONTAL AND VERTICAL CONTROL JOINT
- 11 (N) CANOPY DRAIN LEADER, DAYLIGHT AT FACE OF CURB
- 12 (N) MAIN SWITCHGEAR
- 13 (N) ROOF ACCESS LADDER
- 14 (E) LINE OF FENCING BEYOND, RETROFIT W/METAL SQUARE-RIBBED PANELS
- 15 (E) CHAIN LINK GATE W/PRIVACY SLATS, RETROFIT W/METAL SQUARE-RIBBED PANELS
- 16 (R) GATE, RETROFIT W/METAL SQUARE-RIBBED PANELS
- 17 (E) CHAIN LINK FENCING W/PRIVACY SLATS, RETROFIT W/METAL SQUARE-RIBBED PANELS
- 18 (E) CONCRETE RETAINING WALL
- 19 LINE OF GROUND SURFACE BEYOND
- 20 (E) WASTE DISPOSAL CONTAINERS BEYOND
- 21 (N) 2'-6"X2'-6" FIXED WINDOW
- 22 (N) STEEL ROOF O/REFUSE AREA
- 23 (N) METAL WIRE SCREEN
- 24 (N) STEEL LATTICE W/WELDED METAL WIRE
- 25 (N) OPTIONAL SERVICE WINDOW

COLOR LEGEND

- | | |
|--|--|
| | P-1 BENJAMIN MOORE, 1077 "GREAT PLAINS GOLD", SATIN FINISH |
| | P-2 BENJAMIN MOORE, 1030 "BRANDY CREAM", SATIN FINISH |
| | P-3 BENJAMIN MOORE, 2121-30 "PEWTER", HIGH GLOSS FINISH |

MATERIAL LEGEND

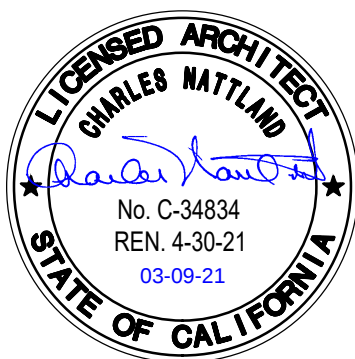
- | | |
|--|---|
| | ACM-1 ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 166c, "ORANGE" |
| | ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT" |
| | STONE CORONADO STONE, PRO-LEDGE, "ALASKAN SUNSET" |

STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH

ALUM CLEAR ANODIZED ALUMINUM

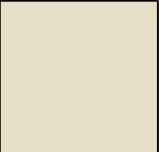
STL-1 STEEL AWNING

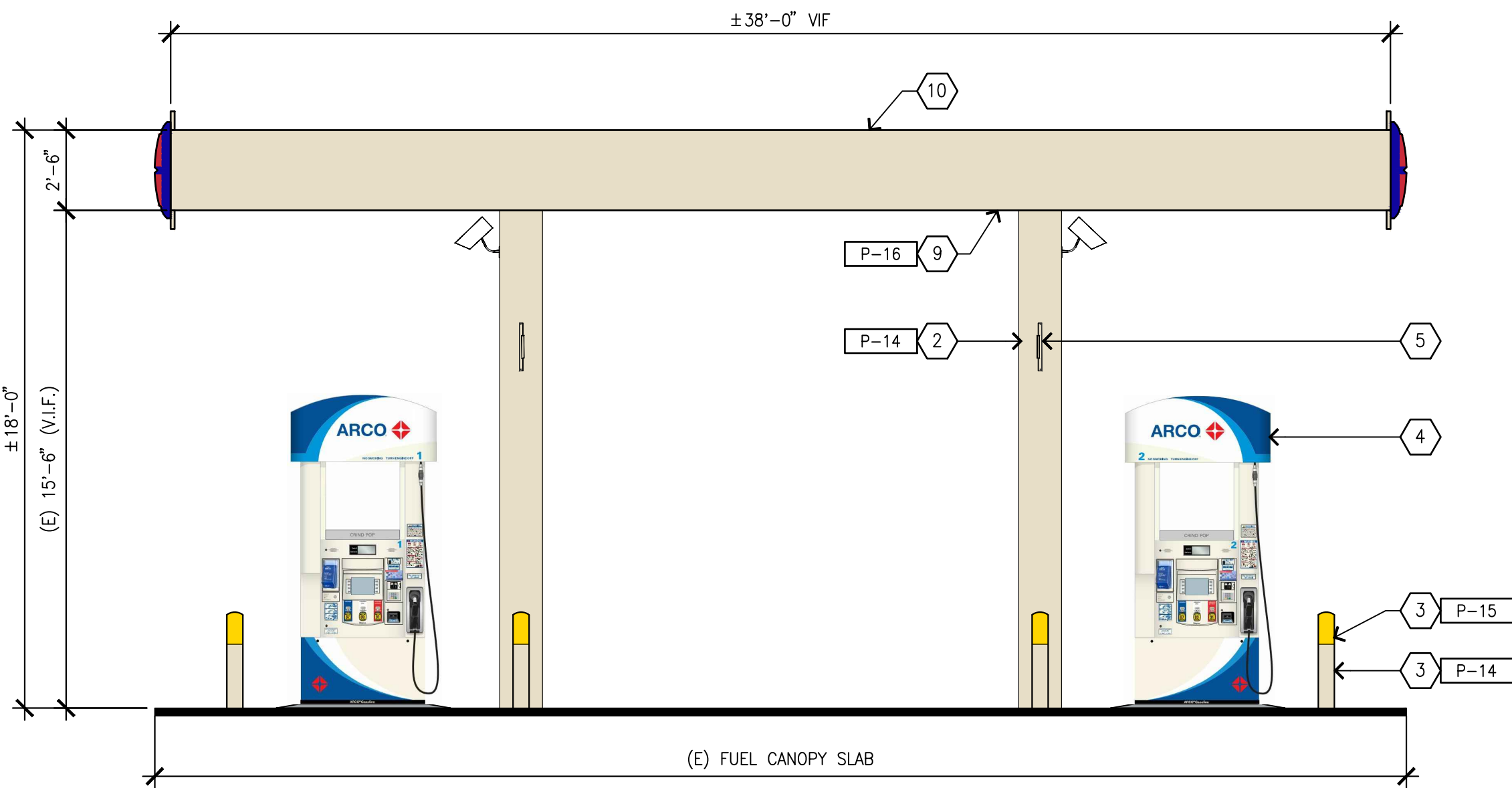
STL-2 'ABC' RIBBED METAL PANEL, 'PBR' PROFILE OR SIM



Exterior Elevations

- KEYED NOTES**
- NOTE: SEE A5 FOR SIGNAGE DETAILS & AREA CALCULATIONS
- 1 (N) CANOPY ACM FASCIA PANEL W/15" PRINTED BULLNOSE DECAL AND BLUE LED, REFER TO DETAIL 11/A5
 - 2 (E) CANOPY COLUMN, PAINT (TYP. OF 4)
 - 3 BOLLARD
 - 4 (N) DISPENSER, (TYP. OF 4)
 - 5 (N) DISPENSER NUMBERING SYSTEM BY G.C. APPROVED MANUFACTURER IS DURACOLOR. INSTALL 10'-6" FROM SLAB TO BOTTOM OF PLACARD. (TYP. OF 8)
 - 6 (N) CANOPY HEAD CLEARANCE SIGN ALIGNED WITH COLUMN AT WEST AND EAST SIDE
 - 7 (N) 20"H ALUMINUM CHANNEL LETTERS W/ LED INTERNAL ILLUMINATION, REFER TO DETAIL 11/A5, (TYP. OF 2)
 - 8 (N) 36" DIA. LED INTERNAL ILLUMINATED LOGO W/44" DIA. DISC, REFER TO DETAIL 11/A5, (TYP. OF 3)
 - 9 (E) CANOPY UNDER DECKING, PAINT
 - 10 PEARL ACM W/O BULLNOSE DECAL, SEE 12/A5 SIM

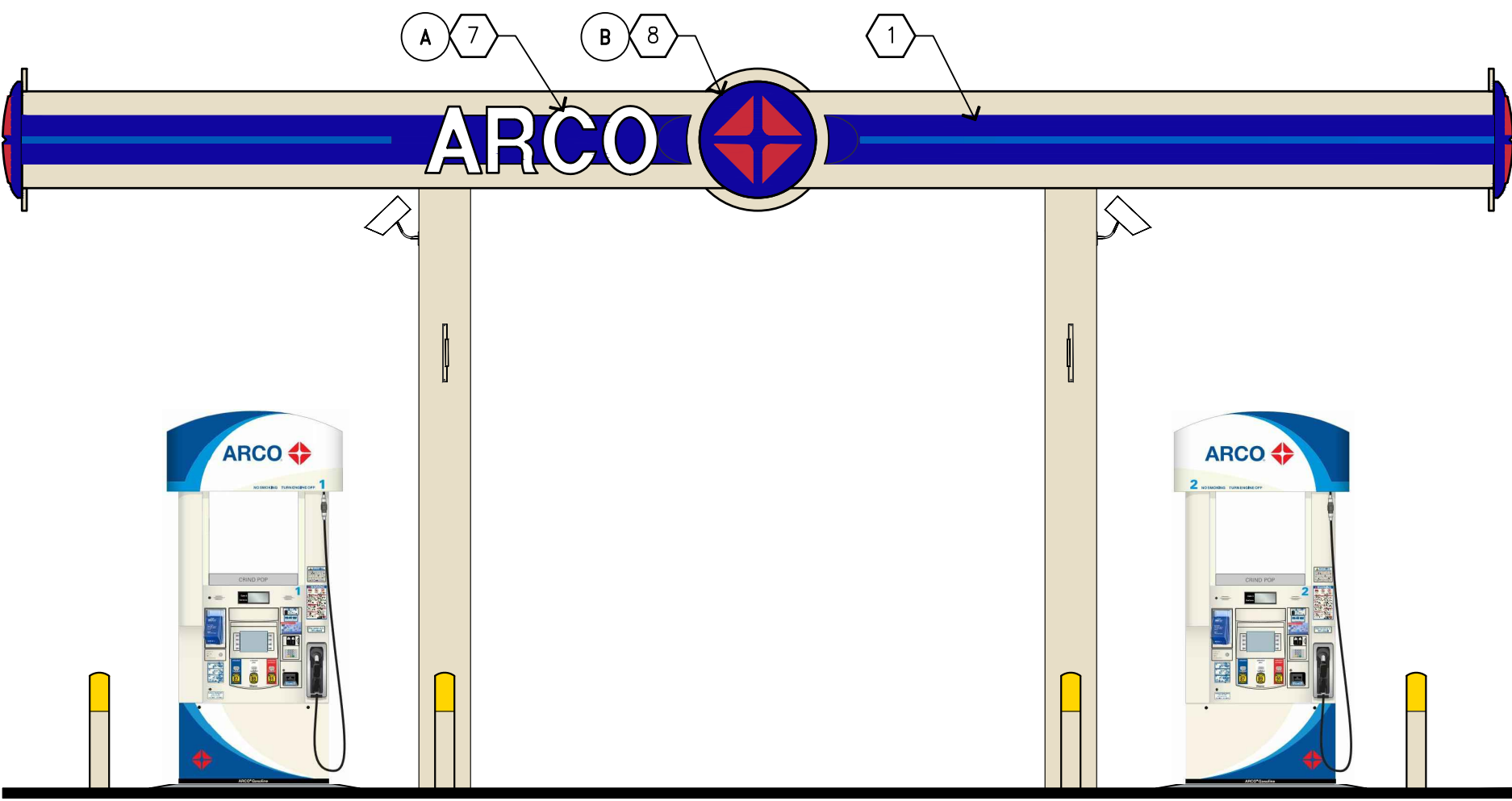
- COLOR LEGEND**
- | | |
|---|---|
|  | P-14 BP PEARL - BENJAMIN MOORE, OC-8, "ELEPHANT TUSK" - P28 DTM |
|  | P-15 BP YELLOW - BENJAMIN MOORE, 2022-10, "YELLOW" - P28 DTM |
|  | P-16 BENJAMIN MOORE, 2123-70, "ICE MIST" - P28 DTM |



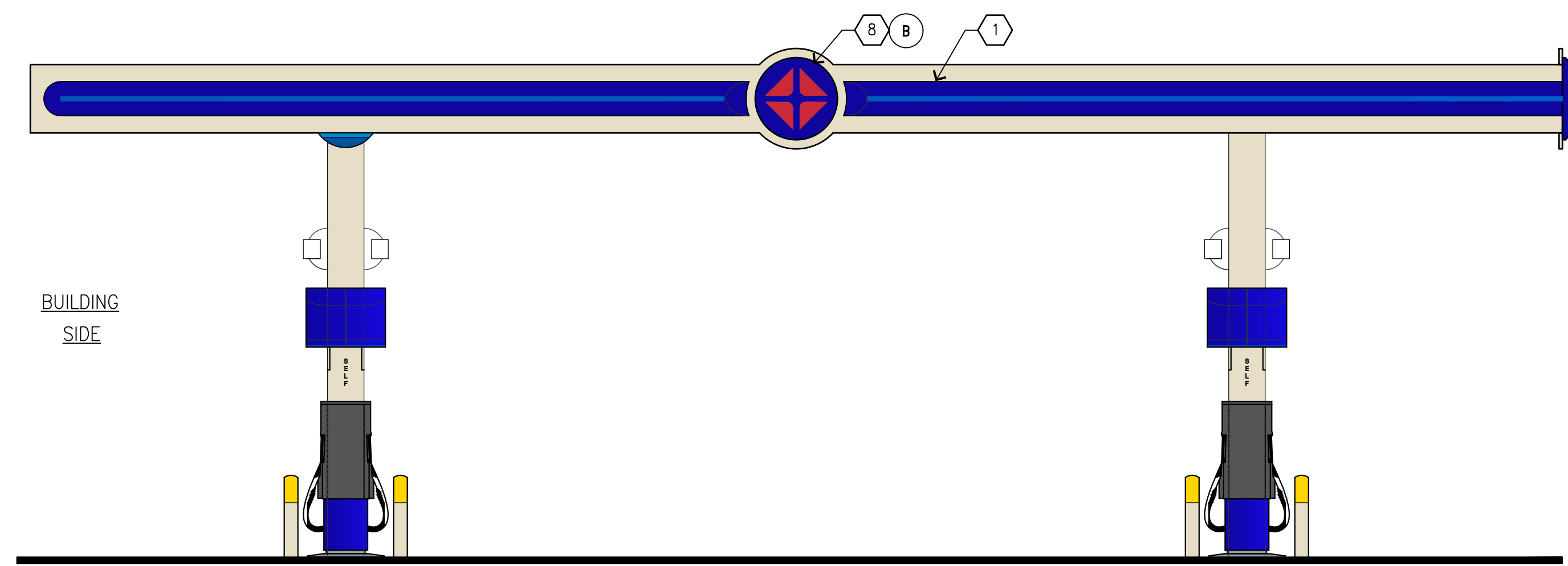
01 SOUTH ELEVATION (FACING BUILDING)
SCALE: 1/4"=1'-0"



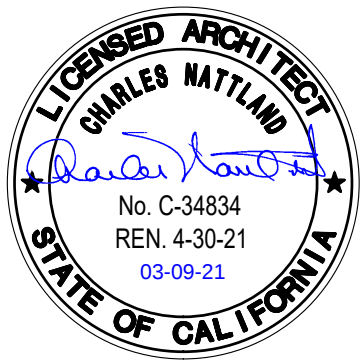
02 WEST ELEVATION
SCALE: 1/4"=1'-0"

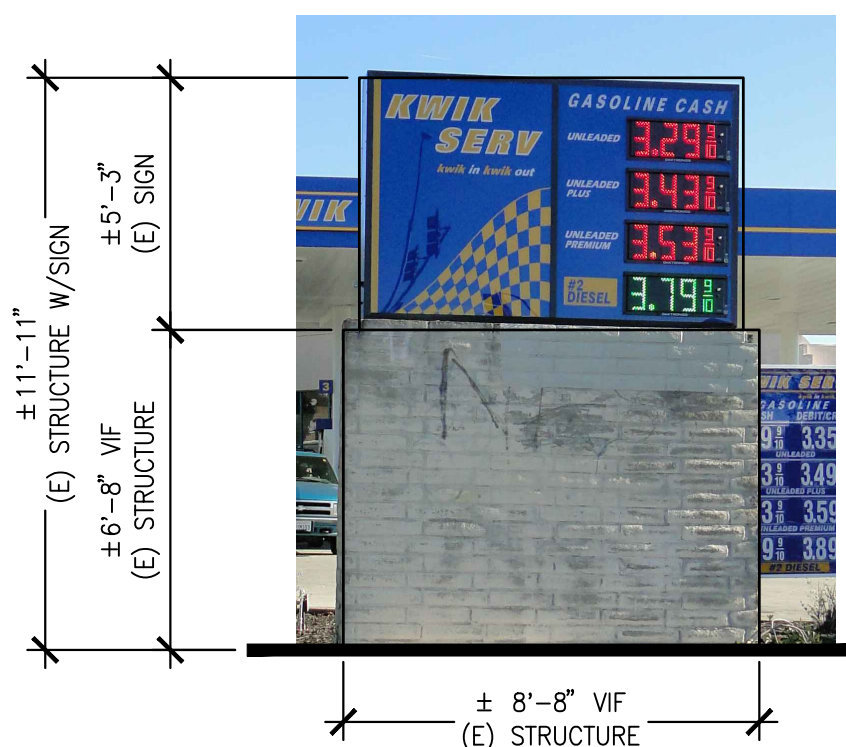


03 NORTH ELEVATION (FACING STREET)
SCALE: 1/4"=1'-0"

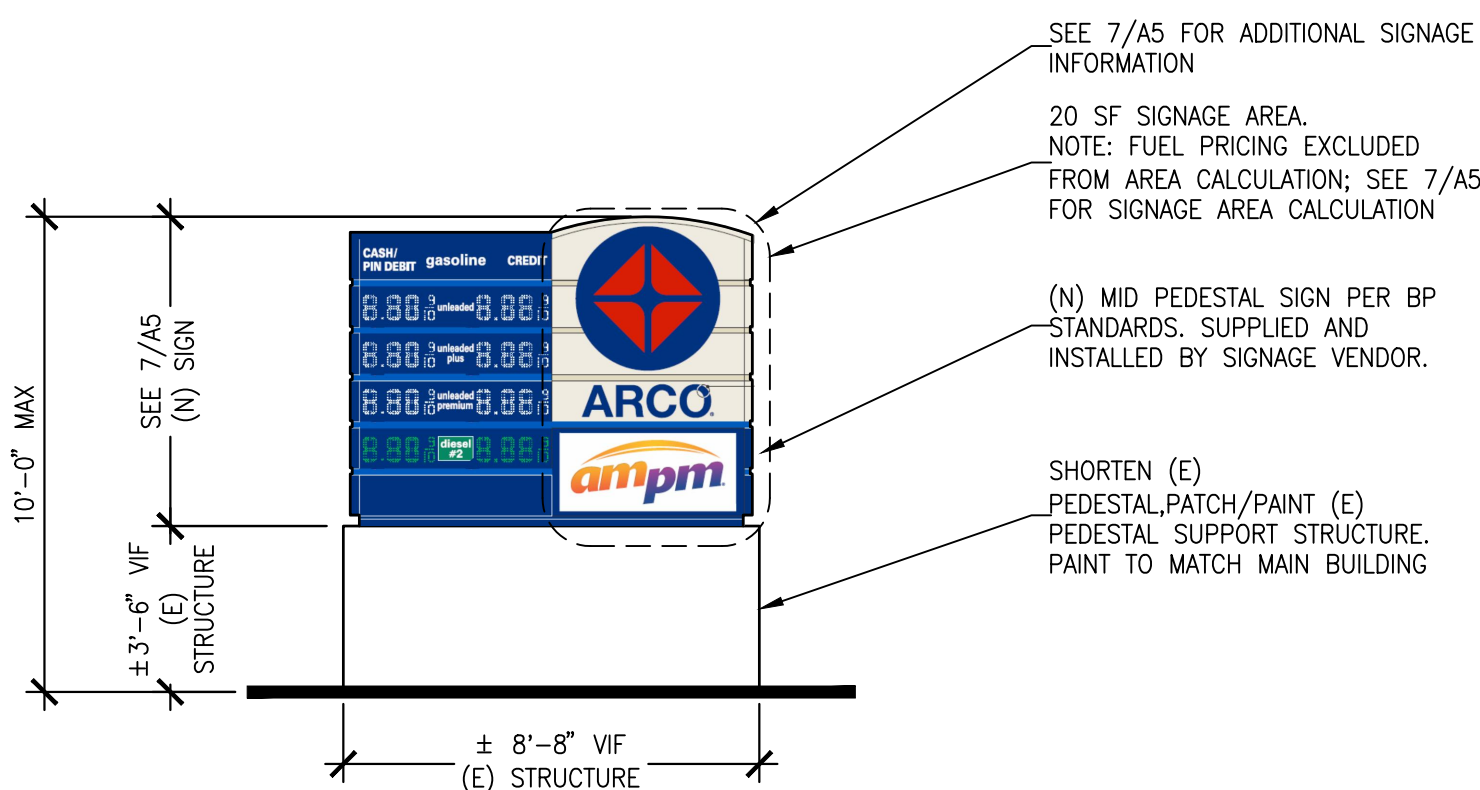


04 EAST ELEVATION
SCALE: 1/4"=1'-0"

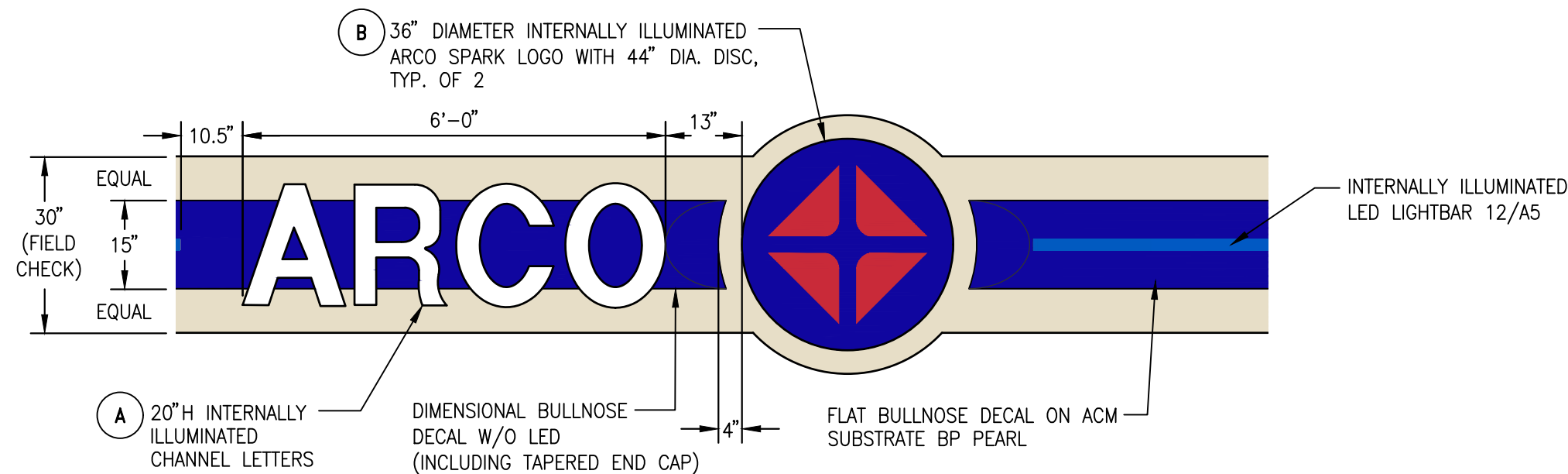




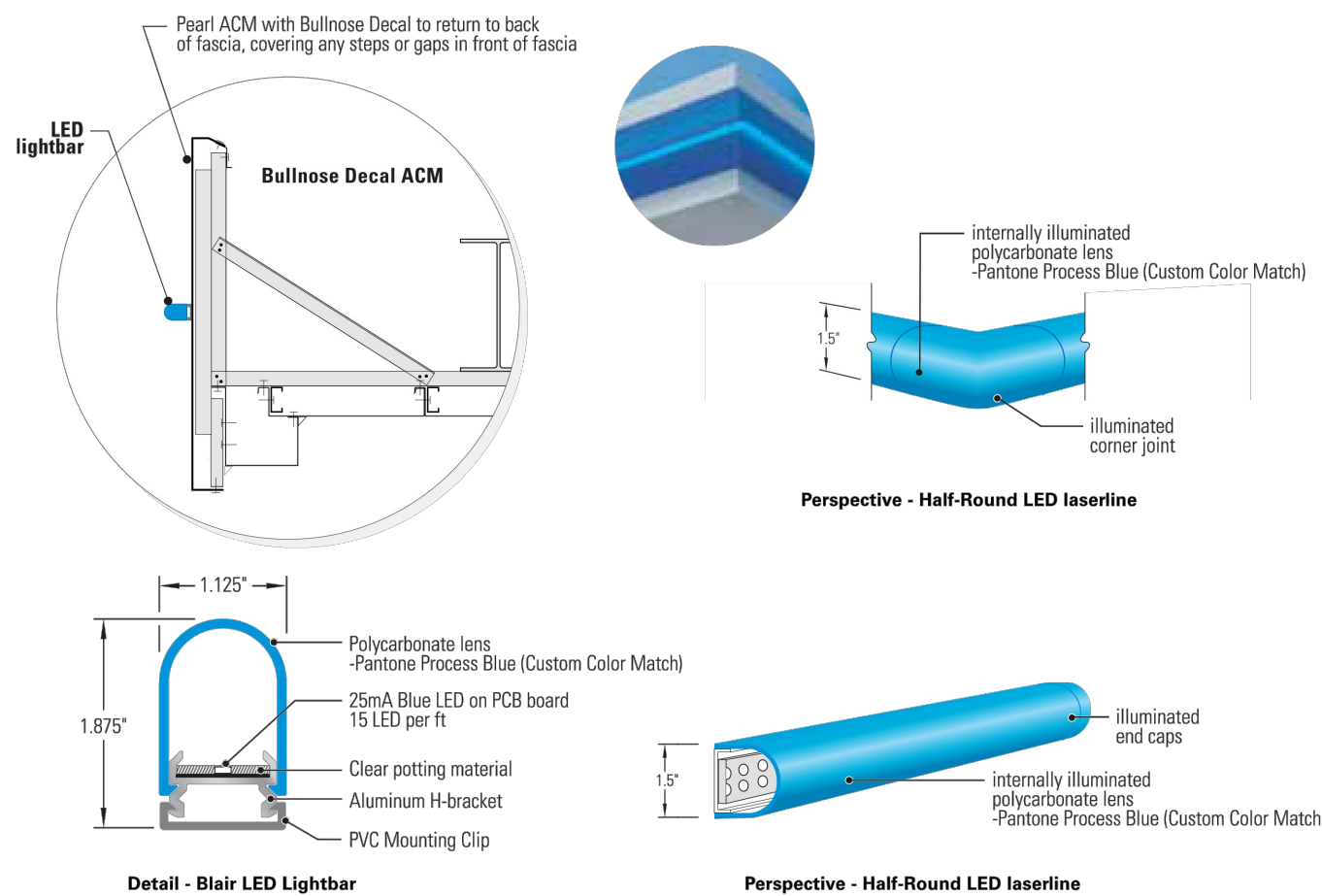
01A EXISTING MID MONUMENT SIGN - ELEVATION
- SCALE: 1/4" = 1'-0"



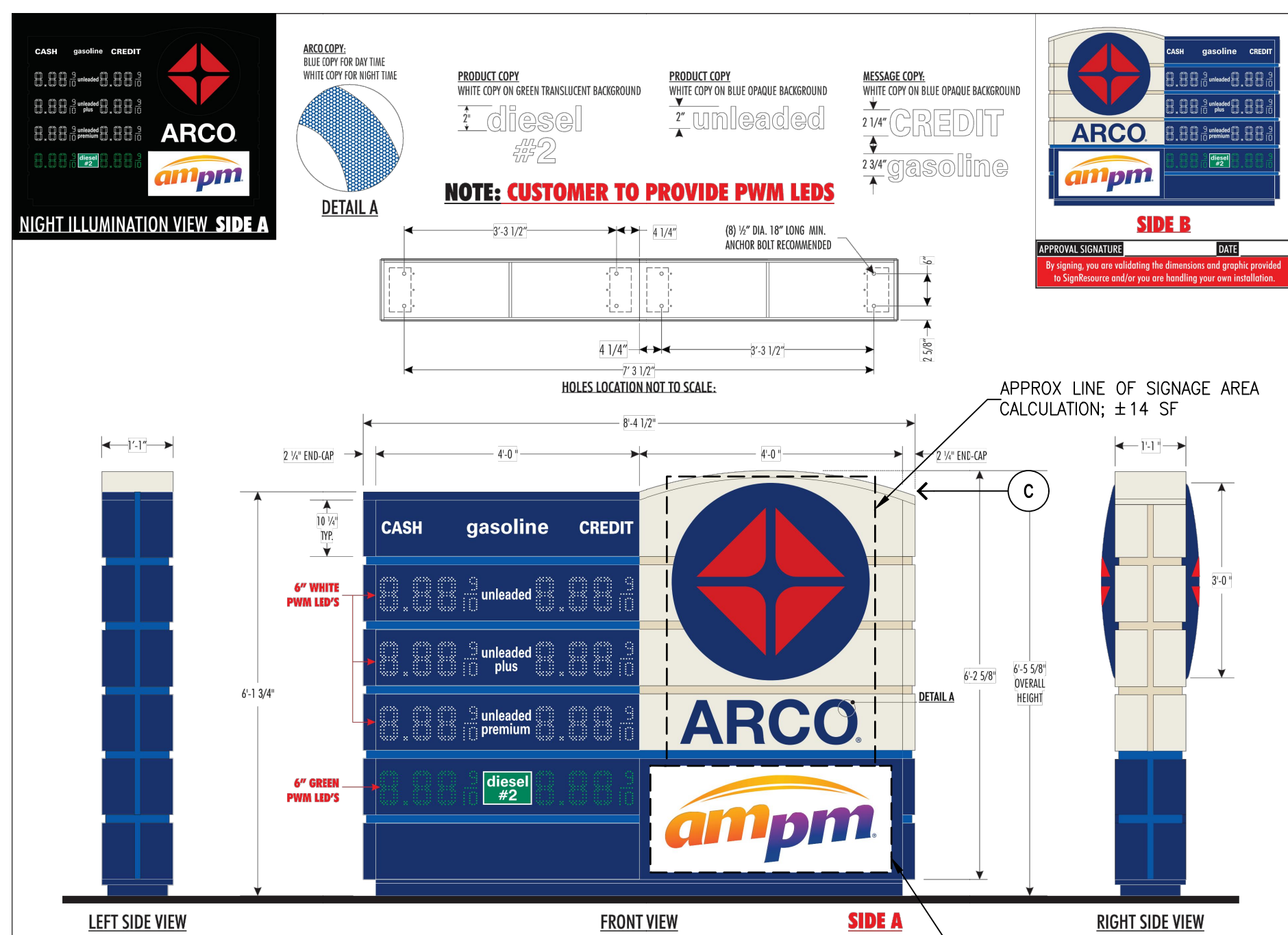
01B PROPOSED MID MONUMENT SIGN - ELEVATION
- SCALE: 1/4" = 1'-0"



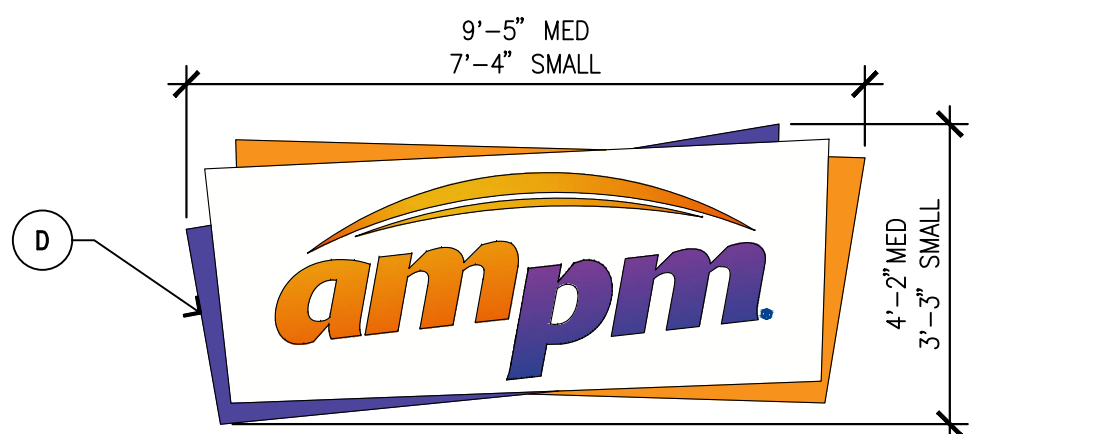
11
- CANOPY DECAL ON ACM FASCIA & 20" ILLUMINATED
CHANNEL LETTERS W/ 36" ILLUMINATED SPARK LOGO
SCALE: N.T.S.



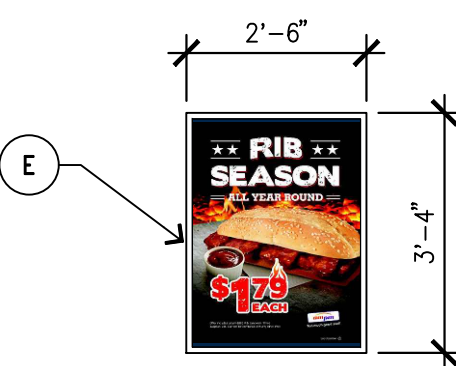
12 BLUE LED LIGHTBAR
— SCALE: N.T.S.



(N) FUEL MONUMENT SIGN - SIM
SCALE: N.T.S.

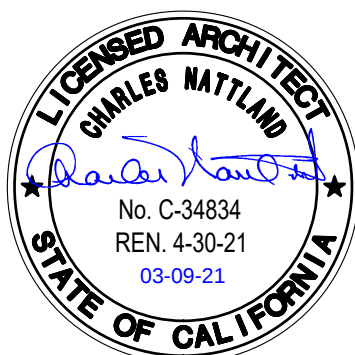


09 —	BUILDING SIGN SCALE: N.T.S.		MED = 39.2 SF	
			SMALL = 23.9 SF (NOT USED)	



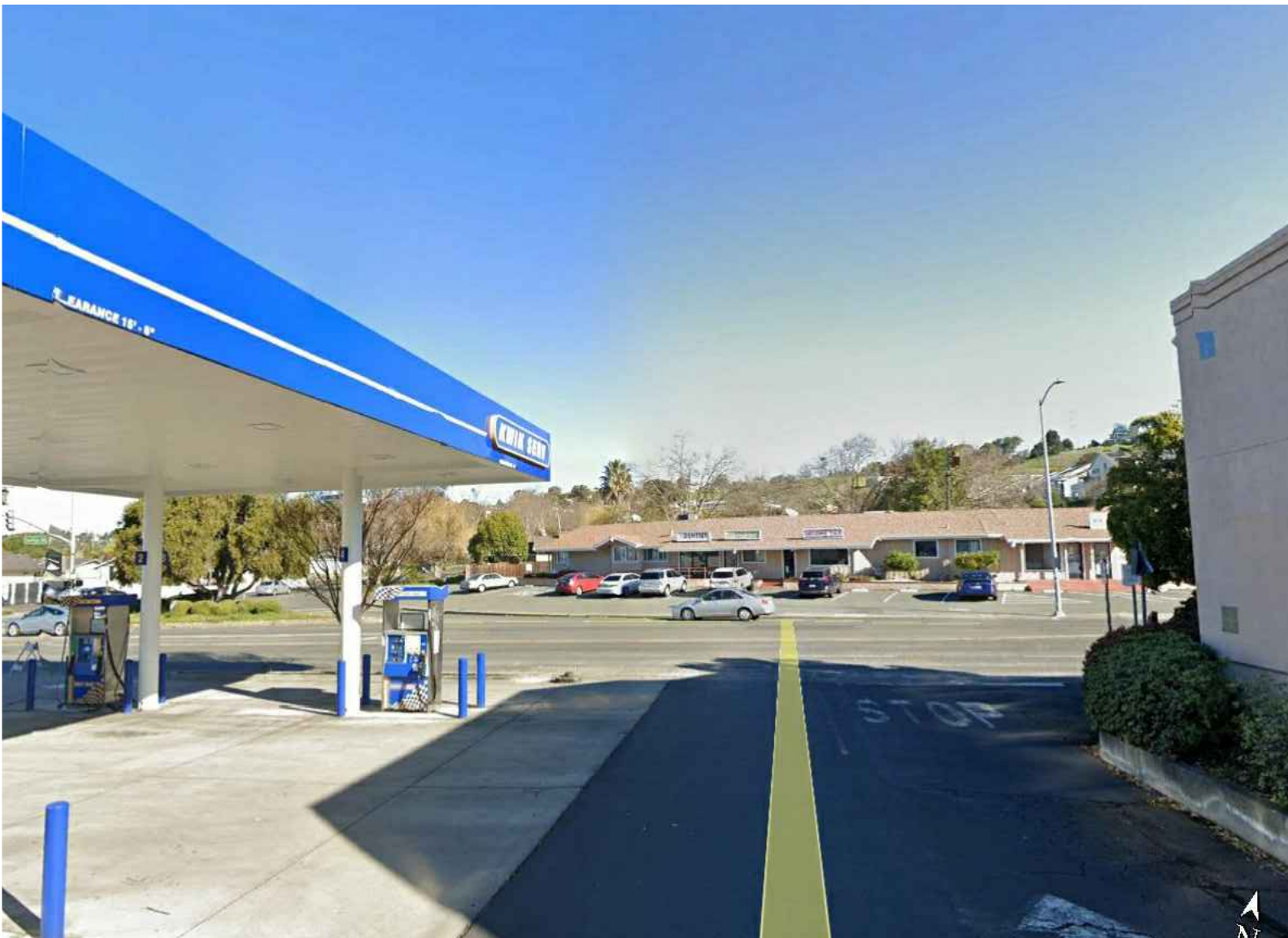
10 WALL POSTER
— SCALE: N.T.S.

SIGN SCHEDULE			
	SIGN	QTY.	AREA
NORTH ELEVATION			
(A)	CANOPY "ARCO" CHANNEL LETTERS (10.0 S.F. EA.)	1	10.0 S.F.
(B)	CANOPY SIGN SPARK (9.4 S.F. EA.)	1	9.4 S.F.
(D1)	AM/PM SIGN (MEDIUM)	1	39.2 S.F.
(E)	POSTER (8.3 S.F. EA.)	2	16.6 S.F.
NORTH TOTAL			75.2 S.F.
WEST ELEVATION			
(A)	CANOPY "ARCO" CHANNEL LETTERS (10.0 S.F. EA.)	1	10.0 S.F.
(B)	CANOPY SIGN SPARK (9.4 S.F. EA.)	1	9.4 S.F.
(E)	POSTER (8.3 S.F. EA.)	3	24.9 S.F.
WEST TOTAL			44.3 S.F.
EAST ELEVATION			
(B)	CANOPY SIGN SPARK (9.4 S.F. EA.)	1	9.4 S.F.
EAST TOTAL			9.4 S.F.
FUEL MONUMENT SIGN			
(C)	ARCO ILLUMINATED DOUBLE FACE MONUMENT SIGN	1	20 S.F.
MONUMENT SIGN TOTAL			20 S.F.
SITE TOTAL		148.9 S.F. PROVIDED < 153.1 SF ALLOWED W/25% INCREASE	





1) SPRINGS RD LOOKING WEST



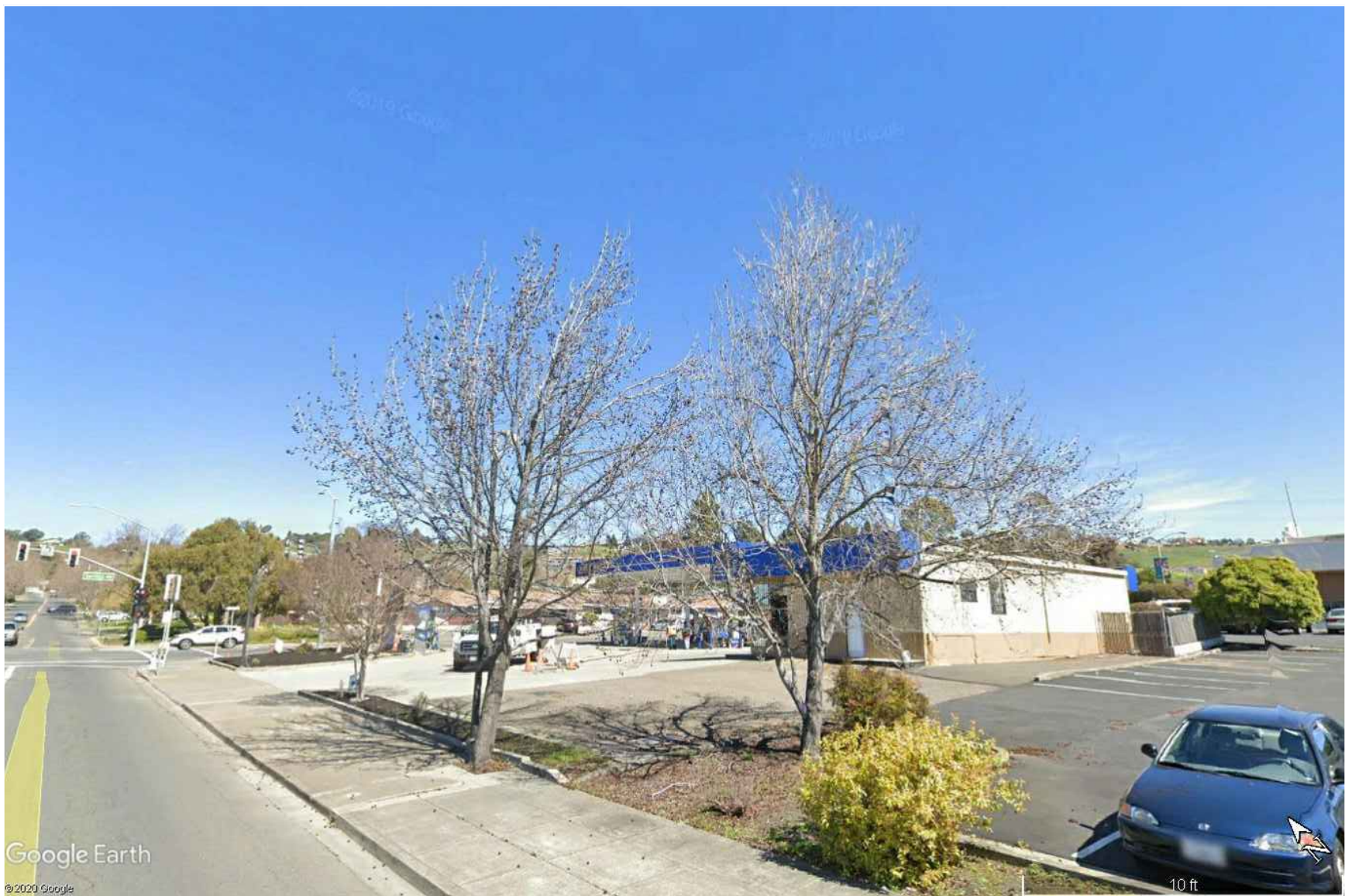
2) SPRINGS RD/SITE ST LOOKING NORTH



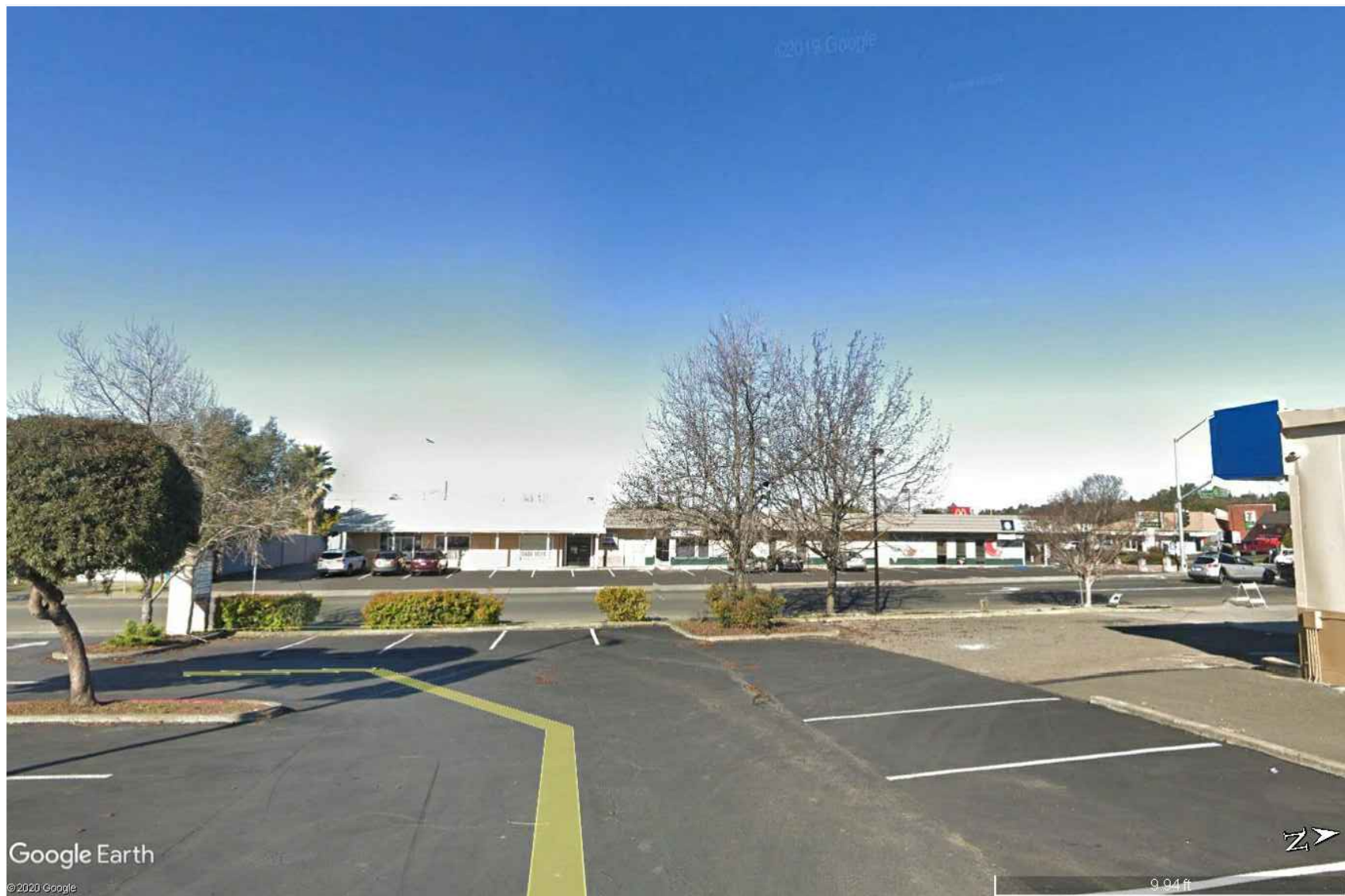
KEY PLAN



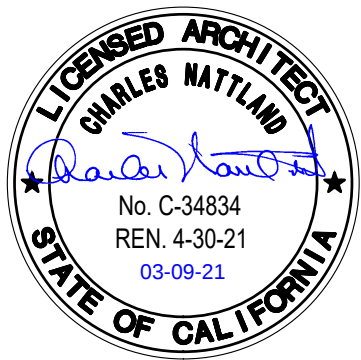
3) SPRINGS RD LOOKING EAST

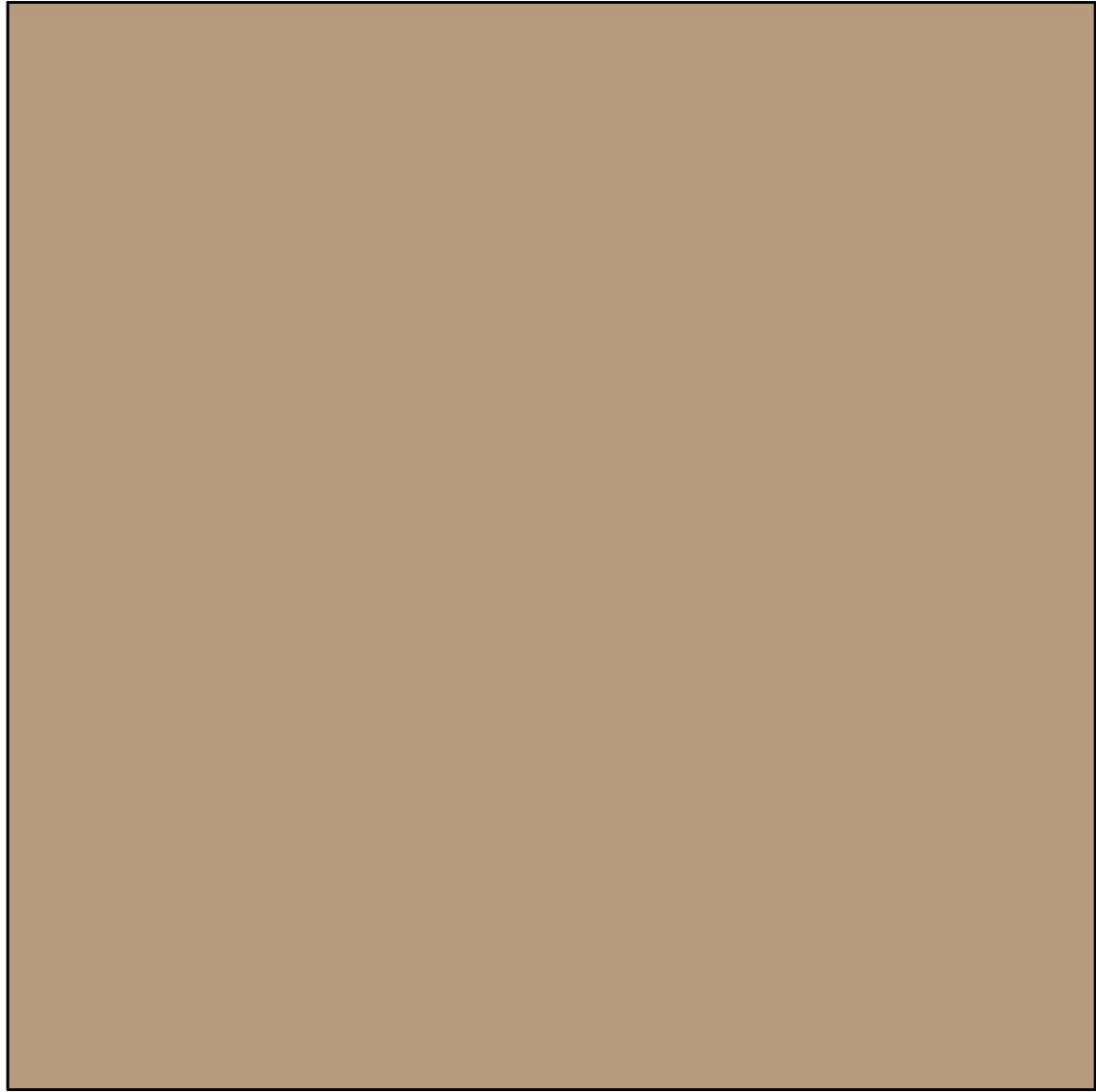


4) ROLLINGWOOD DR LOOKING NORTHEAST

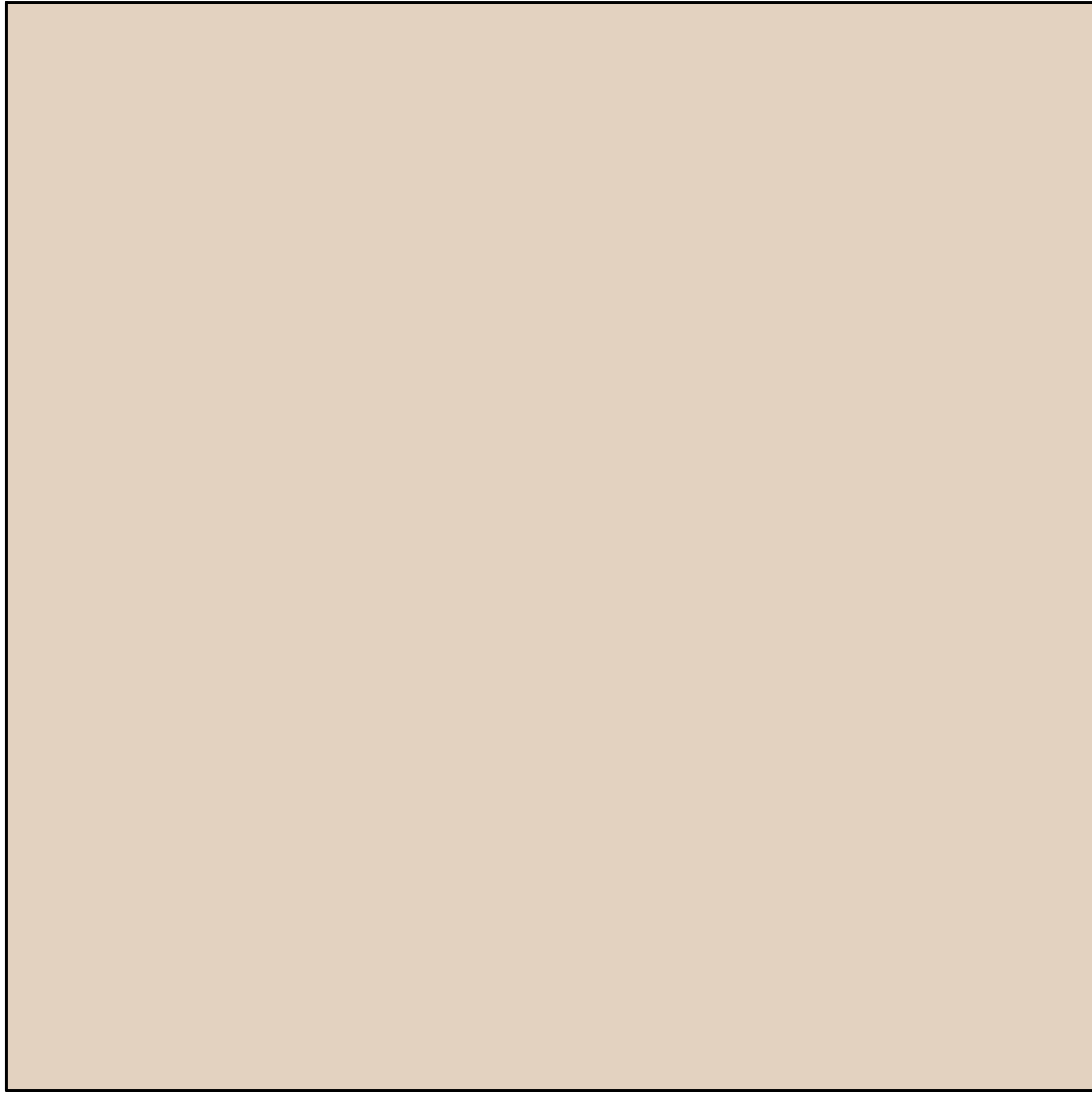


5) ROLLINGWOOD DR LOOKING NORTHWEST





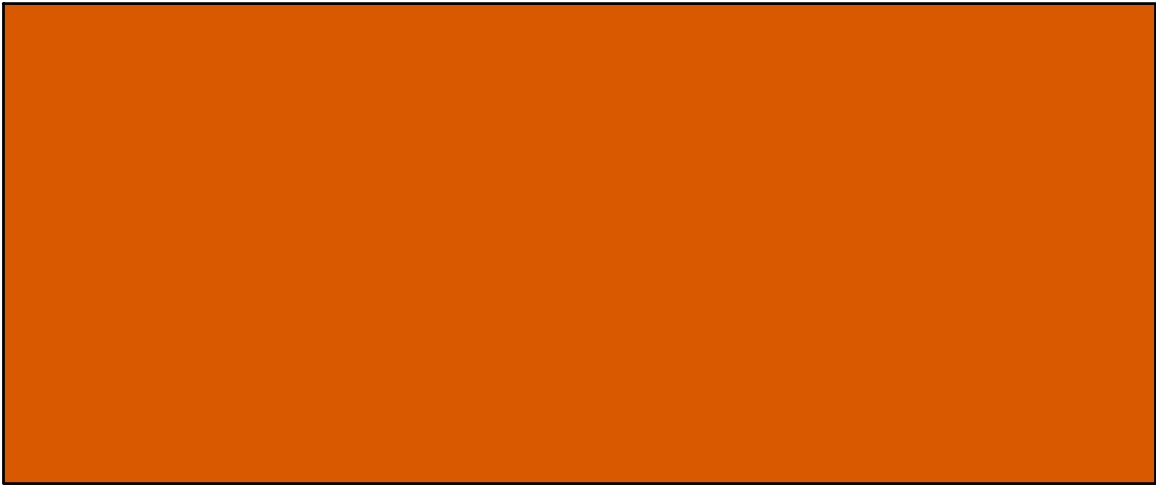
P-1 BENJAMIN MOORE 1077
"GREAT PLAINS GOLD", SATIN FINISH



P-2 BENJAMIN MOORE 1030
"BRANDY CREAM", SATIN FINISH



P-3 BENJAMIN MOORE 2121-30
"PEWTER", HIGH GLOSS FINISH



ACM-1 ALUMINUM COMPOSITE MATERIAL,
PANTONE PMS 166c, "ORANGE"



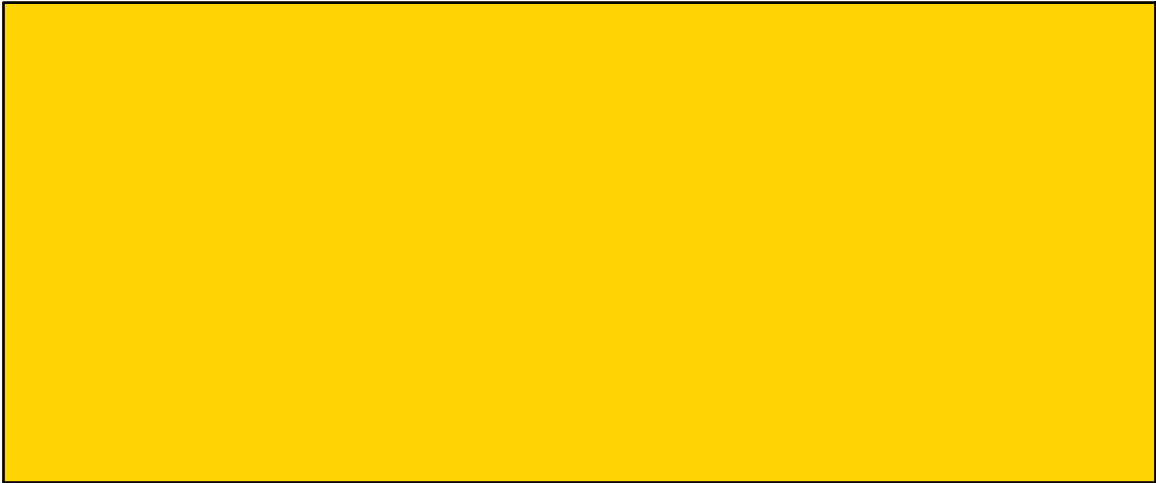
STONE CORONADO STONE PRO-LEDGE "ALASKAN SUNSET"



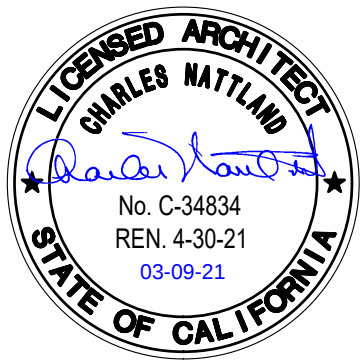
ACM-2 ALUMINUM COMPOSITE MATERIAL,
ALUCOBOND, "RUSTIC WALNUT"



P-14 BP PEARL - BENJAMIN MOORE,
OC-8, "ELEPHANT TUSK" - P28 DTM

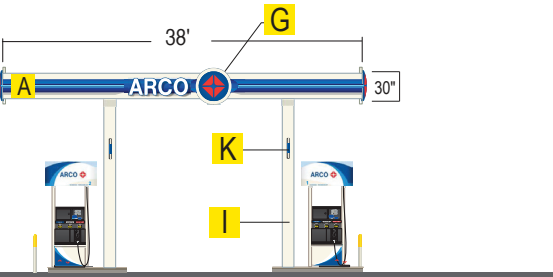


P-15 BP YELLOW - BENJAMIN MOORE,
2022-10, "YELLOW" - P28 DTM

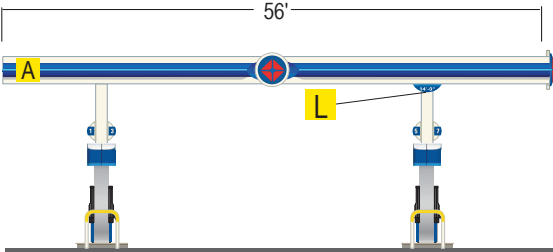




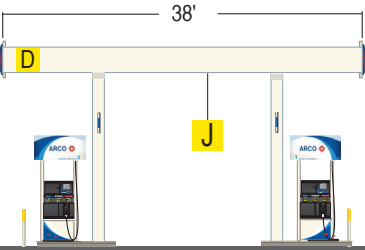
Front Elevation



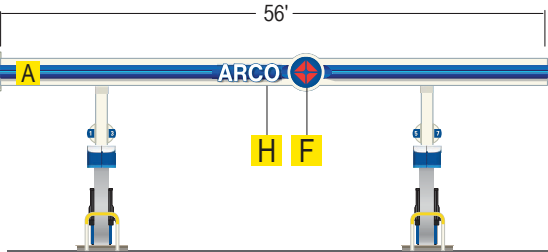
Left Elevation



Back Elevation



Right Elevation

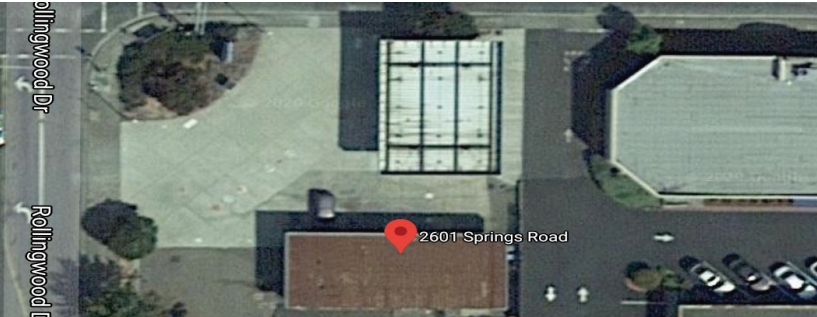


See Site Notes page for specific paint codes and contact info. *CONVERSION*

- A** ☒ Install Pearl ACM with pre-applied Bullnose Decal and Blue LED Light Bar
☒ **15"** (If fascia height is >24" and <36")
☐ **21"** (If fascia height is >36")
- B** ☐ Install 3D Bullnose Decal & Blue LED Light Bar
☐ **15"** (If fascia height is >24" and <36")
☐ **21"** (If fascia height is >36")
- C** ☐ Install 3D Bullnose Decal without Light Bar
☐ **15"** (If fascia height is >24" and <36")
☐ **21"** (If fascia height is >36")
- D** ☒ Install Pearl ACM
- E** ☐ Paint Fascia
- F** ☒ Install Illuminated Spark (**Qty: 3**)
☐ **18"**
☐ **24"**
☐ **30"** (Restricted)
☒ **36"**
- G** ☒ Install ARCO Arc behind each Spark (Not required if fascia is >40")
- H** ☒ Install ARCO Channel letters(**Qty: 2**)
☐ **15"** (If fascia height is >18" and <23")
☒ **20"** (If fascia height is >23")
- I** ☒ Paint canopy columns **Pearl (c.01)**
- J** ☒ Canopy Decking (under-canopy) to be painted **High Hiding White**
- K** ☒ Fuel Position Flag 10'-6" from the ground
- L** ☒ Canopy Clearance Sign

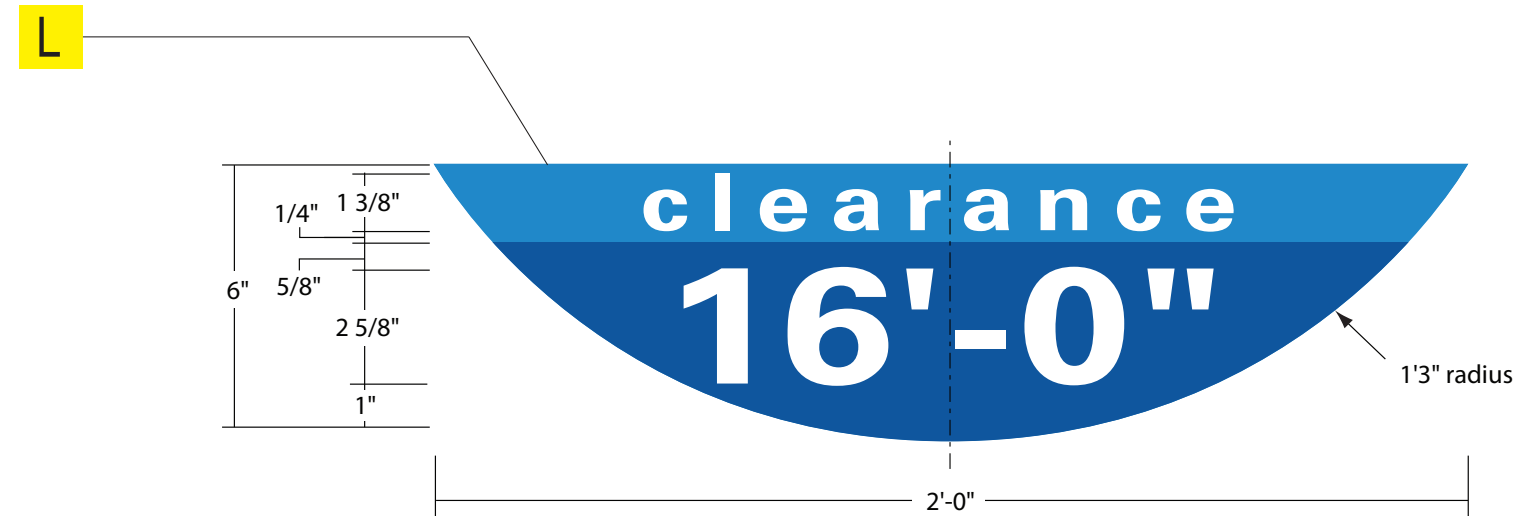
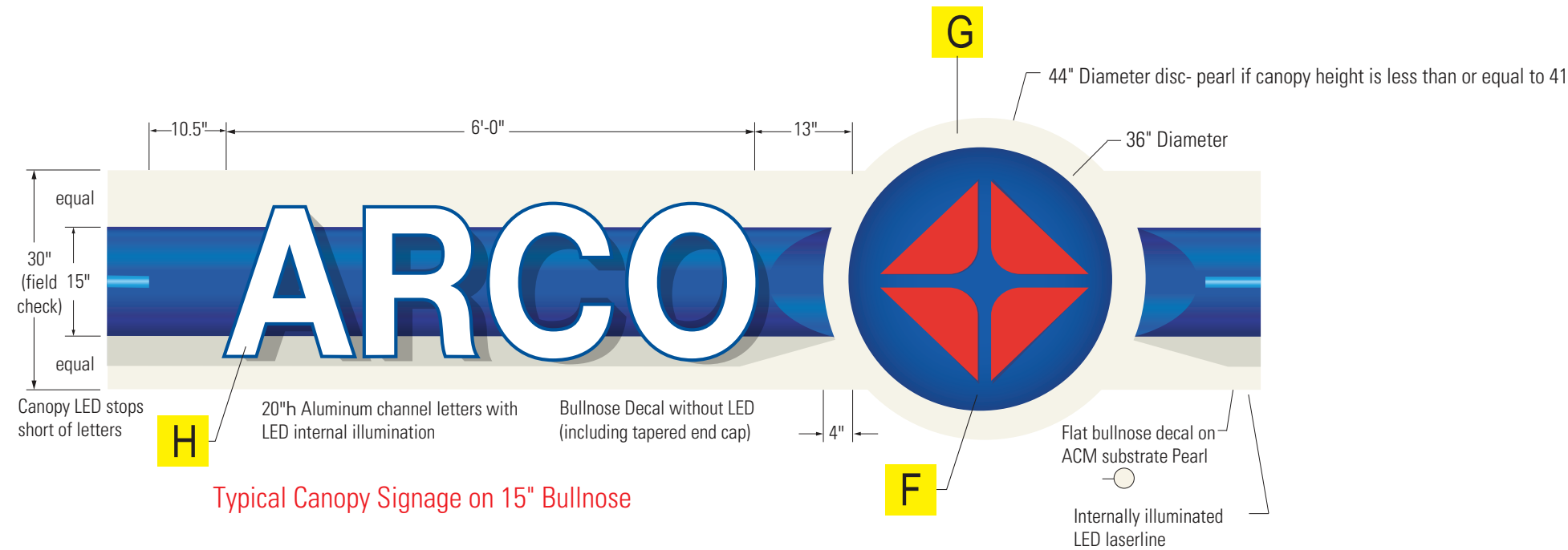
Notes

MAP



Approved By _____

Date _____

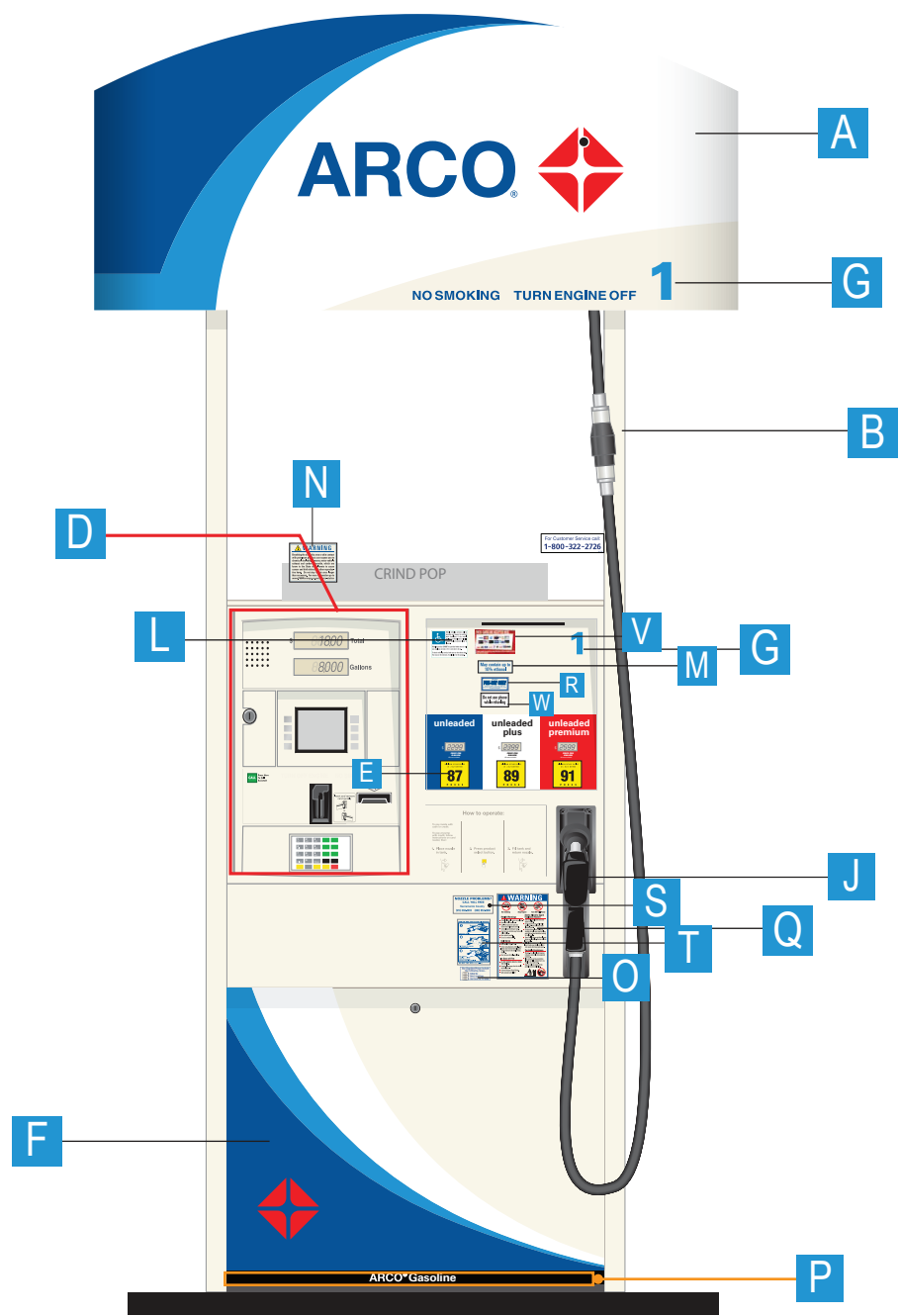


*Above shows an example of how the clearance sign should look. It is up to the installer to apply decal that shows the correct height of the specific canopy.

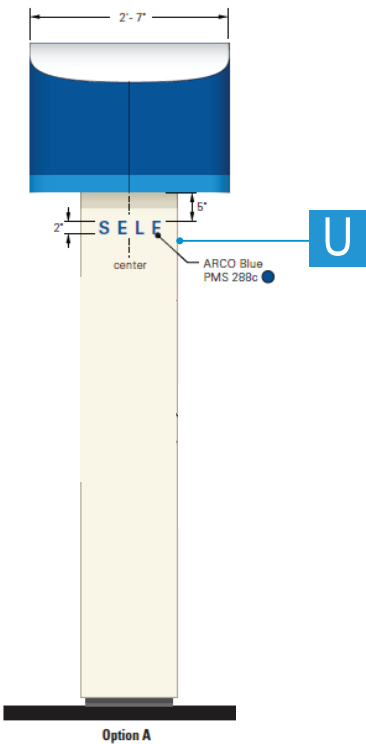
Unless prior approval has been given by the ARCO Image Manager: The decals shown in this rendering are the only decals approved by ARCO. The failure to remove existing decals, or the installation of any additional decals will be considered non-compliant with ARCO Brand Standards.

REMOVE ALL UNAPPROVED SIGNAGE FROM DISPENSERS

See Site notes page for specific paint codes and contact info.



EXISTING DISPENSER



- A

☒

Install ARCO Spec Valance (as shown)
- B

☒

Install Pearl Risers
- C

☒

Install Crind Hardware
- D

☒

For all dispensers, panel surrounding electronics must be one of the following colors: Pearl, White, or Black
- ☒

For Existing Dispensers only:
- ☒

Current electronic panel meets ARCO Standards
- ☐

Current electronic panel DOES NOT meet ARCO standards
- E

☒

Apply ARCO Branded Grade Decals
- F

☒

Install ARCO Branded Door skirt
- G

☒

Apply 2 ½" Pump Numbers Note: Decal supplied should have ARCO Lt. Blue number with Pearl background
- H

☐

ARCO Brochure Holder
- I

☒

Install applicable octane decals
- J

☒

Install Correct Nozzle Covers
- K

☐

Install Diesel Actuator Button
- L

☒

ADA Decal
- M

☒

Apply 10% Ethanol decal (As required by code)
- N

☒

Prop 65 Decal (CA only)
- O

☒

Tax Decal
- P

☒

ARCO Gasoline Decal
- Q

☒

HSSE Decal (if required)
- R

☒

Pre-Pay Decal
- S

☒

Nozzle Problems Decal
- T

☒

Clean Air Nozzle Decal
- U

☒

Self Decal
- V

☒

Install ARCO Credit card acceptance decal
- W

☒

Do Not Use Phone When Fueling decal
- X

☐

Tap To Pay Interface

Notes

*** Areas not covered by decal must be painted black or pearl to meet brand standards

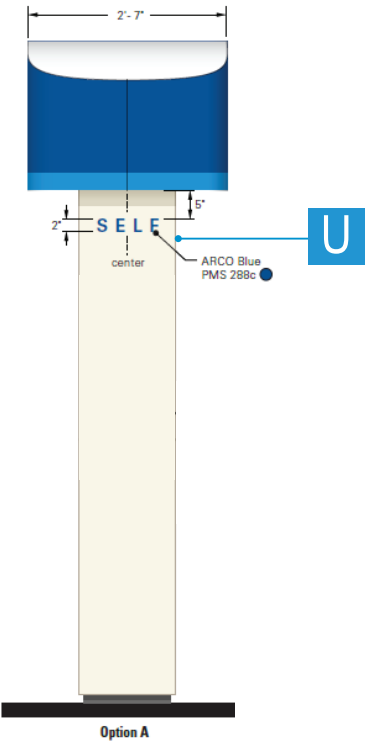
Unless prior approval has been given by the ARCO Image Manager: The decals shown in this rendering are the only decals approved by ARCO. The failure to remove existing decals, or the installation of any additional decals will be considered non-compliant with ARCO Brand Standards.

REMOVE ALL UNAPPROVED SIGNAGE FROM DISPENSERS

See Site notes page for specific paint codes and contact info.



EXISTING DISPENSER



- ☒ A Install ARCO Spec Valance (as shown)
- ☒ B Install Pearl Risers
- ☒ C Install Crind Hardware
- ☒ D For all dispensers, panel surrounding electronics must be one of the following colors: Pearl, White, or Black
 - For Existing Dispensers only:
 - ☒ Current electronic panel meets ARCO Standards
 - ☐ Current electronic panel DOES NOT meet ARCO standards
- ☒ E Apply ARCO Branded Grade Decals
- ☒ F Install ARCO Branded Door skirt
- ☒ G Apply 2 1/2" Pump Numbers Note: Decal supplied should have ARCO Lt. Blue number with Pearl background
- ☐ H ARCO Brochure Holder
- ☒ I Install applicable octane decals
- ☒ J Install Correct Nozzle Covers
- ☐ K Install Diesel Actuator Button
- ☒ L ADA Decal
- ☒ M Apply 10% Ethanol decal (As required by code)
- ☒ N Prop 65 Decal (CA only)
- ☒ O Tax Decal
- ☒ P ARCO Gasoline Decal
- ☒ Q HSSE Decal (if required)
- ☒ R Pre-Pay Decal
- ☒ S Nozzle Problems Decal
- ☒ T Clean Air Nozzle Decal
- ☒ U Self Decal
- ☒ V Install ARCO Credit card acceptance decal
- ☒ W Do Not Use Phone When Fueling decal
- ☐ X Tap To Pay Interface

Notes

*** One of the two 3+1 dispensers is a single sided use dispenser. Only one side will be branded with operating decals

*** Areas not covered by decal must be painted black or pearl to meet brand standards



Front Elevation



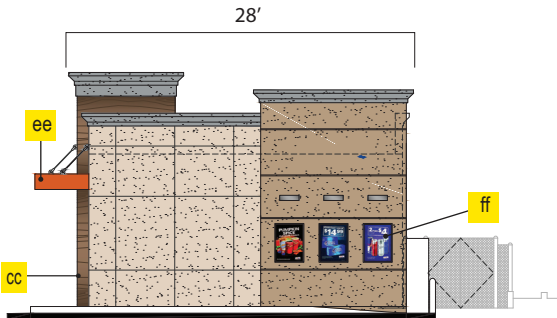
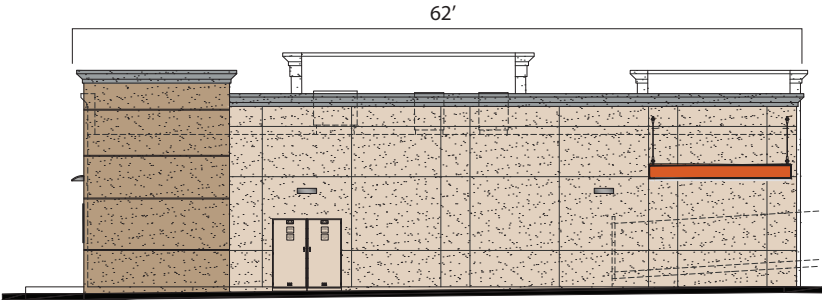
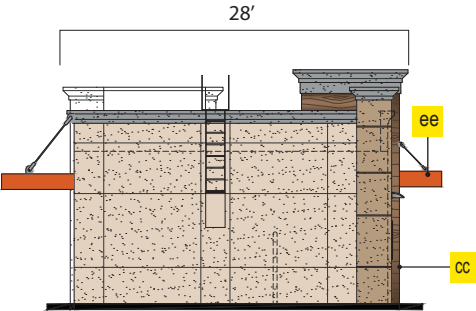
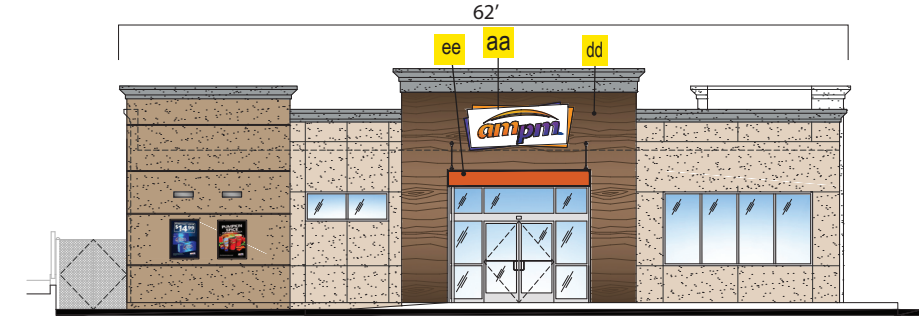
Left Elevation



Back Elevation



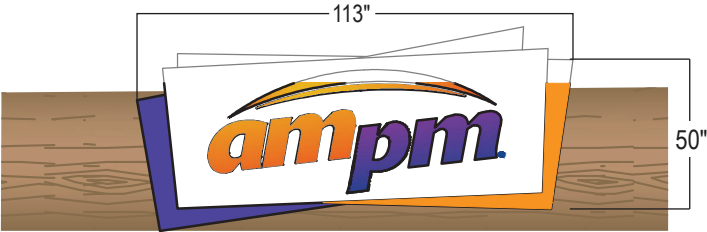
Right Elevation



See Site Notes page for specific paint codes and contact info.
Conversion

- aa** ☒ Install ampm building sign: (Qty. 1)
☐ 88.25" x 39" Illuminated AMPM Sign
☒ 113" x 50" Illuminated AMPM Sign
☐ 147" x 65" Illuminated AMPM Sign
- bb** Exterior Building Walls
☐ to be painted Brandy Cream- Satin Finish ☐ to be kept natural ☒ NTI
- cc** Exterior Tower Walls
☐ Install new woodgrain ☐ To be kept natural ☒ NTI
- dd** Building Fascia
☒ Install new woodgrain ACM ☐ Paint Fascia ☐ Install Vinyl ☐ NTI
- ee** Orange Stripe
☒ Install new Orange ACM ☐ Paint gutters orange (PMS 166) ☐ NTI
- ff** ☒ Install POS Wall Frames (Qty: 5)

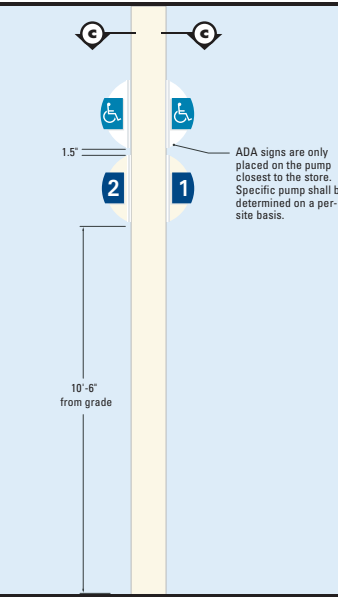
FASCIA DETAIL



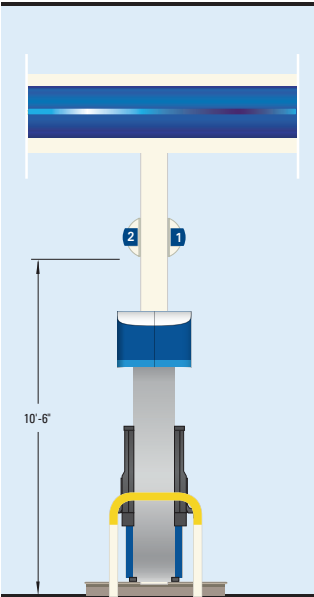
NOTES

APPROVED EXCEPTIONS:
Medium ampm sign (instead of large)
Orange acm only over front door area
5 POP signs (instead of 6)

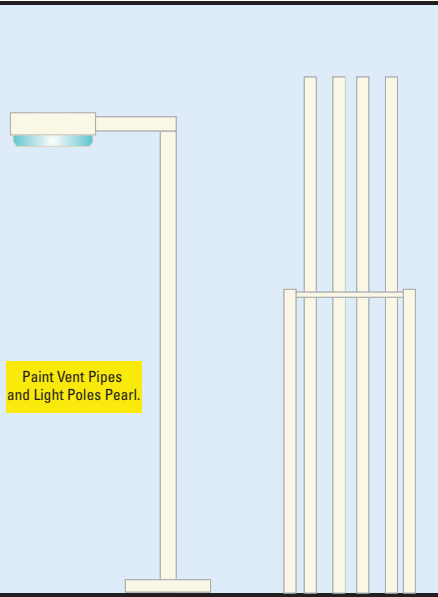




B Front Elevation- Painted column
SCALE: NTS



C Elevation-Typical undercanopy (startergate)
SCALE: NTS



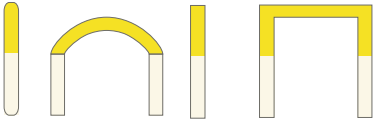
D Elevation-Vent Pipes and Light Poles
SCALE: NTS



Existing painted curbs need to be painted **Warm Grey (c.12)**. If curbing is unpainted, they may remain unpainted.



Existing painted islands need to be painted **Warm Grey (c.12)**. If islands are unpainted, they may remain unpainted.



Paint Bollards TOP 1/3 **Yellow (c.03)**; BOTTOM 2/3 **Pearl (c.01)**. If bollards are stainless they do not need to be painted.



Curbs with integrated bollard are to be painted **Warm Gray (c.02)**. TOP 1/3 of integrated bollard to be painted **Yellow (c.03)**.



Background Stripe
SKU#: 819381-1

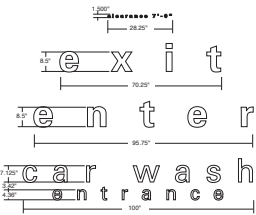


Background Stripe
SKU#: 819381-1



Clearance Bar
SKU#: 531864

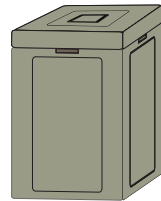
Materials:
1. XL 1002
2. Premask
Finishing:
1. Face cut
2. Premask
3. Trim cut
Colors:
1. White



BP/ARCO Car Wash Legend Set



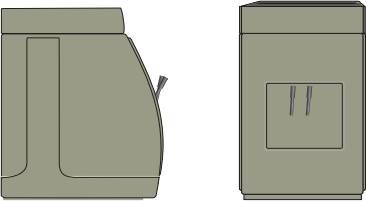
hand warmers - color specifications



Waste Container
Monterey Cliff



Cigarette Disposer
Monterey Cliff
SKU#: 8002332-A



All in One - Side View / Front View
Monterey Cliff

Notes

For all questions regarding here to locate paints, contact your local Benjamin Moore, Sherwin Williams, or ICI Paints.

Benjamin Moore
877-626-5676
www.benjaminmoore.com

ICI (now operated by Glidden)
888-615-8169 Opt. 2
www.gliddenprofessional.com

Sherwin Williams
847-330-6262
www.sherwin-williams.com

Anchor Paint
405-831-9446
www.anchorpaint.com

INTERIOR MATERIALS

	L1 WOOD PLASTIC LAMINATE CABINET DOORS	Formica #9484-NG Oxidized Beamwood Natural Grain
	CT1 COUNTER TOP FOR COFFEE, HOT FOOD AND CASHIER	Formica #757 Luna Sand Solid Surface Material
	CT2 COUNTER TOP FOR FOUNTAIN AREA	Stainless Steel
	FT1 FLOOR TILE FOR SALES AREA	Porcelain Tile - Daltile - Portfolio PF08 Chocolate 12"x24" Grout - Custom Building Products #540 Truffle
	QT1 FLOOR TILE FOR BACKROOM AND OFFICE	Quarry Tile - Daltile - Abrasive Grain Field Tile OQ40 Red Blaze 6"x6" Grout - Custom Building Products #540 Truffle
	WB1 WALL BASE FOR SALES AREA	Daltile - Portfolio Cove Base P36C9T PF08 Chocolate 6"x12" Grout - Custom Building Products #540 Truffle
	WB2 WALL BASE FOR BACKROOM AND OFFICE	Daltile - Quarry Cove Base Q-3565 OQ40 Red Blaze 5"x6" Grout - Custom Building Products #540 Truffle
	WB3 WALL BASE FOR RESTROOMS	Daltile - Portfolio Cove Base P36C9T PF11 "Noce" 6"x12" Grout - Custom Building Products #386 Oyster Gray
	WT1 WALL TILE FOR RESTROOMS	Daltile - PF11 "Noce" 12"x24" Grout - Custom Building Products #386 Oyster Gray
	WT2 WALL TILE FOR RESTROOMS	Daltile - PF13 "Season Blend" 12"x27" Sheet Grout - Custom Building Products #386 Oyster Gray
	WT4 WALL TILE FOR PREP AREA	Daltile Forest Park FP95 "Summertree" 6"x36" Grout - Custom Building Products #386 Oyster Gray

INTERIOR PAINT

	P4 WALL PAINT FOR SALES, BACKROOM AND OFFICE - Eggshell finish - Benjamin Moore, 1079, "Bayshore Beige"
	P5 WALL PAINT FOR DOORS/FRAMES - Semi-Gloss finish - Benjamin Moore, 2121-70, "Chantilly Lace"
	P6 PAINT FOR COFFEE NICHE - Semi-Gloss finish - Benjamin Moore, 2096-30, "Grandfather Clock Brown"

INTERIOR PAINT

	P7 PAINT FOR FOUNTAIN AREA - Semi-Gloss finish - Benjamin Moore, 2049-50, "Spectra Blue"
	P8 PAINT FOR HOT FOOD RETURN WALL - Semi-Gloss finish - Benjamin Moore, 2019-30, "Sunflower"
	P9 PAINT FOR COOLER AREA - Eggshell finish - Benjamin Moore, 768, "Atlantis Blue"
	P10 PAINT FOR RESTROOM INTERIOR - Semi-Gloss finish - Benjamin Moore, PM-28, "Linen White"
	P11 PAINT FOR UPPER SOFFIT - Eggshell finish - Benjamin Moore, 2132-60, "Metallic Silver"
	P12 PAINT FOR CABINETS - - RAL 9005, "Jet Black"
	P13 PAINT FOR FOUNTAIN AREA CABINETS - Metallic finish - RAL 9006, "White Aluminum"
	P14 CEILING PAINT FOR SALES AREA AND CLEARSTORY WALLS/CEILING - Eggshell finish - Benjamin Moore, 2108-40, "Stardust"

EXTERIOR PAINT

	P1 WALL PAINT - Satin finish - Benjamin Moore, 1077, "Great Plains Gold"
	P2 WALL PAINT - Satin finish - Benjamin Moore, 1030, "Brandy Cream"
	P3 WALL PAINT - High Gloss finish - Benjamin Moore, 2121-30, "Pewter"

EXTERIOR MATERIAL

	ACM1 ALUMINUM COMPOSITE MATERIAL - Pantone PMS 166c, "Orange"
	ACM2 ALUMINUM COMPOSITE MATERIAL - Alucobond, "Rustic Walnut"

ADA BLUE

	10 ADA/Handicap Blue~ - Benjamin Moore , P58-30, "Handicap Blue", Safety/Zone marking latex
--	---

~Handicap Blue paint is used for pavement striping and marking on site (as required).

CANOPY EXTERIOR PAINT

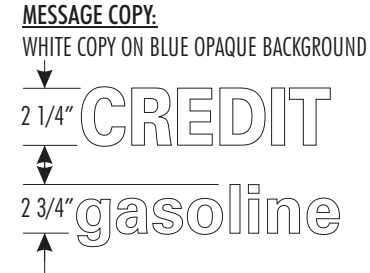
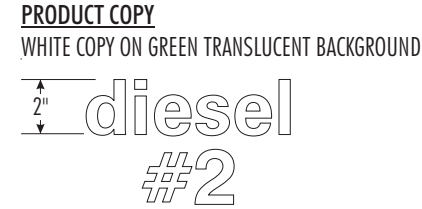
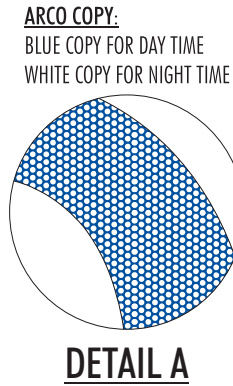
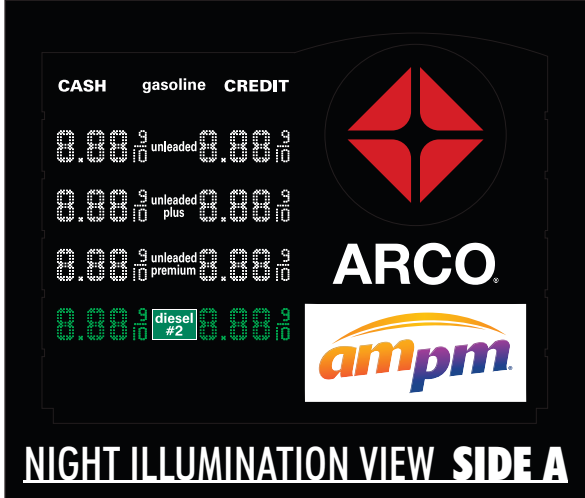
	01 PEARL - Benjamin Moore , OC-8, "Elephant Tusk" - P28 DTM (Gallon)
	02 WARM GREY - Benjamin Moore , 2137-40, "Desert Twilight" - P28 DTM (Gallon)
	03 YELLOW - Benjamin Moore , 2022-10, "Yellow" - P28 DTM (Gallon)
	04 HIGH HIDING WHITE - Benjamin Moore , 2123-70, "Ice Mist" - P28 DTM (Gallon)

ampm EXTERIOR SIGNAGE

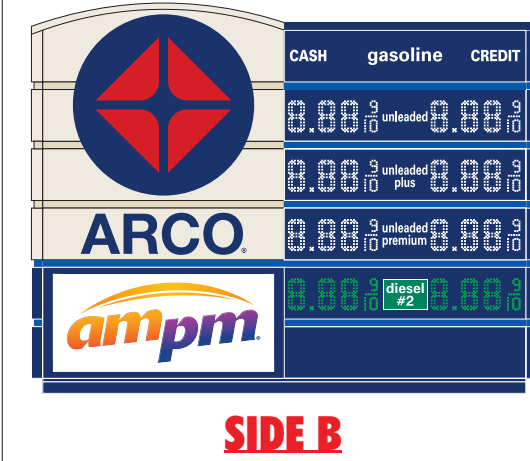
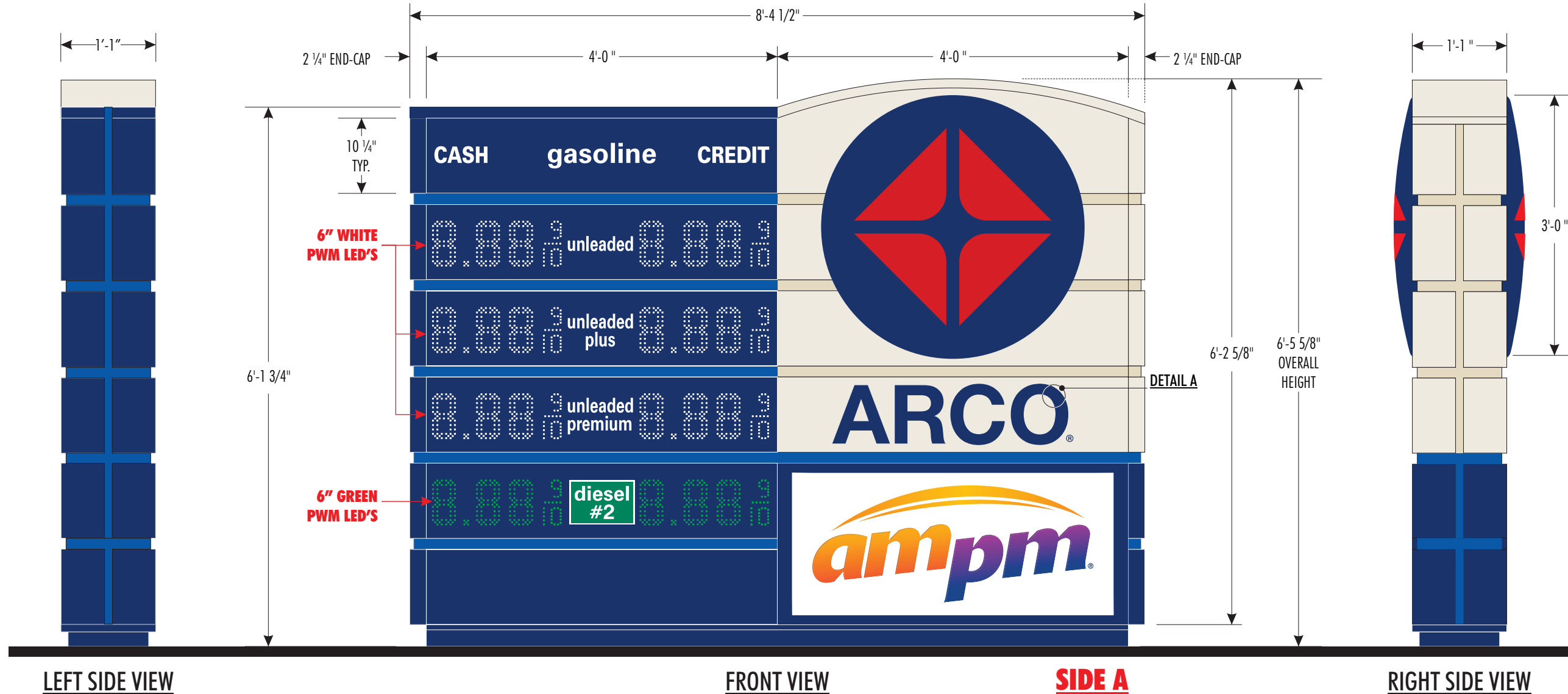
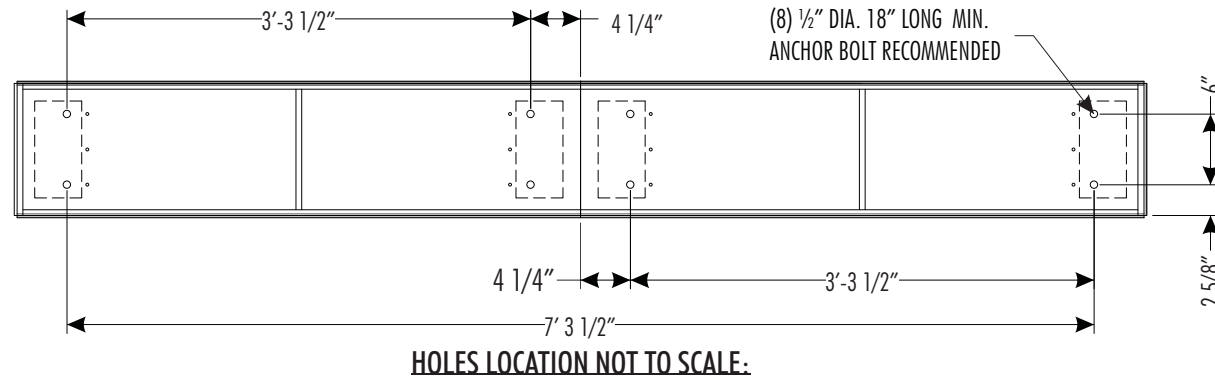
	ampm YELLOW - Pantone PMS 7408
	ampm ORANGE - Pantone PMS 166
	ampm PURPLE - Pantone PMS 266
	ampm BLUE - Pantone PMS 286

ARCO CANOPY SIGNAGE

	ARCO BLUE - Pantone PMS 288c
	ARCO MED. BLUE - Pantone PMS 301c
	ARCO LT. BLUE - Pantone PMS 2935c
	ARCO RED - Pantone PMS 485c



NOTE: CUSTOMER TO PROVIDE PWM LEDS



REVISION HISTORY:			
REV	DATE	REQUESTED BY	UPDATED BY
A	05/15/20	J.V.	D.Q/GP.
REVISION DESCRIPTION			
INITIAL DRAWING RELEASE			

PARTS LIST:	
ITEM	DECORATION
A	PEARLESCENT
B	PMS 288C
C	RED PMS 485
D	PMS 2935
E	PMS 348
F	WHITE
G	BLOCKOUT
E	DIGITAL PRINT

MATERIAL LIST	
1	.118" POLYCARBONATE- SPARK/ TOP CAP
2	.093" POLYCARBONATE- PANELS /ENDCAP

SECOND SURFACE DECORATION

NOTE: WEIGHTS AND MEASURES

Weights and Measures requirements vary by State, County and Municipality. It is the responsibility of the customer to confirm that these graphics are compliant with all local Regulations, Statutes and Ordinances. Compliance must be confirmed by the party obtaining the permit. SignResource is not liable for misinterpretation of local Weights and Measures requirements or any rule changes that may occur after the order has been placed.

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1. TOLERANCE (UNLESS NOTED)
 - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
 - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH ILL 48

ARCO 47 SQ. FT. SIGN ILLUMINATED DOUBLE FACE MODULAR MONUMENT			
VOLTAGE:	CIRCUIT:	CURRENT:	DESIGN LOAD:
DRAWN BY: DOMCHE		CHECKED BY: GUS P	
CLIENT: ARCO			
LOCATION: ARCO020/16966 VALLEJO CA			
QUOTE: 333631		DATE: 05/15/2020	
DRAWING/PART # AM47LED7P-068		REV A	SHEET # 1 OF 1
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Public Notification

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500

Feet

Addressee Layer

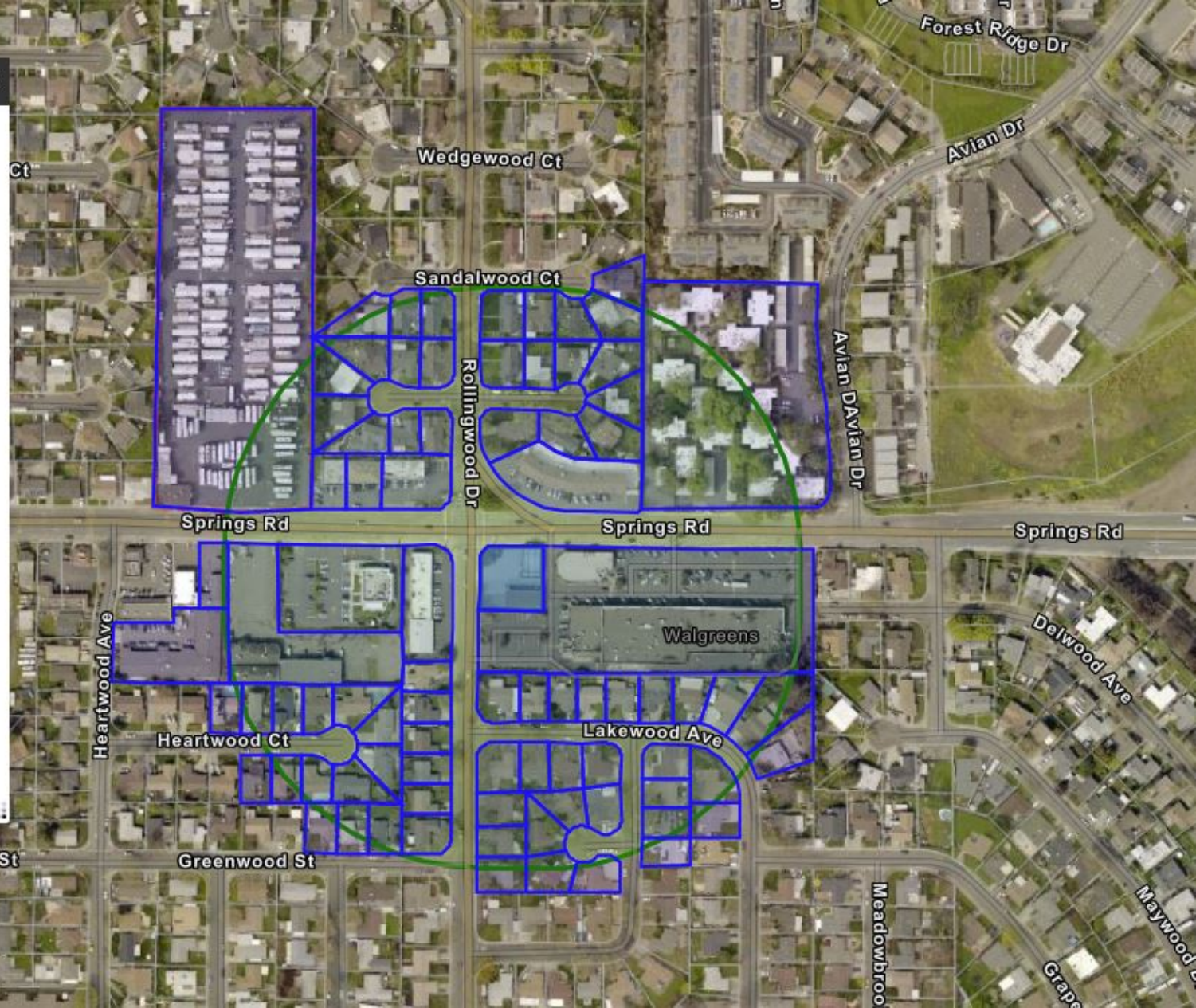
Mailing Address Label

Format

Comma-separated values

85 addressees found; do you want to continue?

Download



Other



MEMORANDUM PLANNING DIVISION

DATE: June 21, 2021 **Item No.:** 15-A
TO: City of Vallejo Planning Commission
FROM: Christina Ratcliffe, Interim Planning & Development Services
Director
Jeff Fugelsang, Contract Planner
SUBJECT: The Nimitz Group, LLC - 2021 Development Agreement Annual Review (DA #21-0001) –
Informational Item

BACKGROUND

In September 2001, the City entered into a Development Agreement (DA) with Lennar Mare Island, LLC (LMI) for the development of approximately 670 acres on Mare Island. The City determined that entering into the DA would promote orderly growth and quality development on Mare Island in accordance with the goals and policies set forth in the Mare Island Reuse Plan and Specific Plan. The City would also benefit from increased employment, commercial, housing and recreational opportunities created by the Lennar Mare Island Development Project for Vallejo residents.

On November 14, 2019, The Nimitz Group, LLC took ownership of the property and assumed responsibility as the successor entity under September 12, 2001 Development Agreement for Mare Island.

Pursuant to Vallejo Municipal Code Chapter 17.20 and Article V (Annual Review) of the DA, The Nimitz Group, LLC is required to prepare and submit an Annual Review of their development activity under the DA to the Development Services Director or designee. Such review is to be initiated during the month of March each year, commencing in March 2002. The Development Services Director, or designee is required to determine if the DA is being performed in accordance with its terms and conditions, and to notify The Nimitz Group, LLC and the Planning Commission in writing of such determination. If the Director is satisfied with the Annual Review and determines that The Nimitz Group, LLC is in compliance, the review for that period is concluded. However, if the Director is not satisfied that The Nimitz Group, LLC is in compliance with the DA, the matter is referred to the Planning Commission for action pursuant to VMC Section 17.20.030(B).

2020 ANNUAL REVIEW

In April 2021, staff submitted a written notice to the Nimitz Group, LLC to initiate the 2021 Annual Review for activity performed in 2020. Staff received a letter from The Nimitz Group, LLC to Christina Ratcliffe, Interim Planning & Development Services Director, dated April 30, 2021, providing the Annual Review for 2020. Staff subsequently requested additional information and clarification to support the review, via a memo to Brian Nagy, The Nimitz Group/Southern Land Company (SLC) dated May 21, 2021. Based

on staff's assessment of the revised Annual Review letter dated May 28, 2021, the Interim Director is satisfied that the DA is being performed substantially in accordance with its terms and conditions, with the exception that LMI ceased payment of the percentage rent provided for in the Acquisition Agreement (AA).

Under the terms of DA Section 2.2, Compliance with the AA, LMI is to faithfully comply with the terms of the AA. Per Section 7.3.4 of the AA, Sublease Revenue Allocation after the Preliminary Feasibility Period, LMI is required to pay the City "Gross Lease Revenues" equal to five percent (5%) of the Gross Lease Revenues from subleases of the Sub-LIFOC (Lease in Furtherance of Conveyance) Parcels and the Reuse Area Subleases. LMI paid this Gross Lease Revenue to the City for approximately fifteen (15) years. However, effective December 2017, LMI ceased making payments to the City. Annualized payments to the City under this section typically would exceed \$400,000. This issue was flagged in 2019 during the annual review, however, with the transition from LMI to SLC, the issue has yet to reach final resolution. However, staff will be discussing the matter with the parties as soon as possible.

This memo serves as notification to the Planning Commission of the determination of "substantial" compliance pursuant to VMC Section 17.20.030(A). Therefore, the 2021 Annual Review for the year 2020 is concluded.

The Annual Review letter includes the following highlights for 2020:

- In February 2020, The Nimitz Group announced their selection of award-winning developer the Southern Land Company ("SLC") to help transform Mare Island into a world-class destination. SLC is also responsible for running the day-to-day development work on the Island including negotiating leases and acts as the owner's representative.
- Over the following months, SLC focused on refining development plans, recruiting additional members to the project team, and beginning the long-term planning required to support the future vision for Mare Island.
- The SLC team began preliminary work on an updated Island Plan, which will form the basis of a new Mare Island Specific Plan. The SLC team estimates a draft Specific Plan will be completed in mid- 2022. In 2022, the City and SLC team will also begin preparation of an Environmental Impact Report (EIR) for the Specific Plan. The SLC team estimates that the new Specific Plan and EIR will be submitted for City approval in late 2023. Lastly, the SLC team is looking at the feasibility of conducting preliminary improvements to the Historic Core/Connolly Street corridor to begin the activation/revitalization of Mare Island prior to completion of the new Specific Plan.
- SLC reviewed and renegotiated the North Mare Island Purchase and Sale Agreement, presented the new terms to the City Council and received approval on the new term sheet.
- SLC received approval for a short-term license agreement on North Mare Island. This agreement included approval to install a security fence and expand Golden Bay Security's scope (at SLC's cost) to include the City and Navy owned North Island properties.
- SLC worked and invested with Factory OS (~\$4 Million) to reactivate Building 678 which allowed an additional 100,000 square feet of commercial/industrial building space to be used for production and added approximately 250 new jobs to the area – 65% of which are for Vallejo residents.

- SLC worked with Mare Island Dry Docks (MIDD) to install a Homeland Security required fencing system (~\$300K) which (upon completion) facilitated additional MIDD contracts bringing approximately 52 new, permanent and approximately 1,700 contract workers (subcontractors, crew and surveyors) to the island.
- Employment data collection was revised such that reported numbers only include those businesses that lease space from SLC. The net effect dropped gross year over year job numbers even though overall employment figures for SLC leased space increased from 2,079 in June 2020 to 2,665 in December 2020 – an increase of 586 jobs.

The 2020 Nimitz Group, LLC Annual Review letter and attachments are provided for your review.

RECOMMENDATION

This item is informational only; no Planning Commission action is required.

ATTACHMENTS

1. The Nimitz Group, LLC 2021 Annual Review Letter and Attachments for Activity in 2020
2. 2001 Development Agreement between Lennar Mare Island, LLC and City of Vallejo (Available On-line)
3. 1999 Acquisition Agreement between Lennar Mare Island, LLC and City of Vallejo (Available On-line)

Attachments 2 and 3 can be viewed on the City's website using the following link:

<http://www.cityofvallejo.net/cms/One.aspx?portalId=13506&pageId=6901197>



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May 28, 2021

Ms. Christina Ratcliffe
Interim Planning & Development Services Director
City of Vallejo
555 Santa Clara Street
Vallejo, CA 94590

Re: 2020 Annual Review
Development Agreement for Mare Island

Dear Ms. Ratcliffe:

On November 14, 2019, The Nimitz Group, LLC took ownership of the property which is the subject of the Development Agreement for Mare Island dated September 12, 2001.

In accordance with Section 5.2 of the Development Agreement by and between the City of Vallejo ("City") and The Nimitz Group, LLC ("Developer" or "TNG"), as amended and assigned, (the "Development Agreement"), and Chapter 17.20 of the Vallejo Municipal Code (the "Municipal Code"), Developer hereby initiates the annual review of the Development Agreement.

The 2020 highlights include the following:

- In February 2020, The Nimitz Group announced their selection of award-winning developer Southern Land Company ("SLC") to help transform Mare Island into a world-class destination. Over the following months, SLC focused on refining development plans, recruiting additional members to the project team, and beginning the long-term planning required to support the future vision for Mare Island. SLC is also responsible for running the day-to-day development work on the island including negotiating leases and acting as the owner's representative.
- The SLC team began preliminary work on an updated Island Plan which will form the basis of a new Mare Island Specific Plan. The SLC team estimates a draft Specific Plan will be completed in mid-2022. In 2022 the City and the SLC team will also begin preparation of an Environmental Impact Report (EIR) for the Specific Plan. The SLC team estimates that the new Specific Plan and EIR will be submitted for City approval in late 2023. Lastly, the SLC team is looking at the feasibility of conducting preliminary improvements to the Historic Core/Connelly Street corridor to begin the activation/revitalization of Mare Island prior to completion of the new Specific Plan.



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- The SLC team reviewed and renegotiated the North Mare Island Purchase and Sale Agreement, presented the new terms to the City Council and received approval on the new term sheet.
- SLC received approval for a short-term license agreement on North Mare Island. This agreement included approval to install a security fence and expand Golden Bay Security's scope (at SLC's cost) to include the City and Navy owned North Island properties.
- SLC worked and invested with Factory OS (~\$4MM) to reactivate Building 678 which allowed an additional 100,000 square feet of commercial/industrial building space to be used for production and added approximately 250 new jobs to the area – 65% of which are from Vallejo.
- SLC worked with Mare Island Dry Docks (MIDD) to install a Homeland Security required fencing system (~\$300K) which (upon completion) facilitated additional MIDD contracts bringing approximately 52 new, permanent and approximately 1,700 contract workers (subcontractors, crew and surveyors) to the island.
- Employment data collection was revised such that reported numbers only include those businesses that lease space from SLC. The net effect dropped gross year over year job numbers even though overall employment figures for TNG leased space increased from 2079 in June 2020 to 2,665 in December 2020 – an increase of 586 jobs.

Please note that certain sections of the Development Agreement provide factual statements or define terms and requirements and do not require detailed information. Many sections of the Development Agreement (including 1.1, 1.2, 1.3, 2.1.1, 2.1.3, 2.3, 2.3.1, 2.3.2, 2.3.3, 2.3.4, 2.3.5, 2.3.6, 2.3.7, 2.3.8, 2.3.10, 2.3.11, 2.10., 2.12, 2.14, 3.1.2, 3.1.5, 3.1.6, and 3.1.14) are informational only.

Section 1.4 provides that Developer shall at the time of each annual review submit to the City any proposed changes to the Projected Entitlements, the Schedule of Performance, and the intended build-out schedule of the portions of the Project that have not yet been completed.

General Overview: In December 2020, the City Council approved the proposed business terms for acquisition of North Mare Island. These business terms are the basis of the Mare Island Disposition and Development Agreement (DDA) that the City and Nimitz Group are currently negotiating. The Nimitz Group expects to complete the DDA negotiations in the second quarter of 2021 and approval by the City Council in the fourth quarter of 2021.

In addition to the North Mare Island negotiations, The Nimitz Group and Southern Land Company began preliminary work on an updated Island Plan which will form the basis of a new Mare Island Specific Plan. The Nimitz Group estimates a draft Specific Plan will be completed in mid- 2022. In 2022 the City and Nimitz will also begin preparation of an Environmental Impact Report (EIR) for the Specific Plan. Nimitz estimates that the new Specific Plan and EIR



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will be submitted for City approval in late 2023. Lastly, The Nimitz Group is looking at the feasibility of doing some preliminary improvements to the Historic Core/Connelly Street corridor to begin the activation/revitalization of Mare Island prior to completion of the new Specific Plan.

The Schedule of Performance relies heavily on the environmental cleanup. As part of the transfer agreement, LMI retained responsibility for the cleanup actions within Investigation Areas C1 and C2 and Building 84. Detailed information regarding environmental cleanup is attached to this letter as Exhibit A.

Environmental Cleanup:

As part of the sale of from Lennar Mare Island (LMI) to The Nimitz Group (TNG), LMI retained responsibility to complete the environmental cleanup of Investigation Areas C1, C2 and Building 84 at Mare Island to No Further Action (NFA) status. LMI continued to make progress with environmental cleanup activities within these two Investigation Areas during 2020, including regulatory agency concurrence on completion of cleanup actions within the EETP for polychlorinated biphenyl (PCB) sites at Buildings 116 and 742, and submission of over 50 Sampling and Analysis Plans, Cleanup Plans, Work Plans, Groundwater Monitoring Reports, Implementation Reports and Land Use Covenant (LUC) documents; and continued investigations and remedial actions at numerous sites.

TNG assumed monitoring and reporting for seven recorded area-wide Land Use Covenants (LUCs), two recorded engineered cap Land Use Covenants (LUCs), and 18 recorded PCB-Specific LUCs, in accordance with the Amended LUC Operations and Maintenance Plan for the EETP, Former Mare Island Naval Shipyard. In 2020, annual LUC inspections were conducted for Investigation Area (IA) A3 South; the engineered cap in IA B.1 (Crane Test Area); the commercial areas of IA B.2-1 and B.2-2; the Area-Wide, BGM Triangle and 11 PCB-Specific Sites in IA C3; the commercial areas and 7 PCB-Specific Sites in IA D1.2; and the IR10/IR13 Area of IA H2. Annual Inspection Reports (AIRs) for these recorded LUCs were submitted to the State Department of Toxic Substances Control (DTSC) by March 31, 2020.

Major document submissions to DTSC and Water Board included, but were not limited to those included in Exhibit A.

DTSC and LMI continued to make progress on completion of LUCs, which were recorded for 12 PCB-Specific sites within IA C2 in 2020.

LMI initiated and/or performed ongoing remedial investigations and/or activities during 2020 at:

A) Building 87 PCB Site UL01, IA C1 (Continuation of Investigation and Remediation).



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- B) Building 91 Mercury Remediation, IA C1 (Continuation of Remediation)
- C) DOM-6 Corrective Action Plan (CAP) Implementation, IA C1 (Continuation of Remediation)
- D) DOM-6 CAP Implementation Cooling Water Loop - Intake Arm (CWL-IA) Quarterly Groundwater Monitoring Event, IA C1 – March 2020
- E) Building 116 PCB Site UL01, IA C2 (Completion of Remediation)
- F) Oil Houses 434 and 862 and Cistern 36 (Continuation of remediation), IA C2
- G) Buildings 85/87/271 Additional Soil Vapor/Indoor-Air Investigation Work Plan Implementation, IA C1 (Soil Boring/Sampling, Dry Weather Indoor-Air/Soil-Gas Sampling).

LMI is planning on finalizing LUC issues and completing remedial investigations and/or actions at numerous "unknown" environmental condition sites in 2021, including the Building 85/89/271 Area CVOCs in Soil Gas, IWPS4/OWS T-2/IR03, IRI5, and various PCB Sites (Buildings 87, 91, 116). In addition, LMI plans to finalize the IA C2 Remedial Action Plan (RAP) for Public Review and make significant progress in obtaining a No Further Action (NFA) certification for that investigation area. LMI plans to finalize and submit the IA C1 RAP for Public Review to the regulatory agencies in mid-2021.

Several issues have delayed and may continue to delay progress of the EETP environmental cleanup, primarily, the multi-agency review process and changing and/or enhanced cleanup standards. Additional concerns may arise from the possibility of cross contamination by Navy-retained conditions in yet to be cleaned up and transferred areas with areas previously closed. LMI continues to work cooperatively with the City and the Navy on island-wide remedial issues.

Section 2.1.2 requires Developer to (a) construct infrastructure in accordance with the "Infrastructure Master Plan," (b) submit a Demolition Phasing Plan within 120 days of the date of execution of the Development Agreement for approval by the City, and (c) seek to comply diligently and in good faith with the "cumulative job projection" set forth in Exhibit D.

- Developer is in compliance with Section 2.1.2 of the Development Agreement.
 - Section 2.1.2(a): In 2020 Developer focused on maintenance of existing infrastructure during the COVID 19 lock down. There were no major infrastructure upgrades made during the year rather focus was made on keeping



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the existing commercial businesses afloat during the challenging pandemic year. Some of the improvements included:

- Ongoing water, sewer, storm drain, gas and electrical maintenance and upgrades within existing buildings including the rehabilitation of Building 678 for Factory OS expansion.
 - Extension of fiber-optic cable by both AT&T and Inyo throughout the island.
 - Continued rehabilitation of Charlie (Storm) Basin which was started by Lennar and continued by Developer. Charlie Basin is located on the South side of the causeway and North of Building 509.
 - Completion of the B4 Storm Water Basin continued throughout the year and was 95% complete at the end of 2020. The B4 Storm Water Basin is located West of the Marine Corp Barracks known as M-37.
- Section 2.1.2(b): Prior to any building demolition, the building must be abated and cleared of any hazardous materials. There were no building demolitions performed in 2020. However, in 2021, Developer intends to begin the drafting of a New Specific Plan for Mare Island that will include a new master infrastructure plan, and information relating to overall phasing including a proposed demolition plan.
 - Section 2.1.2(c): Mare Island job growth (as tracked by Developer via biannual surveys) is submitted to the City twice each year. The December 2020 job count, conducted by TNG, identified 2,665 permanent jobs on Mare Island. This number does not include construction jobs, consultants, contract employees, or Touro students. Please note that this job survey methodology is a change to past procedures. Historically LMI reported jobs survey information related to Organizations unrelated to their activities on Mare Island – non-tenants and Federal Agencies. These organizations are not responsive to requests coming from TNG for information. The that end, TNG is only comfortable reporting information related to its own tenants and will only be reporting jobs information on that group. This and other historic data are included in Exhibit B (attached).

The groups that TNG will not be reporting on going forward are shown below. Additionally, the jobs information LMI last reported for these organizations in June 2019 are included below:

Non-Tenant & Federal Agencies

<u>Reported by LMI</u>	<u>6/30/2019</u>
Alco Iron & Metal	32
Caretaker Site Offices (US Navy)	1
Dept. of Veterans Clinic	153.5
Earthquake Protection Systems	90.5



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U.S. Army Reserve 50/50	62.0
U.S. Army Reserve 50/50	63.0
U.S. Forest Service	249.0
U.S. Geological Survey	22.0
Vallejo Police Department	1.5
Vallejo Unified (MI Fitness Academy)	34.5
	709.0 Total

Section 2.2 requires the Developer to comply with the Acquisition Agreement.

- Developer is in compliance with Section 2.2 of the Development Agreement. There have been eleven (11) amendments to the Acquisition Agreement. The first nine (9) amendments were short time extensions enacted between 1999 and 2002. The tenth amendment (2002) focused on conformance with the Eastern Early Transfer Agreement (EETP) requirements between the Navy and the regulatory community. The eleventh amendment (2019) was executed to clarify the current status of the former Badge & Pass Office site and the off-island railroad.

Section 2.3.3 requires the Developer to comply with all lawful requirement of, and obtain all permits and approvals required by, regional, state and federal agencies having jurisdiction over Developer's activities in furtherance of the Development Agreement.

- Developer is in compliance with Section 2.3.3 of the Development Agreement. Developer works closely with all federal, state and local agencies involved in development and environmental activities on Mare Island. Agencies involved in this process include but are not limited to US Environmental Protection Agency (USEPA), California Environmental Protection Agency (CALEPA), Department of Toxic Substance Controls (DTSC), Regional Water Quality Control Board, Bay Conservation and Development Commission (BCDC), Army Corp of Engineers, State Land Commissions, Solano County and City of Vallejo. Current permits in place or renewed in 2020 include the following:
 - United States Environmental Protection Agency Waste Generator Identification Number
 - Storm Water Pollution Prevention Program (SWPPP)
 - Storm drainage permits
 - Soil Disturbance Approvals
 - Hazardous Materials Management Program.
 - Land Use Covenants (LUCs)
 - San Francisco Bay Conservation and Development Commission (BCDC) permits
 - Bay Area Air Quality Management District (BAAQMD) Permits
 - Certificate of Appropriateness (COA)
 - Tentative Maps
 - Building Permits



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○ Unit Plans

Section 2.3.4 provides that Developer, and the City will cooperate in good faith to establish an equitable and mutually satisfactory funding mechanism for the construction of certain transportation infrastructure improvements.

- Developer is in compliance with Section 2.3.4. No new transportation infrastructure improvements were constructed or approved in 2020. However, it is important note that the new Specific Plan and EIR will include an in-depth analysis of street circulation and multi-modal transportation systems, which will form the basis of establishing funding mechanisms and strategies for transportation infrastructure improvements.

Section 2.3.9 requires the Developer to design and construct streets, roads, utilities, drainage systems, traffic control signs, markings, and signal systems, streetscape and street lighting according to engineering, design and construction standards as set forth in the Applicable Approvals, Future Approvals and Specific Plan.

- Developer is in compliance with Section 2.3.9 of the Development Agreement. No new street systems were constructed or approved in 2020. However, the new Specific Plan and EIR to be developed in 2021 will include an in-depth analysis of design details and construction standards regarding the streets, roads, utilities, drainage systems, traffic control signs, and lighting.

Section 2.4 addresses residential density by limiting the number of residential units (as defined in Section 2.4) to 1,400 units unless subsequently approved by the City.

- Developer is in compliance with Section 2.4. At the end of 2020, there were approximately 320 homes built and/or sold on the island by Lennar Homes and John Lang Homes. In addition, 40 for rent housing units (Q Quarters) are available on the island as of December 2020. To date, no application has been made to increase the residential density limit.

Section 2.5 requires the Developer to use its best efforts, in accordance with its own business judgement and taking into consideration market conditions and other economic factors influencing Developer's business decision, to commence or to continue development in a timely manner.

- Developer is in compliance with Section 2.5. In 2020, a new development team was being established in the middle of the COVID-19 pandemic. Considering the team building mode and pandemic challenges all around us, very little physical, development work was performed during the year. Nevertheless, TNG began preliminary work on an updated Island Plan that will form the basis of a new Mare Island Specific Plan. TNG estimates a draft Specific Plan will be completed in mid-2022. In 2022, the City and Nimitz will also begin preparation of an



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Environmental Impact Report (EIR) for the Specific Plan. TNG estimates that the new Specific Plan and EIR will be submitted for City approval in late 2023. Lastly, TNG is looking at the feasibility of conducting preliminary improvements to the Historic Core/Connolly Street corridor as a way to initiate activation/revitalization of Mare Island prior to completion of the new Specific Plan.

Section 2.6 requires that all existing and new utilities on the Property be placed underground.

- Developer is in compliance with Section 2.6 of the Development Agreement. All wiring will be underground where technically feasible. Although all future wiring will be below ground, there may be areas of the island where underground conditions may require some equipment (transformers, switchgear, etc...) to be located above ground.

Section 2.7 requires Developer to comply with the requirements of the Americans with Disabilities Act (AD) and all other requirements of applicable federal and state laws with respect to the development of the Project.

- Developer is in compliance with Section 2.7 of the Development Agreement. New development and building rehabilitations on Mare Island address ADA requirements. In 2020, the Developer continued working with the Building and Planning Divisions to address ADA access for all stakeholders on Mare Island. In this effort, improvements are generally implemented as occupancy occurs. Due to the effects of COVID 19 pandemic, limited amounts of building upgrades were made, and all available resources were redirected to help the existing Mare Island business community remain financially viable. There was one exception. In 2020, ADA investigation, review, design and/or improvements were included in Factory OS' significant expansion into Building 678 which lead to the addition of hundreds of additional jobs.

Section 2.8 provides that Developer will pay prevailing wages if and as required by applicable federal and state laws.

- Developer is in compliance with Section 2.8, as applicable. Developer is complying, and will comply, with all applicable federal, state and local laws regarding prevailing wages.

Section 2.9 requires Developer to use good faith efforts to hire qualified Vallejo residents or former Mare Island Naval Shipyard employees for new positions created by Developer in its hiring of employees related to the development and management of the Project. To the extent feasible, Developer shall also require its independent third-party contractors to do the same.

- Developer is in compliance with Section 2.9 of the Development Agreement. Developer includes language in leases that requests businesses to use best efforts to hire qualified Vallejo residents or former Mare Island Naval Shipyard employees. Although businesses are not required to report the



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place of residence of their employees, informal inquiries with Factory OS (with a total current employment of over 600) indicate over 50% of their workforce lives within Vallejo.

Section 2.11 provides that the City and Developer will cooperate to ensure that the requirements of the Homeless Assistance Act of 1994 with respect to the Property are complied with in the development of the Project.

- Developer is in compliance with Section 2.11 of the Development Agreement. The Base Realignment and Closure (BRAC) program established a Homeless Assistance program pursuant to the McKinney Act. The rules and regulation under the McKinney Act, as set forth with the City of Vallejo and the US Navy, established the Global Center for Success (GCS) on Mare Island (Buildings 733 and 737). A lease with GCS has been in place since 2000 and remains in place.

Section 2.12.3 requires the Developer to submit a park improvement plan prior to the commencement of improvements for each park listed in the previous section.

- Developer is in compliance with Section 2.12.3 of the Development Agreement. The new Specific Plan will include a detailed description of parks and open spaces on Mare Island that will be constructed, preserved or enhanced as part of the overall development of the Island. It should be noted that under the current DDA, the Club Drive Park was to be completed as part of Lennar's 8D residential subdivision. However, in October 2019, the City requested that LMI suspend their work on Club Drive Park. Improvement Plans, permit fees and Improvement Bonds were already in place. TNG took over responsibility for improvement of the park pending the sale of the Mare Island property to TNG as well as the development of a new Specific Plan. The new Specific Plan will take into account the park as part of the new overall open space plan for the Island. All Club Drive Park improvement bonds initially put in place by LMI have been replaced by TNG.

Section 2.12.4 states that at the time of the filing by Developer of a final subdivision map on the parcel(s) immediately adjacent to each park listed in Section 2.12.1, the City and Developer shall enter into a mutually satisfactory improvement agreement for such park consistent with the standards set forth in the Development Agreement.

- Development is in compliance with Section 2.12.4 of the Development Agreement. No new final subdivision maps (adjacent to a park or otherwise) were submitted to the City. Nevertheless, for convenience, below is the current status of some of the park areas on the island.
 - Morton Field: Morton Field is currently being use on a temporary basis to qualified entities.



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- Crescent Park: This park was approved and completed as part of a prior residential subdivision. In 2021, Lennar transferred the park to the City and in 2017 the Greater Vallejo Recreational District (GVRD) added a tot-lot.
- Reuse Area 7 Community Park: Development of this park is pending transfer of the area by the US Navy.
- Chapel Park: The Architectural Heritage and Landmarks Commission (AHLC) approved park improvements in 2005 which were completed in 2008 and transferred back to the City in 2010. The Cultural Landscape Report (CLR) was approved in 2013.
- Alden Park: The AHLC approved the CLR in 2007, improvements were completed in 2008 and it was transferred to the City in 2010.
- Officer's Row: The CLR was submitted in 2013 and approved by the City in 2014.
- Farragut Plaza: The CLR was submitted in 2013 and approved by the City in 2014.
- Club Drive Park: The improvement plans were submitted to the City in 2017 and approved in 2018. On November 26, 2018, City staff requested that LMI suspend their work on Club Drive Park. Improvement Plans, permit fees and Improvement Bonds were already in place. TNG took over responsibility for improvement of Club Drive Park which will be included as part of the upcoming Specific Plan (to be drafted in 2021) and replaced the LMI Improvement Bonds (SU5021901) with TNG Improvement Bonds (285061717).
- Parade Grounds Park: The CLR was approved by the City in 2015. Development of this area of the island is to be determined and will be included in a forthcoming, updated TNG Masterplan submission.
- Residential Area 8C Pocket Parks: Plans for the 8C Residential neighborhood were completed; however, development was placed on hold pending future, updated development plans. Development of this area of the island is to be determined and will be included in a forthcoming, updated TNG Masterplan submission.

Section 2.13 contemplates that the City and Developer have regular meetings during the term of the Development Agreement to discuss the progress of the development and construction of the Project.

- Developer is in compliance with Section 2.13 of the Development Agreement. Due to COVID 19 restrictions, regular weekly meetings with City staff were held via Zoom throughout 2020.

Section 3.1.1 requires Developer to pay applicable fees when due.

- Developer is in compliance with Section 3.1.1. Fees paid during 2020 include those to City of Vallejo, DTSC and Solano County.



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Section 3.1.3 states that the Developer may request the City establish a Community Facilities District or other public financing mechanism.

- Developer is in compliance with Section 3.1.3. CFDs 2002-1 & 2005 A&B are all in place. No additional CFDs were requested in 2020.

Section 3.1.4 requires Developer to be responsible for the formation of neighborhood associations if such formation is required by Applicable Law or mutually determined by the City and Developer to be needed.

- Developer is in compliance with Section 3.1.4 of the Development Agreement. CC&Rs and neighborhood associations are formed where applicable. The City and residence work collaboratively to enforce CC&R's as applicable. No new neighborhood associations were formed in 2020. Developer continued to participate in the Mare Island Community Association (MICA) throughout 2020.

Section 3.1.7 requires Developer to deliver to the City a financial summary and development status report for the Project on or before the fifteenth day of each month.

- Developer is in compliance with Section 3.1.7 of the Development Agreement. Reports were submitted to the Economic Development Department each month in 2020. The April 2020 Monthly Report is included as Exhibit C as an example.

Section 3.1.8 requires Developer to construct and install certain infrastructure in accordance with the Master Infrastructure Plan contained in the Specific Plan.

- Developer is in compliance with Section 3.1.8 of the Development Agreement. No infrastructure was installed by the Developer in 2020. Developer intends to include an updated Master Infrastructure Plan as part of the new Specific Plan. The new Specific Plan will provide a detailed analysis of the existing infrastructure, requirements for replacement and installation of new infrastructure as needed, as well as a summary of the infrastructure phasing and possible funding sources.

Section 3.1.9 contemplates construction by Developer of certain tenant improvements that are reasonably determined by Developer to be necessary for the successful development of Mare Island.

- Developer is in compliance with Section 3.1.9 of the Development Agreement. Developer performed multiple rehabilitation and tenant improvements on Mare Island which led to businesses locating to or expanding at Mare Island. These improvements included office and industrial buildings. Work included asbestos and lead based paint removal, structural upgrades, fire and life safety improvements, storm water treatment



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facilities, building signage, lighting retrofits (to energy efficient LED), mechanical systems (HVAC, Boilers, etc...), general maintenance and repairs.

Some of the projects conducted during the year include but are not limited to the following:

- Building 678 (Factory OS): ~\$4MM
 - Structural reinforcement of building for tenant occupancy
 - Roof replacement
 - Restroom repair
 - Floor replacement
- B4 Storm Basin (Provision C3 Storm System Compliance System): \$1MM
 - Planting and irrigation of the storm basin in compliance with Provision C3
- Quarters 21 (Slater and Associates): \$10K
 - Plumbing and appliance upgrades
- Quarters K (LBX Immersive): \$5K
 - Plumbing upgrades
- Building 112 (Multi-Tenant Building: Including Moose Boats, META Design, Lind Marine, Mare Island Dry Dock, Duck Unlimited, Golden Bay Security): ~\$160K
 - LED lighting upgrades, carpet replacement, paint updating, wiring updates, HVAC upgrades to multiple suites, ceiling grid and tile replacement and repair, sewer line repair
- Building 126 (Multi-Tenant Building: Including Western Dovetail, Alstom, Custom Valve, Integrated Turbo Machine): ~\$82K
 - Remote metering and remote access system install and upgrades, new FACP pull stations.
- Building 117 (Multi-Tenant Building: Including Global Diving, Pinnacle Power, DL Equipment): ~\$10K
 - Remote metering upgrades, exterior painting and fire zone restriping
- Building 680 (Factory OS): ~\$75K
 - Roof repair work
- Building 390 (XKT): ~\$10K
 - Roof repair work
- Quarters D (Packaging Arts): ~\$32K
 - Roof/Balcony Repairs
- Quarters J, M and N (Vacant): ~\$25K
 - Roof, balcony and sewer repair work. Interior painting.
- Buildings 103, 229, 521 and 605 (Vacant): ~\$20K
 - Installation of additional security lighting.

Section 3.1.10 contemplates demolition by Developer of certain improvements that are reasonably determined by Developer to be necessary for the successful development of Mare Island.



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- Developer is in compliance with Section 3.1.10 of the Development Agreement. No demolition was performed by the Developer during 2020. Over 450 residential structures were deconstructed by LMI in order to geotechnically surcharge the future residential sites and mitigate the underlying compressible subgrade materials. In addition, LMI deconstructed approximately 54 commercial buildings and other structures in order to facilitate reuse and provide accessibility to the planned parcels and buildings. The current Specific Plan identifies all future building demolition that will be required to reflect the current Specific Plan's Development Plan and meet City requirements. Developer intends to include an updated Master Building Plan as part of an upcoming new Specific Plan. The new Specific Plan and associated EIR will provide a detailed analysis of the existing buildings and requirements for possible building deconstruction.

Section 3.1.11 requires Developer to manage the Project in accordance with the Approved Participation Model.

- Developer is in compliance with Section 3.1.11 of the Development Agreement. Developer has managed the project in accordance with the Approved Participation Model, subject to current economic, environmental, and developmental limitations.

Section 3.1.12 requires Developer to work cooperatively with the City and ensure, at no cost to City, the grant of easements to the City or other third parties that are necessary for the development of Mare Island and consistent with Developer's development of the Project.

- Developer is in compliance with Section 3.1.12 of the Development Agreement. Developer worked cooperatively with the City of Vallejo, Inyo, BCDC, Vallejo Flood & Wastewater District, AT&T, Island Energy and others throughout 2020. All work was performed under easements that were in place prior to 2020 and remain in place.

Section 3.1.13 contemplates the creation of a municipal services district and collection and payment by Developer of any special tax levied on the Property by such district until such time as such tax is placed upon the county tax roll for collection by the Solano County Tax Collector.

- Developer is in compliance with Section 3.1.13 of the Development Agreement. The City approved the Community Facilities District (CFD 2002-1), which levies a special tax to cover unfunded municipal services on the island. Developer is currently working with the City to assess the feasibility of elimination of the 2002-1 CFD special tax. Current analysis suggests that CFD 2002-1 will not "sunset" (revenue exceeding expense) for many, many years due to economic, environmental and land transfer challenges incurred in the past. Developer is current on all required property and special taxes.



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Section 3.1.14 (Water Storage Payment) contemplates that the City shall design and construct an off-island water storage tank with sufficient additional capacity to accommodate the additional water demand attributable to the revised development plan for the Property resulting from the Developer's amendment to the Specific Plan in excess of that amount permitted under the original Specific Plan. Three sources of funds were originally specified to pay for the design and construction of that portion of the off-island water storage tank attributable to the additional demand: 1) Benefit District, 2) City, and 3) Developer. As additional funds attributable to the addition demand are collected by the City, Developer shall be reimbursed for their contributions.

- Developer is in compliance with Section 3.1.14 of the Development Agreement. To-date the pace of development has not justified an off-island water storage tank to be designed or constructed by the City. Additional water demand will continue to be evaluated by the City on a regular basis.

Conclusion: As demonstrated above, Developer is in good faith compliance with the terms and conditions of the Development Agreement. Accordingly, we respectfully request a written finding of such compliance be delivered by the City to Developer and the Planning Commission, thereby concluding the Annual Review process.

Should you have any questions, please do not hesitate to contact us.

Sincerely,

Brian Nagy
The Nimitz Group, LLC



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EXHIBIT A

Environmental Clean Up Activity 2020

Investigation Area A3 South (See attached map for IA locations)

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 Annual Inspection Report (AIR) for Property and/or Facilities Covered by a Land Use Covenant, IA A3 South.
3. Next AIR for IA A3 South due by March 31, 2021.
4. First Five-Year Review (FYR) for IA A3 South due by March 31, 2023.

Investigation Area B.1 (Crane Test Area)

5. Remedial work complete; LUC monitoring and reporting only.
6. 2020 AIR for Property and/or Facilities Covered by a Land Use Covenant, IA B.1.
7. Next AIR and Second FYR for IA B.1 due by March 31, 2021.

Investigation Area B.2-1

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 AIR for Property and/or Facilities Covered by a Land Use Covenant, IA B.2-1.
3. Next AIR and Second FYR for IA B.2-1 due by March 31, 2021.

Investigation Area B.2-2

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 AIR for Property and/or Facilities Covered by a Land Use Covenant, IA B.2-2.
3. Next AIR for IA B.2-2 due by March 31, 2021.
4. First FYR for IA B.2-2 due by March 31, 2022.

Investigation Area C1

1. Draft IA C1 Remedial Action Plan (RAP) for Public Review
2. Draft IA C1 RAP Initial Study and Fact Sheet
3. Pilot Test Phase 2 Summary Report for IWPS 4/OWS T-2
4. Semi-Annual Groundwater Monitoring Reports for IR03, IR15 and IWPS4/OWS T-2



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5. Buildings 85/87/271 Soil Gas Work Plan
6. Sanitary Sewer Sites Groundwater Flow Direction Report, Response to Comments
7. Technical Rationale Letter for IR15 Well Installation, Response to Comments
8. Second FYR for IR15 due by September 2021.

Investigation Area C2

1. Final IA C2 RAP
2. Final IA C2 RAP Initial Study and Fact Sheet
3. Revised Building 116 PCB Site UL01 Site Characterization and Cleanup Action Summary Report and Response to Comments.
4. Building 386/388 Draft Soil Vapor Investigation Work Plan and Response to Comments
5. Revised Draft Oil Houses 434 and 862 and Cistern 36 Remediation Action Completion Report and Response to Comments
6. Buildings 206/208 Area Remediation Implementation Report
7. Sanitary Sewer Sites Groundwater Flow Direction Report, Response to Comments
8. Building 690 Operations and Maintenance Plan
9. Final Site Characterization and Clean Action Summary Report, Building 742 PCB Site UL02
10. Building 678 AL05 and UL02 (Same Site Concurrence Letter)
11. Second FYR for IA C2 PCB Sites and IR21 due by June 2021.

Investigation Area C3

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 AIRs for Property and/or Facilities Covered by Land Use Covenants, IA C3: Area-Wide, BGM Triangle, and 11 PCB-Specific LUCs.
3. Next AIRs for all 13 IA C3 LUCs due March 31, 2021.
4. Second FYRs for BGM Triangle 9 of 11 PCB-LUCs due March 31, 2021.
5. First FYRs for Building 516 and 1342 PCB-LUCs due March 31, 2022.
6. First FYR for Area-Wide LUC due by March 31, 2023.



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Investigation Area D1.2

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 AIRs for Property and/or Facilities Covered by Land Use Covenants, IA D1.2 Commercial Area and 7 PCB-Specific LUCs.
3. Next AIRs and Third FYRs for IA D1.2 Commercial Area and 7 PCB-LUCs due March 31, 2021.

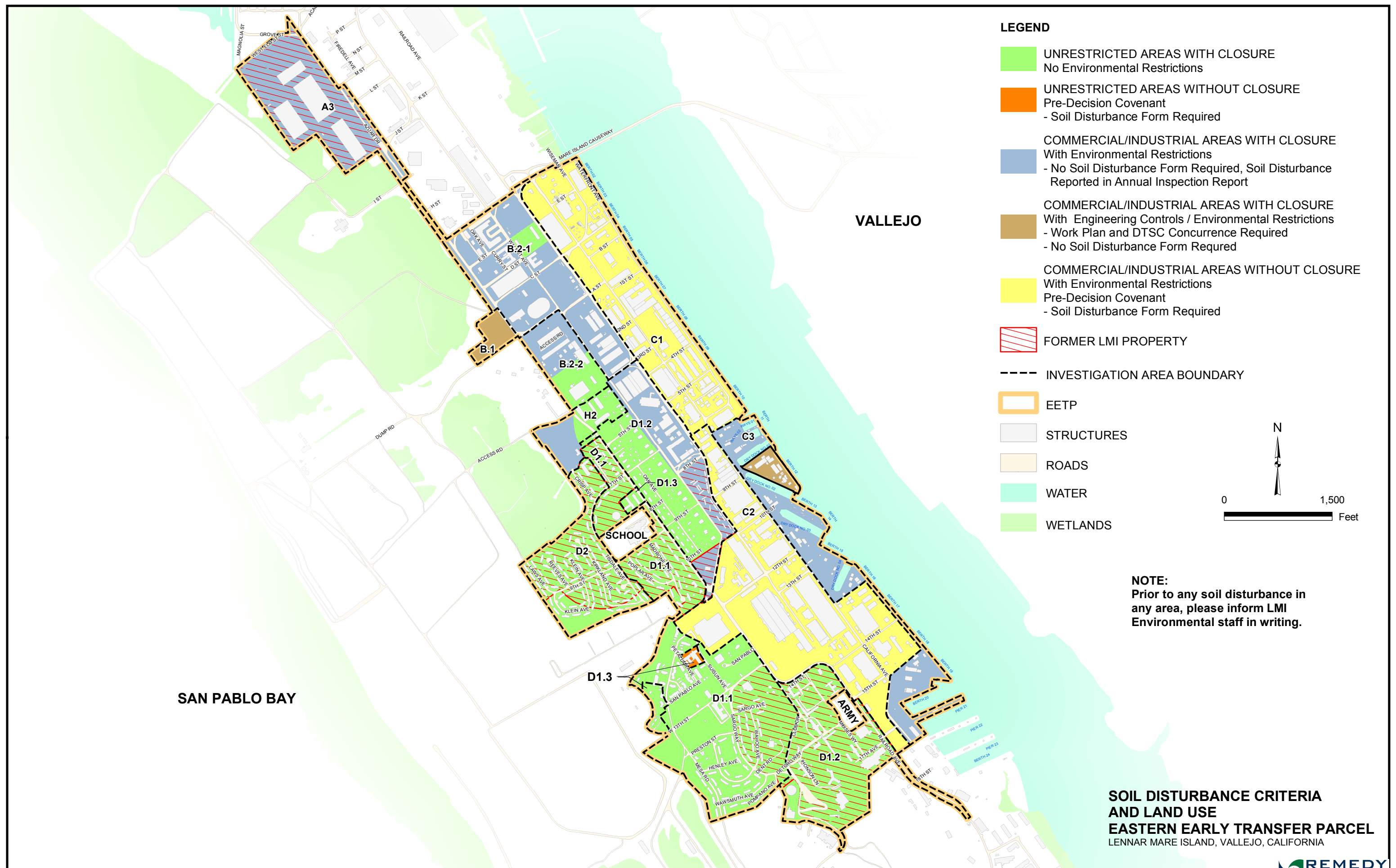
Investigation Area D1.3 Central

1. DTSC approved the 2018 report documenting results of all PCB sampling and estimating costs for remedial options in January 2020.
2. Draft Remedial Action Work Plan for PCBs in Building 84 is anticipated in 2021.

Investigation Area H2 (IR10/IR13)

1. Remedial work complete; LUC monitoring and reporting only.
2. 2020 Annual Inspection Report for Property and/or Facilities Covered by a Land Use Covenant, IR10/IR13.
3. Next AIR and First FYR for IA H2 (IR10/IR13) due by March 31, 2021.

EXHIBIT A

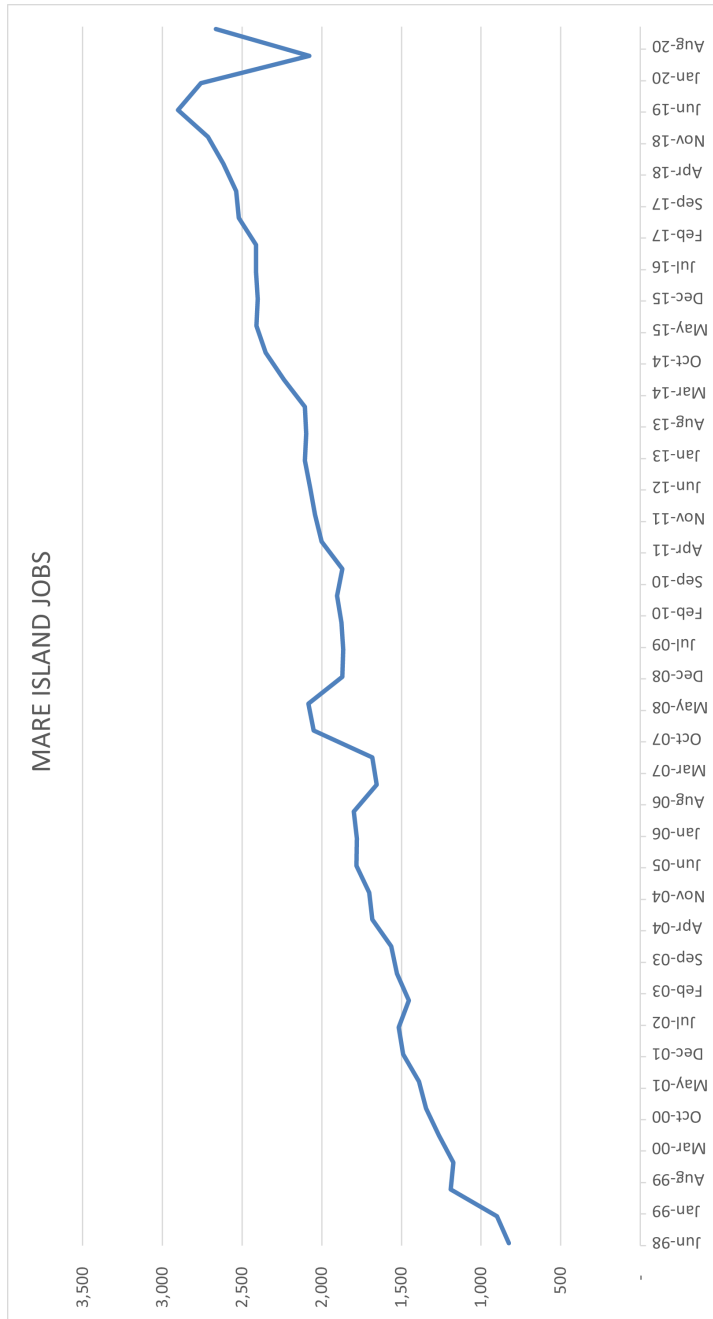




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EXHIBIT B

JOB SURVEY INFORMATION





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EXHIBIT C

Monthly Report – April 2020

The Nimitz Group, LLC
Monthly Report to City of Vallejo
April 2020

Development Focus

In April 2020, Southern Land Company (“SLC”) continued to focus on assisting the business community by guiding them to the local, state, and federal resources available to them as a result of the ongoing COVID-19 pandemic.

The Nimitz Group/Southern Land Company Quarters H offices remained closed to the public and all staff continued to shelter in place and work from home. Online Zoom and WebEx meetings replaced all face-to-face meetings with tenants, vendors, community members, civic leaders, and internal team members.

The Property Management team continued to prioritize enhanced sanitizing and security measures where needed.

Online meetings between the SLC and HOK teams continued to review and discuss work product to date.

Commercial Updates

Mare Island Commercial Business Monthly Roundtable: On April 14, 2020, SLC held the third Mare Island Commercial Business Monthly Roundtable over Zoom. Tom D’Alesandro, President of SLC’s Western Division, introduced himself to the business community, reviewed projects he has worked on around the country, and answered questions from business owners.

785 Walnut Avenue (Building 523): Although the GVRD Sports Center closed mid-March as a result of COVID-19 shelter in place restrictions, as of April 30th, the center closed indefinitely to the general public due to structural safety concerns.

Residential

Mare Island Community Association (MICA): On April 15, 2020, Craig Communications assisted in hosting the April MICA meeting via Zoom. Similar to the Commercial Business Roundtable, Tom D’Alesandro, President of SLC’s Western Division, introduced himself to the residents. The City of Vallejo also provided an update regarding resources available to the community as a result of COVID-19.

Leasing Updates

In April, the leasing team focused on assisting the Mare Island Business Community with renewals and extensions of existing lease agreements.



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Tours with prospective businesses were severely hindered as a result of shelter in place restrictions, however, phone, email, and website inquiries were addressed promptly and information on available space was communicated to interested parties.

Environmental Updates

Lennar Mare Island (“LMI”) retains responsibility of the oversight and closeout of the remaining environmental cleanup on the island. As such, LMI submits a separate monthly report to the City on the status of the environmental cleanup.

Events

Vallejo Waterfront Weekend: On April 13, 2020, representatives from SLC attended the monthly Vallejo Waterfront Weekend (“VWW”) Committee meeting via Zoom. SLC connected the VWW Committee with various businesses on the Mare Island side of the river that showed interest in participating.

Attachments

- Monthly Property Operations - April 2020

Monthly Property Operations - April 2020

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Monthly Property Operations 2020

Income Statement - Unaudited

	April 2020
Operating Revenues	
Rental Income	910,464
Operating Expense Reimbursement	209,058
CFD Reimbursement	56,938
Property Tax Reimbursement	24,107
Other	10,266
Total Revenue	1,210,833
Property Operating Expenses	
Property Operating Expenses	(265,311)
CFD Expense	(54,886)
Property Tax Expense	(23,312)
Leasing Prep	-
Total Property Operating Expenses	(343,509)
Net Operating Income	867,324