



VIA TELECONFERENCE

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AGENDA

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION REGULAR MEETING – 6:30 P.M.

Brian Harkins, Chair
Peter Bregenzer, Vice Chair
Curt Harding
David McCandless
Angela McDonald
Brendan Riley
Tanya Hall

MARCH 17, 2022

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom. City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.

IMPORTANT NOTICE

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice for an item not listed on the AGENDA, no specific answers or responses should be expected at this meeting per State law.

Pursuant to Government Code Section 54954.3 of the Brown Act, members of the public shall be afforded the opportunity to speak on any agenda item of interest to them after being recognized by the presiding officer. Members of the public wishing to be so recognized are requested to submit a completed speaker card to the Secretary of the Architectural Heritage and Landmarks Commission prior to the consideration of the item or raise their hand via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>) or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. In person speakers will be recognized first.

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Architectural Heritage and Landmarks Commission will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Architectural Heritage and Landmarks Commission may, within ten days after the rendition of the decision of the Architectural Heritage and Landmarks Commission, by filing a written appeal with the Director of Planning and Development Services. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Architectural Heritage and Landmarks Commission. Such appeal shall not be timely filed unless it is actually received by Director of Planning and Development Services or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Architectural Heritage and Landmarks Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

1. CALL TO ORDER
2. OATH OF OFFICE: COMMISSIONER HALL
3. OATH OF OFFICE: COMMISSIONER RILEY
4. ELECTION OF CHAIR AND VICE CHAIR
5. PLEDGE OF ALLEGIANCE
6. ROLL CALL
7. APPROVAL OF MINUTES
 - A. November 17, 2021 Minutes
 - B. June 17, 2021 Minutes
8. WRITTEN COMMUNICATIONS
9. REPORT OF THE SECRETARY
10. CITY ATTORNEY REPORT
11. REPORT OF THE CITY COUNCIL LIAISON
12. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION
13. COMMITTEE REPORTS
14. COMMUNITY FORUM

*Any interested members of the public desiring to communicate with the Architectural Heritage and Landmarks Commission for which another opportunity to speak is not provided on the agenda and which is in the jurisdiction of the Architectural Heritage and Landmarks Commission to resolve may do so in person by submitting a completed speaker's card to the Secretary or via ZOOM:(<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment. In person speakers will be recognized first. When called upon, each speaker should step to the podium, state his/her name for the record. The conduct of the community forum shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to a maximum of three minutes pursuant to Vallejo Municipal Code Section 2.02.300.*

15. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

*Members of the public wishing to address the Architectural Heritage and Landmarks Commission on Consent Calendar items may do so in person by submitting a completed speaker's card to the Secretary or via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment. In person speakers will be recognized first. Each speaker is limited to three minutes pursuant to Vallejo Municipal Code Section 2.02.310. Requests for removal of Consent Items received from the public are subject to approval by a majority vote of the Architectural Heritage and Landmarks Commission. Items removed from the Consent Calendar will be heard immediately after approval of the Consent Calendar and Agenda.*

16. PUBLIC HEARING

A. **Project Location:** 945 York Street (APN: 0056-241-220)

Project Applicant: Vanjo Aranda Mark Scott Construction

Project Description: Exterior alterations to an existing single-family residence in the Architectural Heritage District as part of greater fire damage repairs. The exterior alterations include the following: installation of new windows, doors, and lap siding around an existing utility room at the rear of the single-family residence. Certificate of Appropriateness (COA) #21-0009

CEQA Determination: The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 (Class 31 "Historic Resource Restoration/Rehabilitation").

Staff Recommendation: Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #21-0009 based on the findings and analysis contained herein.

Project Planner: Jonathan Atkinson, Senior Planner/ Margaret Kavanaugh-Lynch, Planning Manager

17. OTHER AGENDA ITEMS

A. Future Agenda Items.

1. Goal Setting for the Commission with staff recommendation and attachments.
2. Creation of Tracker Sub-Committee, Marketing and Outreach Sub-Committee and identify other Sub-Committees may assist the Commission function efficiently.
3. Mills Act Audit
4. Revisit the process to amend the procedures for modifying the Agenda.

18. ADJOURNMENT

I, Sonita Matthews, Planning Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Architectural Heritage and Landmarks Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m., Thursday March 10, 2022.

Sonita Matthews

Dated: March 10, 2022

Planning Executive Secretary

Minutes

Item A.



MINUTES

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION

November 18, 2021

VIA TELECONFERENCE

www.cityofvallejo.net

VIA TELECONFERENCE

Brian Harkins, Chair
Peter Bregenzer, Vice Chair
Curt Harding
David McCandless
Angela McDonald
Brendan Riley
Vacant seat

1. CALL TO ORDER

The meeting was called to order by Chair Harkins at 6:30pm.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair Harkins, Commissioners Harding, McDonald, Riley and McCandless

Absent: Vice-Chair Bregenzer

Staff: Interim Planning Director Christina Ratcliffe, Planning Manager Margaret Kavanaugh-Lynch and Assistant City Attorney Laura Zagaroli.

4. APPROVAL OF MINUTES- None

5. WRITTEN COMMUNICATIONS

A. Commissioner Riley sent an article regarding the Alden Park Flagpole.

6. SECRETARY'S REPORT

A. Interim PDS Director Ratcliffe noted that the State OHP grant of \$5,000 was utilized to create a white paper to give guidance for the establishment of goals for the AHLC. Goal setting for the Commission will be set on an upcoming Agenda once the City Council goals for 2022 are established. At the request of the Commission, other goals previously created at public meetings will also be brought back for consideration as part of the goal setting session so that all of this information will be discussed at that future session.

7. CITY ATTORNEY'S REPORT – None

8. REPORT OF THE CITY COUNCIL LIAISON – None

9. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

1. Commissioner McDonald shared that a window repair workshop was completed. And, she noted that the Madhatter's Parade information referenced a AHLC award erroneously. She also asked that a Committee be formed to track approved projects and report back to the larger Commission.

2. Commissioner McCandless noted concern regarding a house on the corner of York and Sutter that received fire damage.
3. Commissioner Riley requested information regarding future use of Herbert House.
4. Chair noted that a Home Tour is coming up soon and encouraged the public to attend.

10. COMMITTEE REPORTS – None

11. COMMUNITY FORUM – None

12. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

Moved by Commissioner McDonald, seconded by Commissioner Riley and carried unanimously 5-0 to approve the agenda without changes.

13. PUBLIC HEARINGS – None

14. OTHER AGENDA ITEMS

- A. Assistant Public Works Director/City Engineer Melissa Tigbao gave a presentation to the Commission regarding the temporary removal, repair and future restoration of the Alden Park Flagpole.
- B. Future Agenda Items.
 1. Goal Setting for the Commission with staff recommendation and attachments.
 2. Creation of Tracker Sub-Committee, Marketing and Outreach Sub-Committee and identify other Sub-Committees may assist the Commission function efficiently.
 3. Mills Act Audit
 4. Revisit the process to amend the procedures for modifying the Agenda.

15. ADJOURNMENT

The meeting adjourned at 8:02 pm.

BRIAN HARKINS, CHAIRPERSON

ATTEST:

JONATHAN ATKINSON, SECRETARY

Minutes

Item B.



MINUTES

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION

June 17, 2021

VIA TELECONFERENCE

Brian Harkins, Chair
Peter Bregenzer, Vice Chair
Curt Harding
David McCandless
Angela McDonald
Brendan Riley
Vacant seat

www.cityofvallejo.net

VIA TELECONFERENCE

1. CALL TO ORDER

The meeting was called to order by Chair Harkins at 6:32pm.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Chair Harkins, Vice-Chair Bregenzer, Commissioners Harding, McDonald, Riley and McCandless

Absent: None

Staff: Secretary Atkinson, Interim PDS Director Christina Ratcliffe, Planning Manager Margaret Kavanaugh-Lynch

4. APPROVAL OF MINUTES

Action: No minutes to approve

5. WRITTEN COMMUNICATIONS – None

6. SECRETARY'S REPORT –:

1. Secretary Atkinson announced an extension to Commission applications until Friday June 25, 2021 at 5:15pm PDT. There is currently one opening on the AHLC, and virtual interviews will be held in July.
2. The new zoning codes is expected to be effect on 07/22/21
3. Secretary Atkinson mentioned notable zoning code items as it pertains to the AHLC

7. CITY ATTORNEY'S REPORT – None

8. REPORT OF THE CITY COUNCIL LIAISON – None

9. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

1. The Commission is interested in more meetings and a specific meeting to agendize design guidelines
2. Commissioner McDonald requests an update from staff on the damage to the Sperry Mills dock site at a future meeting

10. COMMITTEE REPORTS – None

11. COMMUNITY FORUM – None

12. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

Moved by Commissioner McDonald and carried 4-0 to approve the agenda without changes. Commissioners Harding and McCandless were not present for the vote due to technical difficulties.

13. PUBLIC HEARINGS – None

729 Santa Clara Street COA#20-0023

Summary: Project consists of a 2,841 square foot, two story, single family residence with new landscaping and reduction of the required garage setback within the ST. Vincent's Historic District.

Public Comments: Applicant

Action: Moved by Commissioner McDonald and carried 4-0 to approve COA#20-0023. Commissioners Harding and Bregenzer were not present for the vote due to technical difficulties.

14. OTHER AGENDA ITEMS – None

15. ADJOURNMENT

The meeting adjourned at 8:50 pm.

BRIAN HARKINS, CHAIRPERSON

ATTEST:

JONATHAN ATKINSON, SECRETARY

Public Hearing
Item A.



**STAFF REPORT
CITY OF VALLEJO
ARCHITECTURAL HERITAGE
AND LANDMARKS COMMISSION**

I. PROJECT INFORMATION

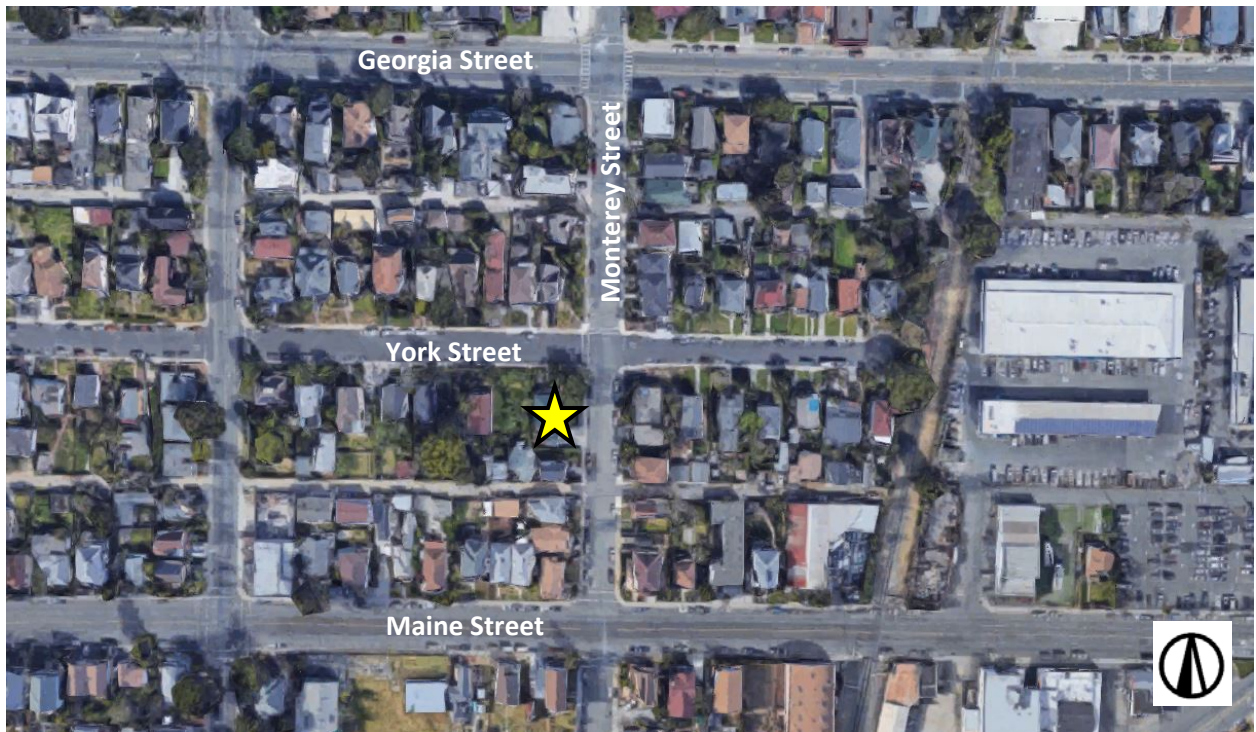
DATE OF MEETING:	March 17, 2022	Item No. 13.A
PREPARED BY:	Jonathan Atkinson, Senior Planner	
PROJECT LOCATION:	945 York Street (APN: 0056-241-220)	
PROJECT NUMBERS:	Certificate of Appropriateness (COA) #21-0009	
REQUIRED APPROVALS:	Certificate of Appropriateness	
PROJECT SUMMARY:	Exterior alterations to an existing single-family residence in the Architectural Heritage District as part of greater fire damage repairs. The exterior alterations include the following: installation of new windows, doors, and lap siding around an existing utility room at the rear of the single-family residence.	
ENVIRONMENTAL DETERMINATION:	The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 (Class 31 "Historic Resource Restoration /Rehabilitation"). Therefore, no further environmental analysis is required beyond that which is contained herein this staff report.	
RECOMMENDATION:	Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #21-0009 based on the findings and analysis contained herein.	
APPLICANT:	Vanjo Aranda Mark Scott Construction	
PROPERTY OWNER:	Cathy Stramat	

II. PROJECT DESCRIPTION

A. Site Location and Context

The project site is situated at the corner of York Street and Monterey Street in the Architectural Heritage District. The Architectural Heritage District, which is one of the City's historic districts, is listed on the National Register of Historic Places as the "Vallejo Old City Historic District". The residence is a bungalow with horizontal lap siding and a hip roof with asphalt composition shingles. In March 2021, the suffered fire damage according to City of Vallejo ("City") Building Division records.

Figure 1 – Vicinity Map



B. Required Approvals

The project requires Architectural Heritage and Landmarks Commission ("Commission") approval of the following:

Table 1 – Required Permit Approvals

Permit	Project
Certificate of Appropriateness (VMC Table 16.614-A)	Exterior alterations visible from the street: New windows, doors, and lap siding around a utility room at the rear.

C. Project Description

The exterior fire damage repairs will be like for like with the exception of the following:

- Windows: Nine (9) wooden windows will be installed: Seven (7) double-hung windows and two (2) sliding windows. The windows will replace vinyl sliding windows that were installed without City approvals and subject to an unresolved code enforcement investigation dating back to 2009: Investigation (IN) #09-0087. The two (2) existing aluminum windows on the rear elevation of the residence will be replaced and reconfigured into one (1) wood sliding window.
- Doors: Two (2) fiberglass Craftsman-style doors will be installed: One (1) door will be installed on the front elevation and one (1) door will be installed at the rear elevation.
- Siding: The exterior walls of the existing utility room at the rear of the residence will be rebuilt and finished with horizontal lap siding. The wood siding around the existing utility room is vertical. The remainder of the residence includes horizontal lap siding.

Interior repairs are not the purview of this body.

III. STAFF ANALYSIS

A. General Plan Consistency

The project is consistent with the following General Plan 2040 policy (the policy is listed in **bold**, followed by Staff's analysis in *italics*):

- **Policy NBE-1.10 Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.**

The residence, which is vacant due to fire damage, will be rehabilitated for its continued historical use but with improvements that are appropriate for the structure and surrounding neighborhood. Vinyl windows installed without City approvals, and aluminum windows, will be replaced with a combination of wood double-hung and sliding windows. New doors will be installed at the front and rear elevations, and vertical wood siding will be replaced with horizontal lap siding consistent with remaining condition of the residence. The exterior alterations to this small bungalow are relatively minor. However, these visible improvements could result in future improvements throughout the Architectural Heritage District and surrounding neighborhoods with historic structures.

B. Certificate of Appropriateness

The Certificate of Appropriateness requirement is intended to ensure that the architectural and historical integrity of historic structures and general character of historic districts are preserved. The residence is not listed on the City's Historic Resources Inventory nor is it a City Landmark. However, the residence is located in the Architectural Heritage District, and exterior alterations can have an impact on the surrounding neighborhood architecturally and historically. In general, the proposed exterior alterations are appropriate for not only the residence but the surrounding neighborhood, as they result in new wood windows, doors, and horizontal lap siding that are architecturally and historically appropriate. Certificate of Appropriateness applications are subject to the required findings under VMC Section 16.614.09.E. The findings to approve this Certificate of Appropriateness are presented in Section II of the attached Resolution.

C. Environmental Review

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates an existing residence that is located in the historic Architectural Heritage District, and has been vacant due to fire damage. The project improves the residence with exterior alterations, such as new doors, windows, and horizontal lap siding that are architecturally and historically appropriate for the Architectural Heritages District, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The project replaces vinyl windows and vertical wood siding that are ahistorical and inappropriate for the residence and surrounding neighborhood.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

IV. NOTICING AND PUBLIC COMMENTS

The Planning Division provided the following notifications in accordance with Vallejo Municipal Code Section 16.602.08 on March 3, 2022: Published a public notice in the Times Herald newspaper. Mailed notices to every property owner and neighborhood group within 500 feet of the project site and applicant through the United States Postal Service. Staff has not received any communications in regards to the application as of writing this staff report.

V. CONCLUSION / STAFF RECOMMENDATION

Staff recommends that the Planning Commission adopt a Resolution to **APPROVE** Certificate of Appropriateness (COA) #21-0009 based on the analysis contained in this staff report and the findings provided in the attached Resolution and subject to the Conditions of Approval attached as an exhibit.

VI. EXPIRATION

- Certificate of Appropriateness: Pursuant to VMC Section 16.602.12, approval of this Certificate of Appropriateness shall automatically expire 24 months after its approval unless authorized construction has commenced prior to the expiration date (**MARCH 17, 2024**) (if approved at this meeting).

VII. APPEAL PROCEDURE

The applicant or any party aggrieved by a determination of the Commission may appeal the action to the City Council. Such appeal must be filed in writing with the Planning Division along with a fee payment of **\$1,328** within ten (10) calendar days after the action by the Commission. Such appeal shall not be timely filed unless it is received by the Planning Division no later than the close of business on the tenth day following the decision of the Commission. The City Council may affirm, reverse or modify any decision of the Commission that is appealed. The City Council may summarily reject any appeal upon determination that the appellant is not adversely affected by a decision under appeal.

Under VMC Section 16.602.14.E, a member of the City Council may also call the decision of the Commission for review within the appeal period. The call for review shall be processed in the same manner as an appeal by any other person. Such action shall stay all proceedings in the same manner as the filing of an appeal. Such action shall not require any statement of reasons and shall not represent opposition to or support of an application or appeal.

VIII. ATTACHMENTS

1. Resolution
 - Exhibit A – Conditions of Approval
2. Project Plans

**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #22-XX

A RESOLUTION APPROVING CERTIFICATE OF APPROPRIATENESS (COA) #21-0009 TO MAKE EXTERIOR ALTERATIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE IN THE ARCHITECTURAL HERITAGE DISTRICT AS PART OF GREATER FIRE DAMAGE REPAIRS. THE EXTERIOR ALTERATIONS INCLUDE THE INSTALLATION OF NEW WINDOWS, DOORS, AND LAP SIDING AROUND AN EXISTING UTILITY ROOM AT THE REAR OF THE RESIDENCE.

**945 YORK STREET
APN: 0056-241-220**

WHREAS, on October 26, 2021, Vanjo Aranda of Mark Scott Construction filed Certificate of Appropriateness (COA) #21-0009 application ("application") seeking approval of exterior alterations ("project") to an existing single-family residence at 945 York Street (APN: 0056-241-220) ("project site") in the Architectural Heritage District; and

WHEREAS, on March 17, 2022, the City of Vallejo Architectural Heritage and Landmarks Commission ("Commission"), after giving all public notices required by State law and the Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, the Commission considered testimony and evidence, both written and oral provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHREAS, based on the record of proceedings, the Commission makes the following findings:

I. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

The project is categorically exempt from the provisions of the California Environmental Quality Act (Public Resources Code §21000, et seq.) (CEQA) and the CEQA Guidelines (California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates an existing residence that is located in the historic Architectural Heritage District and has been vacant due to fire damage. The project improves the residence with exterior alterations, such as new doors, windows, and horizontal lap siding that are architecturally and historically

appropriate for the Architectural Heritages District, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The project replaces vinyl windows and vertical wood siding that are ahistorical and inappropriate for the residence and surrounding neighborhood.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

II. FINDINGS RELATING TO THE APPROVAL OF THE CERTIFICATE OF APPROPRIATENESS PERMIT (VMC Section 16.614.09.E)

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

FACTS IN SUPPORT: The Secretary of the Interior's Standards for Rehabilitation are applicable to the project and are as follows:

- 1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.**

The project site's historical use is a residence. The project will continue the historical use once the fire damage repairs and exterior alterations are complete.

- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.**

The historic character of the residence will be retained as the improvements will largely be like-for-like to its condition before fire damage. Exterior changes include the appropriate replacement of vinyl windows with wood double-hung and sliding windows.

- 3) Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

The wood windows and new doors that will be installed are historically and architecturally appropriate for the residence and surrounding neighborhood. The horizontal lap siding that will replace the vertical plywood siding to the rear of the house matches the rest of the residence. However, it does not

create a false sense of historicism in that the architectural trim and room form visually maintain that the utility room was an addition to the residence.

- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

None of the features replaced have historic significance: Vinyl windows, doors, and vertical plywood siding.

- 5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

The project preserves character-defining features of the residence. The improvements result in the removal of inappropriate alterations, such as vinyl sliding windows and vertical plywood siding.

- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

The exterior of the residence is in good condition considering it has sustained fire damage. In general, its architectural features, such as siding, roof form, front porch, and window placement will be retained and are not in state of deterioration or substantial damage.

- 7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The project does not involve chemical or physical treatments.

- 8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

The project site is not the location of any known archeological site. It should be noted that the project does not involve any ground-disturbing construction activities that may uncover archeological resources within this urbanized environment.

- 9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

The exterior alterations will not destroy the historic materials or features. The horizontal lap siding at the rear of the residence complements siding materials and features already present. The installation of wood windows and new doors replaces features that were either destroyed by fire or historically inappropriate.

10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The exterior alterations are structurally incidental to the overall form and integrity of the residence, and would not have a significant effect should they be removed and replaced in the future.

2. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.

FACTS IN SUPPORT: The project site is located in the Architectural Heritage District for which there is no adopted conservation plan or specific plan.

3. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (4) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.

FACTS IN SUPPORT: The project does not involve a complete demolition. However, it does involve the reconstruction of exterior walls for a utility room at the rear of the residence. The new exterior walls will be sited within the same footprint of the existing utility room and provide finishing with horizontal lap siding, as is present throughout the rest of the residence.

III. RESOLUTION APPROVING THE PROJECT AT 945 YORK STREET:

NOW, THEREFORE, LET IT BE RESOLVED that the Commission hereby APPROVES Certificate of Appropriateness (COA) #21-0009 based on the analysis contained in the staff report and the findings contained herein and subject to the Conditions of Approval attached as an exhibit.

VII. VOTE

PASSED AND ADOPTED at a regular meeting of the Commission of the City of Vallejo, State of California, on the 17th day of March, 2022 by the following vote to-wit:

AYES:

NOES:
ABSTAIN:
ABSENT:

BRIAN HARKINS, CHAIRPERSON
City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

JONATHAN ATKINSON, SECRETARY
City of Vallejo Architectural Heritage and Landmarks Commission

CITY OF VALLEJO

CERTIFICATE OF APPROPRIATENESS EXTERIOR ALTERATIONS TO SINGLE-FAMILY RESIDENCE 945 YORK STREET APN: 0056-241-220

CONDITIONS OF APPROVAL

PERMIT DESCRIPTION: The fire damage repairs will be like for like with the exception of the following exterior alterations:

Windows: nine (9) wooden windows will be installed: seven (7) double-hung windows and two (2) sliding windows. The windows will replace vinyl sliding windows that were installed without City approvals and subject to an unresolved code enforcement investigation dating back to 2009: Investigation (IN) #09-0087. The two (2) existing aluminum windows on the rear elevation of the residence will be replaced and reconfigured into one (1) wood sliding window.

Doors: two (2) fiberglass Craftsman-style doors will be installed. One (1) door will be installed on the front elevation and one (1) door will be installed at the rear elevation.

Siding: The exterior walls of the existing utility room at the rear of the residence will be rebuilt and finished with horizontal lap siding. The wood siding around the existing utility room is vertical. The remainder of the residence includes horizontal lap siding.

A. Planning Division

Jonathan Atkinson | jonathan.atkinson@cityofvallejo.net | (707) 648-4346

1. The project shall proceed only in accordance with the approved plans dated "Received October 26, 2021" and December 13, 2021, except as may be modified by the conditions contained herein and approved by the Architectural Heritage and Landmarks Commission.
2. The Development Review Permit shall automatically expire twenty-four (24) months from the date of approval on **March 17, 2024** unless a valid building permit has been issued and authorized construction has commenced. The Planning & Development Services Director may consider a time extension in compliance with the requirements under VMC Section 16.602.12.C.
3. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with

the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

4. Prior to building permit issuance, the applicant shall submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list shall be submitted to the project planner who will coordinate development of the project. The approved Conditions of Approval shall be included by applicant in the permit set after the cover sheet with each condition listed and how the Applicant will address each condition in writing.
5. Construction activities shall be managed in compliance with the requirements contained under VMC Section 16.502.03.
6. Applicant shall obtain an inspection from the Planning Division prior to occupancy/final building inspection. All inspections require a minimum one business day notice. Occupancy permits shall not be granted until all construction and landscaping is completed and finalized in accordance with the approved plans and required conditions of approval or a bond has been posted to cover all costs of the unfinished work as agreed to by the Planning Manager.

STRAMAT RESIDENCE

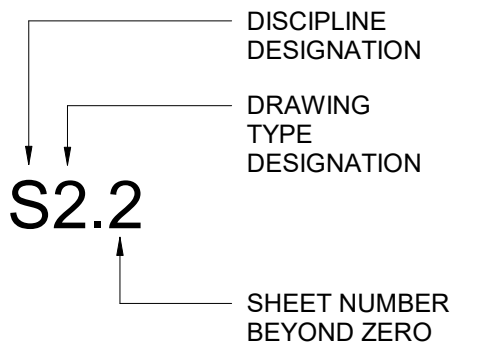
FIRE DAMAGE REPAIR

ABBREVIATIONS

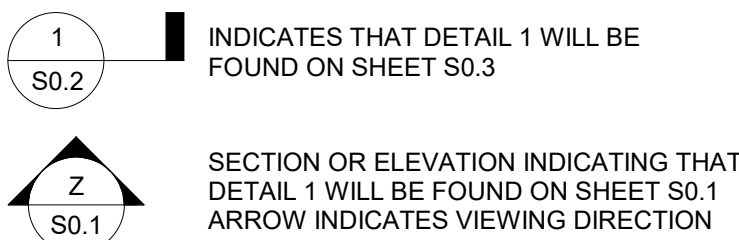
ABV	ABOVE	F.O.	FACE OF (CONC,FTG,ETC)	PJP	PARTIAL JOINT PENETRATION
AFF	ABOVE FINISH FLOOR	FN	FIELD NAILING	PEN	PENETRATION
ADDL	ADDITIONAL	FIN	FINISH	d	PENNY
AGGR	AGGREGATE	FF	FINISH FLOOR	PERP	PERPENDICULAR
ALT	ALTERNATE	FLR	FLOOR	PC	PIECE
AB	ANCHOR BOLT	FT	FOOT/FEET	PL	PLATE
&	AND	FTG	FOOTING	PLUMB	PLUMBING
L	ANGLE	FDN	FOUNDATION	PLYWD	PLYWOOD
ARCH	ARCHITECT/URAL	FRMG	FRAMING	LBS	POUNDS
@	AT			PSF	POUNDS PER SQUARE FOOT
		GA	GAGE	PSI	POUNDS PER SQUARE INCH
BM	BEAM	GALV	GALVANIZED	PDF	POWDER DRIVEN FASTENER
BLW	BELOW	GT	GIRDER TRUSS	PT	PRESSURE TREATED
BTWN	BETWEEN	GLB	GLU-LAM	PROJ	PROJECTION
BLK	BLOCK	GR	GRADE		
BLKG	BLOCKING	GYP	GYPSUM		
BOT	BOTTOM			R	RADIUS
B.O.	BOTTOM OF	HGR	HANGER	RWL	RAIN WATER LEADER
BN	BOUNDARY NAILING	HWS	HEADED WELDED STUD	REINF	REINFORCE/ING/MENT/D
BRGC	BRACING	HDR	HEADER	(R)	REPLACE
BLDG	BUILDING	HT	HEIGHT	REQD	REQUIRED
		HSB	HIGH STRENGTH BOLTS	RF	ROOF
		HD	HOLDOWN	RO	ROUGH OPENING
CBC	CALIFORNIA BUILDING CODE	HSS	HOLLOW STRUCTURAL		
CIP	CAST IN PLACE			SECT	SECTION
CLG	CEILING	HORIZ	HORIZONTAL	SHTG	SHEATHING
CL	CENTER LINE	HDG	HOT DIPPED GALVANIZED	SMS	SHEET METAL SCREWS
CTR	CENTER			SIM	SIMILAR
C	CHANNEL	INFO	INFORMATION	SJ	SLAB JOINT
CLR	CLEAR	ID	INSIDE DIAMETER	SPCG	SPACING
COL	COLUMN	INT	INTERIOR	SQ	SQUARE
CJP	COMPLETE JOINT PENETRATION			STAG	STAGGER/ED
CONC	CONCRETE	JT	JOINT	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	JST	JOIST	STL	STEEL
CTUP	CONCRETE TILT-UP PANEL	JH	JOIST HANGER	STIFF	STIFFENER
CONN	CONNECTION			STRUCT/	STRUCTURAL
CJ	CONSTRUCTION/COLD JOINT	KSI	KIPS PER SQUARE INCH	SP	STRUCTURAL PLYWOOD
CONT	CONTINUOUS				
CONTR	CONTRACTOR	LS	LAG SCREW	THK	THICK
	CALIFORNIA RESIDENTIAL CODE	LWC	LIGHT WEIGHT CONCRETE	THRD	THREADED
CSK	COUNTERSINK			THRU	THROUGH
		LONGIT	LONGITUDINAL	TN	TOE NAIL
DIAG	DIAGONAL	LLH	LONG LEG HORIZONTAL	T&G	TONGUE AND GROOVE
D	DIAGONAL SHEATHING	LLV	LONG LEG VERTICAL	T&B	TOP AND BOTTOM
DIM	DIAMETER			TFJH	TOP FLANGE JOIST HANGER
DBL	DOUBLE	MB	MACHINE BOLT	T.O.	TOP OF (CONC, FTG, ETC)
DF	DOUGLAS FIR	MFR	MANUFACTURE/DING/R	TRAN	TRANSVERSE
DN	DOWN	MAX	MAXIMUM	TYP	TYPICAL
DWGS	DRAWINGS	MECH	MECHANICAL		
		MTL	METAL	UON	UNLESS OTHERWISE NOTED
		MIN	MINIMUM		
EA	EACH	NA	NEUTRAL AXIS	VERT	VERTICAL
EF	EACH FACE	(N)	NEW		
EW	EACH WAY	NC	NO CAMBER	WT	WEIGHT
E.O.	EDGE OF	NOM	NOMINAL	WWF	WELDED WIRE FABRIC
ELEC	ELECTRIC/AL	NTS	NOT TO SCALE	W/	WITH
ELEV	ELEVATION	#	NUMBER/POUNDS	WS	WOOD SCREW
EMBED	EMBEDMENT			WP	WORK POINT
EN	END NAIL				
EQ	EQUAL	OC	ON CENTER		
EQUIP	EQUIPMENT	OPNG	OPENING		
(E)	EXISTING	OPH	OPPOSITE HAND		
EJ	EXPANSION JOINT	OD	OUTSIDE DIAMETER		
EXT	EXTERIOR	OVI	OVER		

SYMBOL LEGEND

SHEET NUMBERING SYSTEM:



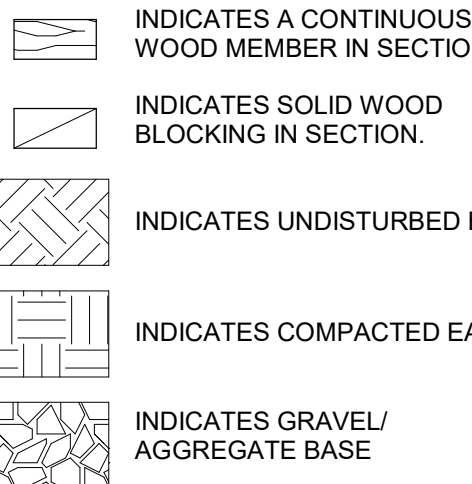
DETAIL & ELEVATION CALLOUT:



MISCELLANEOUS SYMBOLS:



MATERIAL LEGEND

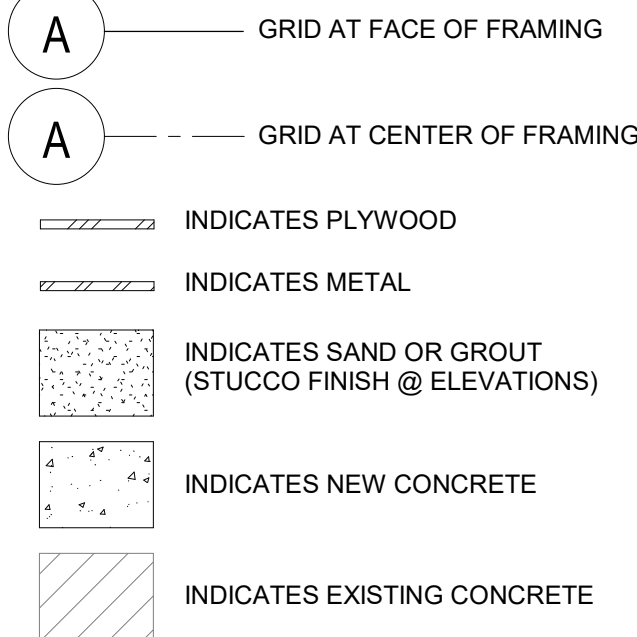


THE FOLLOWING REPRESENTS A PERMANENT ADDRESS NUMBERING SYSTEM. DETAILS AND SECTIONS MAY BE USED TOGETHER ON THE SAME SHEET.

13	9	5	1
14	10	6	2
15	11	7	3
16	12	8	4

DETAILS

STRUCTURAL GRID IDENTIFIER:



D	A
E	B
F	C

BUILDING SECTIONS AND WALL FRAMING ELEVATIONS

GENERAL NOTES

- THE SCOPE OF WORK COVERED UNDER THIS PERMIT IS RECONSTRUCTION OF THE ROOF STRUCTURE AFTER A MODERATE FIRE. ALSO INCLUDED IS A MINOR REMODEL AND RECONCILIATION OF A PREVIOUS LAUNDRY ROOM CONVERSION.
- ALL NEW WORK SHALL CONFORM TO THE 2019 CALIFORNIA RESIDENTIAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE THEMSELF FAMILIAR WITH ALL EXISTING CONDITIONS, BUILDING PLANS, AND ALL SITE CONDITIONS WHICH MAY AFFECT HIS WORK. THEY SHALL ASCERTAIN THE EXTENT OF DEMOLITION WORK REQUIRED TO COMPLETE THE STRUCTURE PER NEW PLANS AND BE RESPONSIBLE FOR ITS SAFE COMPLETION. THE CONTRACTOR SHALL MATCH EXISTING HEIGHTS, LINES, MATERIALS, FINISHES AND CONDITIONS UNLESS NOTED OTHERWISE ON NEW PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS, AS THEY APPLY TO THIS PROJECT OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA AND ALL OSHA REQUIREMENTS. THE ENGINEER AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACING AND SHORING REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL FRAMING UNTIL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED IN THE PROJECT.
- CONTRACTOR FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH NEW WORK.
- (N) DENOTES NEW, (E) DENOTES EXISTING, AND (R) DENOTES REPLACEMENT.

DEMOLITION NOTES

- ALL DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH SHALL BE REMOVED FROM SITE AS SOON AS POSSIBLE. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
- ALL BUILDING COMPONENTS AND FINISHES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION.
- DEMOLITION CONTRACTOR SHALL MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND AREAS OUTSIDE THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND GAPS TO PREVENT DUST MIGRATION.
- USE ALL MEANS NECESSARY TO PREVENT THE SPREAD OF DUST TO ADJACENT AREAS.
- CONDUCT DEMOLITION OPERATIONS & THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, & OTHER ADJACENT OCCUPANTS OR USED FACILITIES. COMPLY WITH LOCAL JURISDICTION REQUIREMENT FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
- DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
- DEMOLITION PROCEDURES SHALL COMPLY WITH ALL STANDARD LOCAL, NATIONAL, STATE AND FEDERAL SAFETY REQUIREMENTS.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION COORDINATION

CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD (EOR) OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND AS-BUILT FIELD CONDITIONS PRIOR TO PURCHASING NON-REFUNDABLE BUILDING MATERIALS AND THEIR INSTALLATION. ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR BUILDING MATERIAL EXPENSES AND ASSOCIATED COSTS FOR STRUCTURAL ALTERATIONS DUE TO NON-COORDINATED FIELD CONDITIONS.

MECHANICAL/PLUMBING NOTES

- HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION, & HVAC FAN SYSTEMS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
- REPLACED PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 422.1 OF THE 2019 CALIFORNIA PLUMBING CODE & 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.303.2. SEE CALGREEN CODE NOTES ON SHEET A0.3.

APPLICABLE BUILDING CODES

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA EXISTING BUILDING CODE (CBECE)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

DESIGN PROFESSIONAL INFORMATION

DEGENKOLB ENGINEERS

SACRAMENTO OFFICE:

428 J STREET
SUITE 500
SACRAMENTO, CA 95814
(916) 418-9100

SAN FRANCISCO OFFICE:

375 BEALE STREET
SUITE 500
SAN FRANCISCO, CA 94105
(415) 392-6952

SEATTLE OFFICE:

600 UNIVERSITY STREET
SUITE 720
SEATTLE, WA 98101
(206) 262-9240

OAKLAND OFFICE:

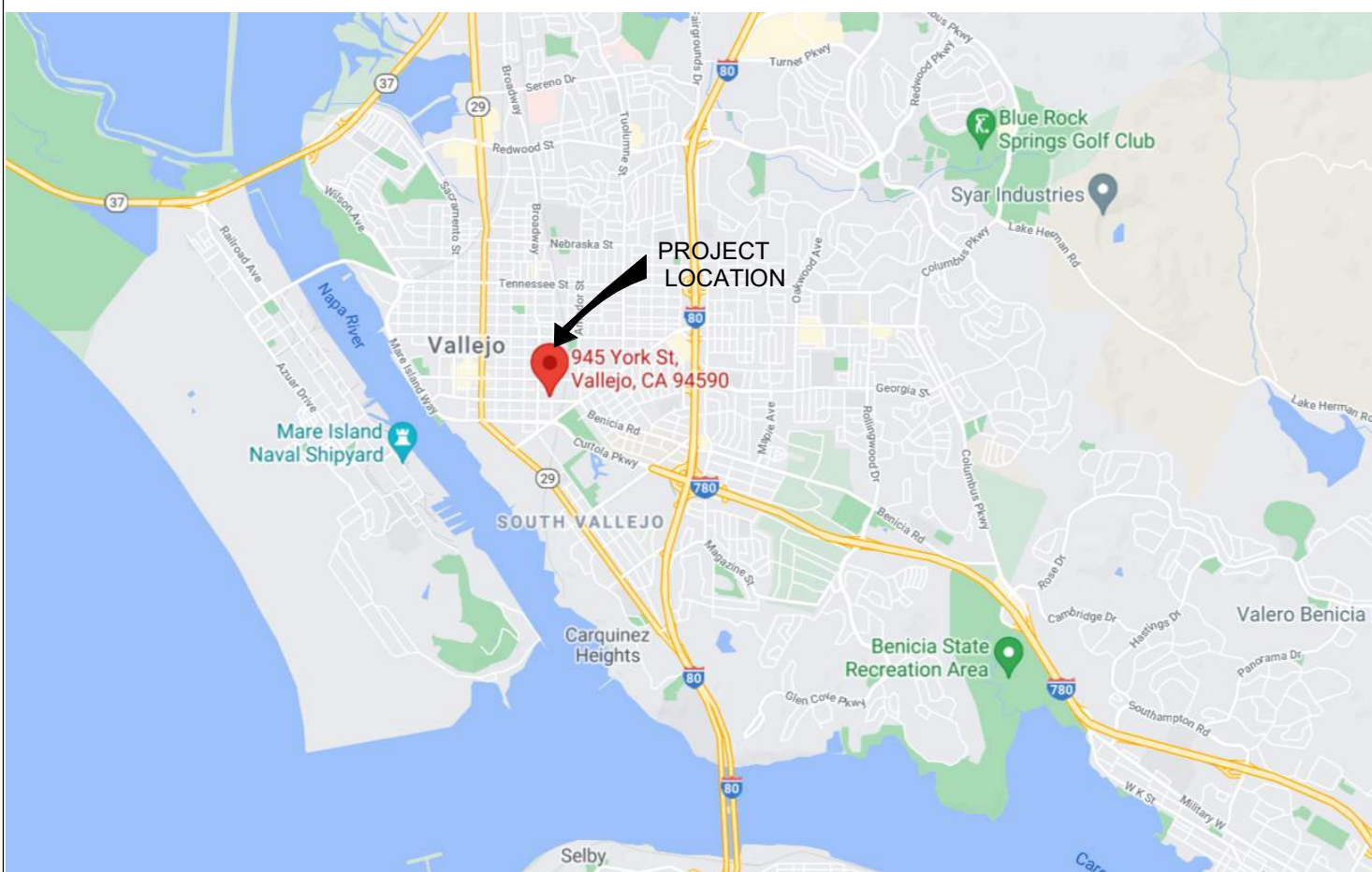
1300 CLAY STREET
9TH FLOOR
OAKLAND, CA 94612
(510) 272-9040

LOS ANGELES OFFICE:

300 SOUTH GRAND AVENUE
SUITE 3850
LOS ANGELES, CA 90071
(213) 596-5000

SAN DIEGO OFFICE:

225 BROADWAY
SUITE 1325
SAN DIEGO, CA 92101
(619) 515-0299



LOCATION MAP



PROJECT INFORMATION

PROPERTY ADDRESS

945 YORK STREET
VALLEJO, CA 94590
A.P.N. 0056-241-220

BUILDING OWNER

CATHERINE STRAMAT
18914 KNAPP STREET
NORTHridge, CA 91324

BUILDING INFORMATION

EXISTING TOTAL LIVING	=	1,200 SQ FT
EXISTING GARAGE	=	240 SQ FT
UTILITY ROOM RECONCILIATION/ADDITION	=	113 SQ FT
TOTAL BUILDING	=	1,553 SQ FT

SCOPE OF WORK

FIRE REPAIR

- ROOF ASSEMBLY:** REPAIR EXISTING CUT ROOF FRAMING AT REAR LOW ROOF & AT WESTERN PORTION OF MAIN GABLE ROOF. REPAIR EXISTING ROOF SHEATHING PER PLAN. PROVIDE NEW COMPOSITION ROOF SHINGLES PER PLAN. REPLACE CEILING FRAMING IN NORTHWESTERN BEDROOM.
- WALL ASSEMBLY:** REMOVE EXISTING INTERIOR WALL FINISHES, INSULATION, AND ELECTRICAL WIRING. RETAIN WALL FRAMING AND SMOKE SEAL AS NEEDED. REPLACE SELECT DAMAGED INTERIOR WALL FRAMING PER PLAN. RETAIN EXTERIOR WALL FINISHES. REPLACE WINDOWS & DOORS PER PLAN.
- FLOOR ASSEMBLY:** STRIP (E) FLOOR FINISHES AND REPLACE IN LIKE KIND.
- ELECTRICAL:** REMOVE (E) DAMAGED ELECTRICAL WIRING AND REPLACE BACK TO PANEL.
- MECHANICAL/PLUMBING:** (E) FAU UNIT AND DUCTWORK IN CRAWLSPACE TO BE CLEANED. REPLACE (E) PLUMBING FIXTURES IN LIKE KIND. (E) WH TO REMAIN.

UTILITY ROOM RECONCILIATION

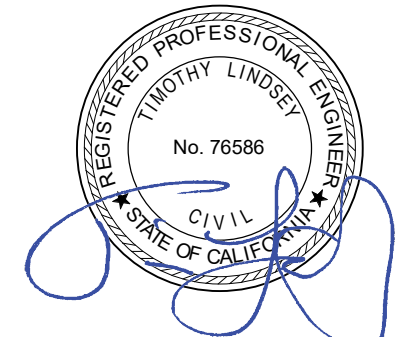
- ROOF ASSEMBLY:** PROVIDE NEW ROOF FRAMING & SHEATHING PER PLAN. PROVIDE NEW COMPOSITION ROOF SHINGLES PER PLAN.
- WALL ASSEMBLY:** PROVIDE NEW WALL EXTERIOR & INTERIOR WALL FRAMING PER PLAN. NEW EXTERIOR WALL FINISH PER PLAN. PROVIDE WINDOWS & DOORS PER PLAN.
- FLOOR ASSEMBLY:** PROVIDE NEW FLOOR STRUCTURE & FLOOR FINISH PER PLAN. VERIFY OR PROVIDE COMPLIANT CRIPPLE WALL FRAMING AND FOUNDATION PER PLAN.
- ELECTRICAL:** PROVIDE NEW ELECTRICAL WIRING & ELECTRICAL FIXTURES TO NEW ELECTRICAL SUB PANEL.

SHEET INDEX

A0.1	LOCATION MAP & GENERAL NOTES
A0.2	PLOT PLAN
A0.3	RESIDENTIAL STANDARD NOTES
A2.1	EXISTING FLOOR PLAN
A2.2	PROPOSED FLOOR PLAN
A3.1	PHOTO ELEVATIONS
A3.2	ELEVATIONS
A3.3	NEIGHBORHOOD PHOTOS
S0.1	STANDARD STRUCTURAL NOTES
S0.2	STANDARD STRUCTURAL DETAILS
S0.3	STANDARD STRUCTURAL DETAILS
S2.1	PARTIAL FDN, FLR FRMG PLAN & LAT DIAGRAM
S2.2	PARTIAL ROOF FRAMING PLAN
S4.1	STRUCTURAL DETAILS
E2.1	ELECTRICAL PLAN
T0.1	CF-1R FORMS - FIRE REPAIR
T0.2	CF-1R FORMS - ADDITION



DEGENKOLB ENGINEERS
428 J ST, SUITE 500
SACRAMENTO, CA 95814
916.418.9100 (P)
www.degenkolb.com



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

LOCATION MAP & GENERAL NOTES

Project

REVISIONS:
Description

Date

DATE 10/12/2021

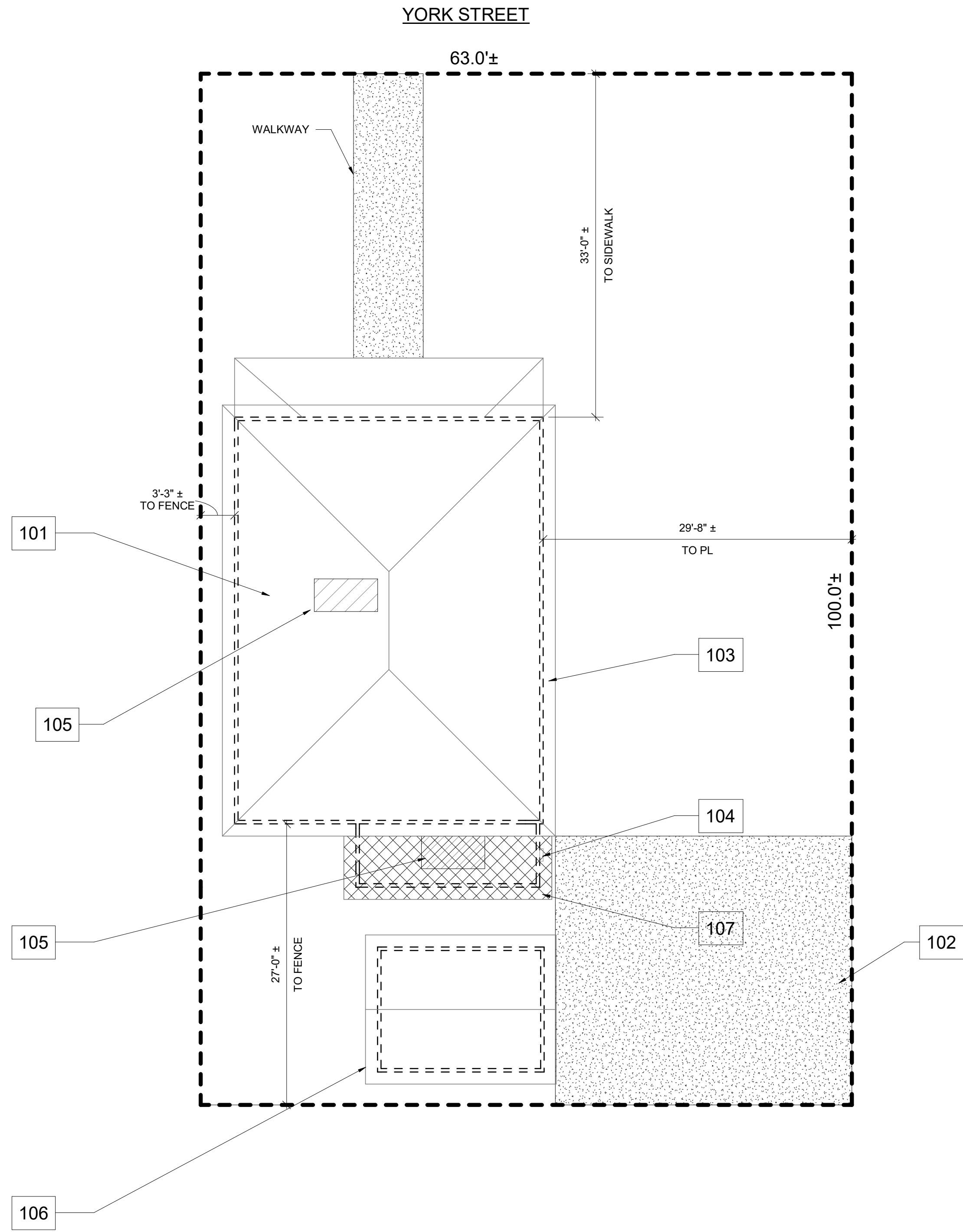
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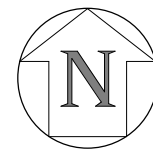
SHEET

A0.1

File Path: C:\Users\Kbocanegra\Documents\C1A76034.00-Stramat Residence_R20_kbocanegra\NEZMB.rvt



PLOT PLAN
1/8" = 1'-0"



KEY NOTES

- 101 - (E) MAIN RESIDENCE
- 102 - (E) DRIVEWAY
- 103 - (E) GAS METER
- 104 - (E) ELECTRICAL PANEL
- 105 - APPROXIMATE LOCATION OF REPAIRS (SMOKE VENT CUTS)
- 106 - (E) DETACHED GARAGE - NO SCOPE
- 107 - AREA OF (E) UTILITY ROOM TO BE RECONCILED

NOTE: A LAND SURVEY WAS NOT PERFORMED FOR THIS RECONSTRUCTION PROJECT. PROPERTY LINE INFORMATION SHOWN IS FROM EXISTING COUNTY ASSESSOR'S MAPS. ALL DIMENSIONS TO PROPERTY LINES ARE APPROXIMATE FROM OBSERVED FIELD CONDITIONS AND HAVE NOT BEEN VERIFIED BY MEANS OF SURVEY.



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

PLOT PLAN

Project

REVISIONS:
Date Description

DATE 10/12/2021

DRAWN KLM

JOB NO C1A76034.00

SHEET

A0.2

CALGREEN CODE NOTES

ALTERATIONS & ADDITIONS

1. MANDATORY MEASURE OF CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATION OF EXISTING RESIDENTIAL BUILDINGS WHERE ADDITION OR ALTERATION INCREASES THE BUILDINGS CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION. EXCEPTION: ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH "WATER-CONSERVING" FIXTURES (SEE NOTE #2).
- MANDATORY MEASURES (CALGREEN CHAPTER 4)
2. **INDOOR WATER USE** - (CALGREEN SECTION 4.303) ALL NEW PLUMBING FIXTURES, OR FIXTURES PART OF AN ADDITION OR ALTERATION SHALL COMPLY WITH THE FOLLOWING MANDATORY ALLOWABLE FLOW RATES.

FIXTURE TYPE	COMPLIANT FLOW RATE ¹	MANDATORY FLOW RATE FOR NEW "WATER CONSERVING" FIXTURES
SHOWERHEADS	2.5 GPM @ 80 PSI	1.8 GPM @ 80 PSI
LAVATORY FAUCETS	2.2 GPM @ 60 PSI	1.2 GPM @ 60 PSI
KITCHEN FAUCETS	2.2 GPM @ 60 PSI	1.8 GPM @ 60 PSI
GRAVITY TANK TYPE WASH OR CLOSETS	1.6 GAL/FLUSH	1.28 GAL/FLUSH

3. **ENHANCED DURABILITY AND REDUCED MAINTENANCE** - (CALGREEN 4.406) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS, SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE BUILDING OFFICIAL.
4. **CONSTRUCTION WASTE REDUCTION, DISPOSAL, & RECYCLING** - (CALGREEN SECTION 4.408) RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE USING A CONSTRUCTION WASTE MANAGEMENT PLAN PER 4.408.2, A WASTE MANAGEMENT COMPANY PER 4.408.3, A WASTE STREAM REDUCTION ALTERNATIVE PER 4.408.4, OR A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
5. **BUILDING MAINTENANCE & OPERATION** - (CALGREEN SECTION 4.410) AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PLACED IN THE BUILDING WHICH MEETS THE REQUIREMENTS OF CALGREEN SECTION 4.410.1.
6. **FIREPLACES** - (CALGREEN SECTION 4.503) ANY INSTALLED FIRE PLACE SHALL BE A DIRECT VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OF PELLET STOVE SHALL COMPLY WITH US EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES, AND FIRE PLACES SHALL ALSO COMPLY APPLICABLE LOCAL ORDINANCES.
7. **POLLUTANT CONTROL** - (CALGREEN SECTION 4.504) AT THE TIME OF ROUGH INTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER APPROVED METHOD TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
- A. VOC LIMITS: DOCUMENTATION MAY BE REQUIRED BY THE ENFORCING AGENCY TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
- a. MANUFACTURER'S PRODUCT SPECIFICATIONS
- b. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS
8. **INTERIOR MOISTURE CONTROL** - (CALGREEN SECTION 4.505) BUILDING MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT PER CALGREEN SECTION 4.505.3. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER AND CAPILLARY BREAK.
9. **INDOOR AIR QUALITY** - (CALGREEN SECTION 4.506) EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR COMPLIANT FAN. THE FAN SHALL BE CONTROLLED BY A HUMIDITY CONTROL AND DUCTED OUTSIDE THE BUILDING. THE HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZED MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN.
10. **ENVIRONMENTAL COMFORT** - (CALGREEN SECTION 4.507) PERFORM RESIDENTIAL LOAD CALCULATIONS USING ANSI/ACCA 2 MANUAL J APPROVED METHODS OR SOFTWARE. SIZE DUCTING IN ACCORDANCE WITH ANSI/ACCA 1 MANUAL D. SELECT COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S.

CALIFORNIA MECHANICAL CODE NOTES

REPAIRS / ALTERATIONS / ADDITIONS

1. MECHANICAL CODE REQUIREMENTS ARE APPLICABLE WHERE COMPONENTS ARE WITHIN SCOPE OF REPAIR, ALTERATION, AND / OR ADDITION.
- EXHAUST SYSTEMS
2. EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH BACK DRAFT DAMPERS. (CMC SECTION 504.1)
3. KITCHEN RANGE VENTILATION DUCTS SHALL BE METAL WITH SMOOTH INTERIOR SURFACES. (CMC SECTION 504.3)
4. THE CLOTHES DRYER SHALL BE EXHAUSTED USING APPROVED 4"Ø MIN DUCTING. THE DUCTING SHALL NOT EXCEED 14' WITH A MAXIMUM OF 2-90° ELBOWS, UNLESS PERMITTED BY MANUFACTURER INSTRUCTIONS AND THE LOCAL JURISDICTION. (CMC SECTION 504.4)
5. NO HVAC OR WATER HEATER VENTS SHALL TERMINATE LESS THAN 4'-0" BELOW OR TO THE SIDE, OR LESS THAN 1'-0" ABOVE ANY DOOR OR OPERABLE WINDOW. (CMC SECTION 806.6)
- VENTILATION (PER CMC SECTION 402 & ASHRAE 62.2)
6. KITCHEN - 100 CFM (ON DEMAND), 3 SONE, 5'Ø MIN DUCT
7. BATHROOM - 50 CFM (ON DEMAND), 3 SONE, 4'Ø MIN DUCT
8. WHOLE HOUSE - LOCATE IN BATHROOM (CONTINUOUS), 1 SONE, 0.03(1.553 SF)+7.5(3 BR+1) = 77 CFM WITH 5'Ø MIN DUCT
- COMBUSTION AIR
9. INDOOR COMBUSTION AIR - PROVIDE 50 CU FT OF COMBUSTION AIR PER 1,000 BTU/H. INDOOR SPACE MAYBE COMBINED USING TWO VENT OPENINGS WITH A NET FREE AREA OF 1 SQ INCH PER 1,000 BTU/H OF NO LESS THAN 100 SQ INCHES. ONE VENT SHALL COMMENCE WITHIN 12" OF THE FLOOR, THE OTHER VENT SHALL BE LOCATED WITHIN THE 12" OF THE CEILING. (CMC SECTION 701.4)
10. OUTDOOR COMBUSTION AIR (2 OPENINGS) - PROVIDE TWO PERMANENT OPENINGS, ONE WITHIN 12" OF THE FLOOR AND THE OTHER WITHIN 12" OF THE CEILING. EACH OPENING SHALL HAVE A NET FREE AREA OF 1 SQ INCH PER 4,000 BTU/H OF TOTAL INPUT RATING OF THE APPLIANCE WITHIN THE ENCLOSURE. (CMC SECTION 701.6.1)
11. OUTDOOR COMBUSTION AIR (1 OPENING) - PROVIDE ONE PERMANENT OPENING COMMENCING WITHIN 12" OF THE CEILING. THE OPENING SHALL COMMUNICATE DIRECTLY WITH THE OUTDOORS AND SHALL HAVE A FREE AREA NOT LESS THAN 1 SQ INCH PER 3,000 BTU/H OF THE TOTAL INPUT RATING OF THE APPLIANCES WITHIN THE ENCLOSURE. (CMC SECTION 701.6.2)

- APPLIANCES
12. APPLIANCES MUST BE READILY ACCESSIBLE FOR INSPECTION, REPAIR AND PLACEMENT. A 30"x30" WORKING SPACE MUST BE PROVIDED AT THE FRONT OR SERVICE SIDE OF THE APPLIANCE. (CMC 304) THE SPACE IN WHICH ANY FLOOR FURNACE IS INSTALLED SHALL BE ACCESSIBLE BY A COMBINATION OF 24"X24" AND A PASSAGEWAY NOT LESS THAN 24"X18" (CMC 906.8)
13. APPLIANCES INSTALLED IN ATTICS SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE AND NOT LESS THAN 22"x30" WITH MINIMUM 30" HEADROOM CLEARANCE. THE APPLIANCE SHALL BE LOCATED WITHIN 20" OF THE PASSAGEWAY ACCESS WHEN ATTIC HAS LESS THAN 6' HEADROOM. PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE TO THE APPLIANCE. A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (CMC 304.4, CPC 509.4)

CALIFORNIA ENERGY CODE NOTES

ALTERATIONS & ADDITIONS

1. MANDATORY MEASURES OF SECTION 150 SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION (ENERGY CODE SECTION 150.2).
- MANDATORY MEASURES (ENERGY CODE SECTIONS 110 & 150)
2. MANDATORY REQUIREMENTS TO LIMIT AIR LEAKAGE (ENERGY CODE SECTION 110.7) - ALL JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCE FOR AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION & EXFILTRATION.
3. SOLAR ZONE - (ENERGY CODE SECTION 110.10) THE FOLLOWING REQUIREMENTS ARE APPLICABLE TO RESIDENCES WITHIN A DEVELOPMENT NOT ALREADY EQUIPPED WITH A SOLAR SYSTEM.
- A. PROVIDE A 250 SF ROOF AREA (150 SF WHERE WUI APPLIES) WITH A 5' MIN DIMENSION ON A SLOPE FACING BETWEEN 110° - 270°
- B. PROVIDE A 200 AMP PANEL FOR FUTURE SOLAR SYSTEM CONNECTION.
- C. RESERVE A SPACE IN THE ELECTRICAL PANEL FOR A DOUBLE POLE CIRCUIT BREAKER LOCATED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. PERMANENTLY MARK THE SPACE AS "FOR FUTURE SOLAR ELECTRIC".
4. PIPE INSULATION - (ENERGY CODE SECTION 150.0 (J)) INSULATE ALL PIPING 3/4"Ø OR GREATER. PROVIDE 1" OF INSULATION FOR PIPES LESS THAN OR EQUAL TO 1"Ø. PROVIDE 1 1/2" OF INSULATION FOR PIPES GREATER THAN 1"Ø. INSULATE ALL PIPES USED TO CIRCULATE HOT WATER TO KITCHEN FIXTURES. INSULATE THE FIRST 5' OF PIPING FROM THE WATER HEATER.
5. LIGHTING - (ENERGY CODE SECTION 150.0 (K))
- A. EFFICACY - ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE W/TABLE 150.0-A
- B. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS - ALL ASSEMBLIES SHALL BE IC RATED, AT RATED, SEALED, AND COMPLY W/JOINT APPENDIX JA8. RECESSED ASSEMBLIES SHALL NOT CONTAIN SCREW BASE SOCKETS.
- C. INTERIOR LIGHTING, SWITCHING DEVICES & CONTROLS - DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE A LIGHT SOURCE COMPLIANT W/ JOINT APPENDIX JA8. (CLOSETS LESS THAN 70 SF & HALLWAYS DO NOT REQUIRE DIMMERS OR VACANCY SENSORS) AT LEAST ONE LUMINAIRE IN A BATHROOM, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- D. RESIDENTIAL OUTDOOR LIGHTING - ALL FIXTURES SHALL BE CONTROLLED BY EITHER PHOTOCCELL & MOTION SENSOR, PHOTOCNTROL & AUTOMATIC TIME SWITCH, ASTRONOMICAL TIME CLOCK, OR EMCS.
6. HVAC - SEE TITLE 24 ENERGY CALCULATION DOCUMENTATION
7. WATER HEATER - (ENERGY CODE SECTION 150.0 (N)) WATER HEATER ASSEMBLIES SHALL BE "ON-DEMAND" COMPATIBLE.
- A. LOCATE A GFI WITHIN 3' OF THE WATER HEATER, WITHOUT OBSTRUCTIONS.
- B. SIZE THE GAS LINE FOR 200,000 BTU/H.
- C. PROVIDE A CATEGORY III OF IV VENT, OR A TYPE B VENT WITH A STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED.
- D. PROVIDE A CONDENSATE DRAIN THAT IS NO MORE THAN 2" HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS FOR NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE.
8. VENTILATION - (ENERGY CODE SECTION 150.0 (O)) ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE 62.2. SEE CALIFORNIA MECHANICAL NOTES.

CALIFORNIA ELECTRICAL CODE NOTES

REPAIRS / ALTERATIONS / ADDITIONS

1. ELECTRICAL CODE REQUIREMENTS ARE APPLICABLE WHERE COMPONENTS ARE WITHIN SCOPE OF REPAIR, ALTERATION, AND / OR ADDITION.
- GROUNDING
2. PROVIDE UFER GROUND LOCATED AT MAIN SERVICE PANEL PER CEC ARTICLE 250.50.
3. AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL PER CEC ARTICLES 800.100(B) & 250.94.
- CIRCUITS
4. PROVIDE TWO MINIMUM SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES. (CEC ARTICLE 220.52 (B.1))
5. PROVIDE ONE MINIMUM 20 AMP CIRCUIT TO LAUNDRY APPLIANCES. (CEC ARTICLE 220.52 (F))
6. AT LEAST ONE BATHROOM RECEPTACLE OUTLET SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE LOCATED WITHIN 3' OF THE AF THE BASIN EDGE. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC ARTICLE 210.52 (D))
7. THE FOLLOWING RECEPTACLES SHALL BE GFCI PROTECTED (CEC ARTICLE 210.8):
- A. BATHROOMS
- B. GARAGES
- C. OUTDOORS
- D. KITCHENS - WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP
- E. WITHIN 8' OF SINK BASINS
- F. LAUNDRY ROOMS
8. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, AND 15 AND 20 AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS, FAMILY ROOMS, LIVING ROOMS, DENS, CLOSETS, AND HALLWAYS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. (CEC ARTICLE 210.12)
- RECEPTACLES
9. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET MORE IN WIDTH. (CEC ARTICLE 210.52(A))
10. ALL 120-VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTENT. (CEC ARTICLE 406.12)
11. CLOTHES CLOSET LIGHT FIXTURES SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING (CEC ARTICLE 410.16)
- LIGHTING
12. SEE CALIFORNIA ENERGY CODE NOTES
- MISCELLANEOUS
13. CEILING FANS SHALL NOT BE SUPPORTED BY STANDARD OUTLET BOXES. CEILING FAN SUPPORT BOXES SHALL BE LISTED ACCORDINGLY. (CEC ARTICLE 314.27 (C))
14. PROVIDE A MINIMUM 30" WIDE BY 36" DEEP BY 6 1/2" HIGH ILLUMINATED CLEAR WORKING AREA SHALL BE PROVIDED IN FRONT OF EACH PANEL.

CALIFORNIA PLUMBING CODE NOTES

REPAIRS / ALTERATIONS / ADDITIONS

1. PLUMBING CODE REQUIREMENTS ARE APPLICABLE WHERE COMPONENTS ARE WITHIN SCOPE OF REPAIR, ALTERATION, AND / OR ADDITION.
- GENERAL
2. PROVIDE A BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS AND WATER SUPPLY LINES. (CPC SECTION 603.3)
3. SHOWERS AND SHOWER/TUB COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE. PROVIDE TEMPERATURE REGULATION TO LIMIT HOT WATER TEMPERATURE TO 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED APPROPRIATE MEANS. (CPC SECTION 408.3)
4. THE PRESSURE ABSORBING DEVICE AT THE FOLLOWING QUICK ACTING VALVES: DISHWASHERS AND WASHING MACHINES IN DWELLING UNITS SHALL BE EITHER AIR CHAMBERS OR LISTED MECHANICAL DEVICES. (CPC SECTION 608.0)
- WATER HEATER
5. WATER HEATER SHALL BE GAS-IGNITED WITH A 50-GALLON CAPACITY. WATER HEATERS SHALL BE STRAPPED TO THE BUILDING WITH ANCHOR/STRAP STRAP WITHIN THE UPPER 1/3 AND THE OTHER WITHIN THE LOWER 1/3 OF THE WATER HEATER. (CPC SECTION 507.2)
6. ALL STORAGE TYPE WATER HEATERS SHALL BE PROVIDED WITH AN APPROVED TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2'-0" OR LESS THAN 6" ABOVE GROUND, POINTING DOWNWARD, THE TERMINAL END SHALL NOT BE THREADED. WATER HEATER INSTALLATION SHALL CONFORM WITH CPC SECTIONS 504.4, 504.5, & 608.5. WHERE A PRESSURE REGULATOR IS INSTALLED, AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE SHALL BE INSTALLED TO CONTROL INTERMITTENT THERMAL EXPANSION. (CPC SECTIONS 608.2 & 608.3)
7. WATER HEATERS GENERATING A GLOW, SPARK, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE, OR ADJACENT SPACES THAT OPEN TO THE GARAGE BUT ARE NOT PART OF THE LIVING SPACE, PROVIDED THE PILOTS, BURNERS, OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. SUCH APPLIANCES SHALL BE PROTECTED FROM VEHICLE IMPACT PER CPC SECTION 507.13 & 507.13.1.
8. ANCHOR STRAPS FOR WATER HEATERS SHALL BE LOCATED WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION, LOWER ANCHOR/STRAP LOCATION TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS. (CMC 304.4, CPC 507.2) A WATER HEATER SUPPORTED FROM THE GROUND SHALL REST ON LEVEL CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3" ABOVE THE ADJOINING GROUND LEVEL. (CPC 507.4)
9. THE MINIMUM CAPACITY FOR A STORAGE TYPE WATER HEATER SHALL BE IN ACCORDANCE WITH THE FIRST HOUR RATING LISTED IN TABLE CPC TABLE 501.1(2). (I.E. 67-GALLON FOR UP TO 4 BEDROOM/2.5 BATH RESIDENCE & 80-GAL FOR 5 BEDROOM/3 BATH OR MORE)
10. SEE CALIFORNIA MECHANICAL CODE NOTES & CALIFORNIA ENERGY CODE NOTES FOR VENTING REQUIREMENTS.

- BATHROOMS
11. WATER CLOSET STOOL SHALL BE LOCATED MINIMUM 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION (MINIMUM 30" CLEAR SPACE IN WIDTH) AND HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24". (CPC 402.5)
12. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY-FOUR (1024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE TO A POINT 70" ABOVE THE SHOWER DRAIN. (CPC 408.6)
13. SHOWER RECEPTORS BUILT ON-SITE SHALL BE WATERTIGHT AND SHALL BE CONSTRUCTED FROM APPROVED-TYPE DENSE, NONABSORBANT, AND NONCORROSIVE MATERIALS. EACH SUCH RECEPTOR SHALL BE ADEQUATELY REINFORCED, SHALL BE PROVIDED WITH AN APPROVED FLANGED FLOOR DRAIN DESIGNED TO MAKE A WATERTIGHT JOINT IN THE FLOOR, AND SHALL HAVE SMOOTH, IMPERVIOUS, AND DURABLE SURFACES. RECEPTORS SHALL HAVE THE SUBFLOOR AND ROUGH SIDE OF WALL TO A HEIGHT OF NOT LESS THAN 3 INCHES ABOVE THE TOP OF THE FINISHED DAM OR THRESHOLD SHALL BE FIRST LINED WITH DURABLE WATERTIGHT MATERIALS. LINING MATERIALS SHALL BE PITCHED 1/4 INCH PER FOOT TO WEEP HOLES IN THE SUBDRAIN OF A SMOOTH AND SOLIDLY FORMED SUBBASE. (CPC 408.7)

CALIFORNIA RESIDENTIAL CODE NOTES

REPAIRS / ALTERATIONS / ADDITIONS

1. BUILDING CODE REQUIREMENTS ARE APPLICABLE WHERE COMPONENTS ARE WITHIN SCOPE OF REPAIR, ALTERATION, AND / OR ADDITION.
- EXTERIOR COMPONENTS
2. WEATHERPROOF THE EXTERIOR IN COMPLIANCE WITH CRC SECTION R703.
3. ASPHALT SHINGLE ROOFING SHALL COMPLY W/CRC SECTION R905. PROVIDE A TYPE 15 MIN FELT UNDERLAYMENT FOR COMPOSITION ROOF COVERINGS PER CRC SECTION R905.2.2.
4. VALLEYS SHALL CONSIST OF EITHER 24" WIDE CORROSION RESISTANT METAL LININGS OR TWO PLIES OF MINERAL-SURFACED ROOFING WITH THE BOTTOM LAYER NOT LESS THAN 18" AND THE TOP LAYER NOT LESS THAN 36" WIDE (@ OPEN VALLEYS). VALLEYS SHALL CONSIST OF AT LEAST ONE PLY OF 36" WIDE SMOOTH ROLL ROOFING OR SELF-ADHERING POLYMER MODIFIED BITUMEN UNDERLAYMENT (@ CLOSED VALLEYS). (CRC R905.2.2)
5. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED PER CRC R319.1.
6. PROVIDE PRESERVATIVE TREATED OR NATURALLY DURABLE WOOD WHERE FRAMING IS IN CONTACT WITH CONCRETE OR LACKS CLEARANCE IN COMPLIANCE WITH CRC SECTION R317.
7. EXTERIOR STUCCO WALL SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. (CBC 2512.1.2)

- FIRE PROTECTION REQUIREMENTS
8. WALLS, CEILINGS, AND SOFFITS UNDER STAIRWAYS SHALL BE ENCLOSED AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION. (CRC SECTION R302.7.)
9. FIRE BLOCK AT WALLS AT STAIR STRINGERS, DROP CEILINGS, COVE CEILINGS, FLOORS, SHOWERS, SOFFITS, AND AT OPENINGS AROUND DUCTS, VENTS, PIPES, AND FLUE CHASES. FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT TO EXCEED 10'-0" MAXIMUM. (CRC SECTION R302.11)
10. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450. (CRC SECTION R302.9)
11. PROVIDE FIRE BLOCKING AT ALL SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THROUGH WHICH CHIMNEYS PASS. FIRE BLOCKING SHALL BE SELF SUPPORTING OR BE PLACED ON STRIPS OF METAL OR METAL LATH LAID AREAS ACROSS SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY (CRC SECTION R1003.19.)
12. A 1 3/8" THICK SOLID CORE WOOD OR HONEYCOMB CORE STEEL DOOR IS REQUIRED AT ALL DOORS LEADING FROM THE RESIDENCE TO THE GARAGE AND SHALL BE SELF-CLOSING AND SELF-LATCHING. EXCEPTION: A FIRE DOOR IS NOT REQUIRED WHEN THE RESIDENCE AND PRIVATE GARAGE IS PROTECTED BY A RESIDENTIAL FIRE SPRINKLER SYSTEM. THE DOOR OPENINGS NEED ONLY BE SELF-CLOSING AND SELF-LATCHING. (CRC SECTION 302.5.1)
13. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE SPACE ABOVE BY A SINGLE LAYER OF 5/8" TYPE X GYPSUM BOARD PER CRC TABLE 302.6. DUCTS PENETRATING THESE WALLS OR CEILINGS SHALL BE A MINIMUM OF 26 GAGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (CRC SECTION 302.5.2)
14. INSTALL COMBINATION SMOKE DETECTOR/CARBON MONOXIDE ALARMS IN DWELLING UNITS AND SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS WITHIN THE UNIT. (CRC SECTION R315.2)

- WINDOWS
15. ALL NEW OR REPLACED WINDOWS SHALL BE DUAL GLAZED WITH LOW-E GLASS. DO NOT REMOVE NFRC STICKERS FROM GLAZING PRIOR TO APPROVED INSPECTION. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR ESCAPE OPENING OF 5.7 SF WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET CLEAR OPENING WIDTH OF 20". THE WINDOW OPENING BOTTOM EDGE SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. (CRC SECTION R310)
16. THE CONTRACTOR SHALL PROVIDE SAFETY GLAZING FOR ALL CONDITIONS DEEMED A "HAZARDOUS LOCATION" PER CRC SECTION R308.4.

- STAIRWAYS
17. PROVIDE GUARDS OR HANDRAILS THAT ARE TESTED TO RESIST A CONCENTRATED HORIZONTAL FORCE OF 200 LBS APPLIED AT THE TOP OF THE BARRIER IN ANY DIRECTION. GUARDS AT OPEN-SIDING WALKING SURFACES SHALL NOT BE LESS THAN 42" HIGH, MEASURED VERTICALLY ABOVE THE LEAD EDGE OF THE STAIR TREAD NOSING. GUARDS SHALL BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. GUARDS ON THE OPEN SIDES OF STAIRS OR ACTING AS A HANDRAIL, SHALL HAVE A MINIMUM HEIGHT OF 34" NO GREATER THAN 38". MEASURED VERTICALLY FROM THE LEADING EDGE OF THE TREAD NOSING, AND SHALL BE SPACED SUCH THAT A 4 3/8" SPHERE CANNOT PASS THROUGH. TREAD NOSING SHALL NOT PROJECT MORE THAN 1 1/4" BEYOND THE TREAD BELOW. STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE. (CRC SECTION R312.1)
18. STAIRWAY SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7 3/4" AND A MINIMUM TREAD DEPTH OF 10". A VARIATION OF NOT MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST RISER HEIGHTS OR THE LONGEST AND SMALLEST TREAD DEPTH SHALL BE PERMITTED. (CRC SECTION 311.7.5)

- BATHROOMS
19. WALL FINISHES AT SHOWER/BATHTUB ENCLOSURES SHALL CONSIST OF A NON-ABSORBANT SURFACE AND EXTEND UP TO SIX FEET ABOVE FINISH FLOOR PER CRC R307.2. "GREEN BOARD" IS NOT ACCEPTABLE IN SHOWER/BATHTUB ENCLOSURES. ACCEPTABLE TILE BASE MATERIALS AT SHOWER/BATHTUB ENCLOSURES INCLUDE FIBER CEMENT, FIBER MAT REINFORCED CONCRETE, GLASS MAT GYPSUM BACKERS, OR FIBER REINFORCED GYPSUM BACKERS. (CRC SECTION R702.4.2)
20. BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SF, ONE-HALF OF WHICH SHALL BE OPERABLE. EXCEPTION: GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM IS PROVIDED. THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. (CRC SECTION 303.3)
21. BATHROOMS CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED. (CRC SECTION 303.3.1) SEE CALIFORNIA MECHANICAL CODE NOTES & CALGREEN CODE NOTES FOR ADDITIONAL REQUIREMENTS.



DEGENKOLB ENGINEERS

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REGISTERED PROFESSIONAL ENGINEER

THIRTY LINDEN

CIVIL

STATE OF CALIFORNIA

76586

10/12/21

REVISIONS:

Description	Date			Sheet Title

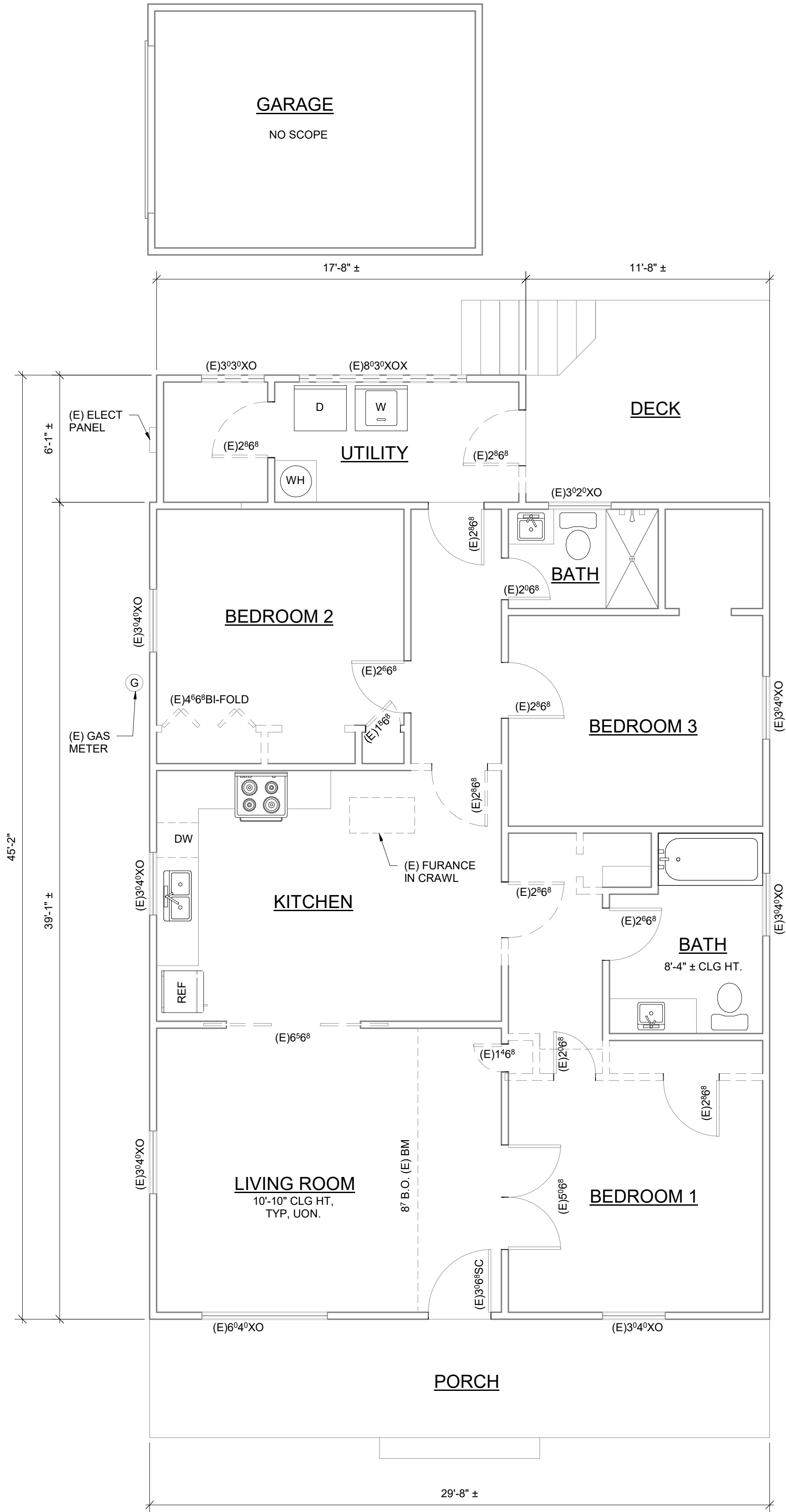
DATE	10/12/2021
DRAWN	KLM
JOB NO	C1A76034.00
SHEET	A0.3

STRAMAT RESIDENCE

945 YORK STREET

VALLEJO, CA 94590

RESIDENTIAL STANDARD NOTES



EXISTING FLOOR PLAN
1/4" = 1'-0"



PLAN LEGEND

- (E) WOOD STUD WALL, 2"x4" ROUGH SAWN REDWOOD STUDS @ 16" OC, TYP UON
- - - - - (E) WALLS TO BE DEMOLISHED



SAN FRANCISCO | LOS ANGELES | OAKLAND | SACRAMENTO | SAN DIEGO | SEATTLE | THIRDE

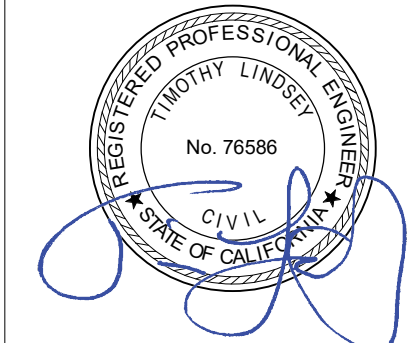
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10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

EXISTING FLOOR PLAN

REVISIONS:		Project
Date	Description	Sheet Title
DATE		10/12/2021
DRAWN		KLM
JOB NO		C1A76034.00
SHEET		A2.1



A2.2



C REAR (SOUTH) ELEVATION
N.T.S.



A FRONT (NORTH) ELEVATION
N.T.S.



D LEFT (EAST) ELEVATION
N.T.S.



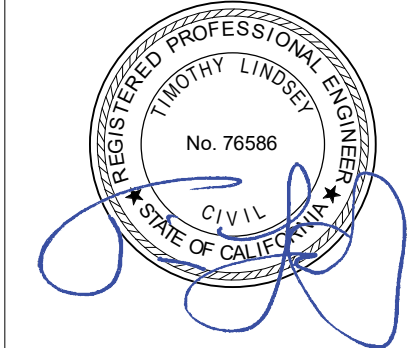
B RIGHT (WEST) ELEVATION
N.T.S.

ELEVATION KEY NOTES:

- 1 (R) COMPOSITION SHINGLE ROOFING @ WESTERN SLOPE & OVER LAUNDRY
- 2 (E) HORIZONTAL LAP SIDING
- 3 (R) WINDOWS PER PLAN
- 4 (R) DOORS PER PLAN
- 5 ELECTRICAL SERVICE PANEL PER PLAN
- 6 (E) GAS SERVICE METER
- 7 (E) DECK - NO SCOPE
- 8 (R) CUT FRAMING AT SMOKE VENT PER PLAN

GENERAL ELEVATION NOTES

- APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED PER CRC R319.1.
- WEATHERPROOF THE EXTERIOR IN COMPLIANCE WITH CRC SECTION R703.1.1. EXTERIOR DOOR AND WINDOW OPENINGS SHALL BE FLASHED IN ACCORDANCE WITH CRC R703.4.
- EXTERIOR DOOR AND WINDOWS SHALL COMPLY WITH CRC R609.
- HORIZONTAL LAP SIDING INSTALLED PER MFG'S RECOMMENDATIONS OR PER CRC R703.5.3.
- WOOD STRUCTURAL PANEL SIDING INSTALLED PER MFG'S RECOMMENDATIONS OR PER CRC R703.5.
- ASPHALT SHINGLE ROOFING SHALL COMPLY W/ CRC R905.2. PROVIDE A TYPE 15 MIN FELT UNDERLAYMENT FOR COMPOSITION ROOF COVERING PER CRC SECTION R905.2.3. FOR ROOF SLOPES BETWEEN 2:12 AND 4:12 APPLY TWO LAYERS OF UNDERLAYMENT PER CRC R905.2.2.

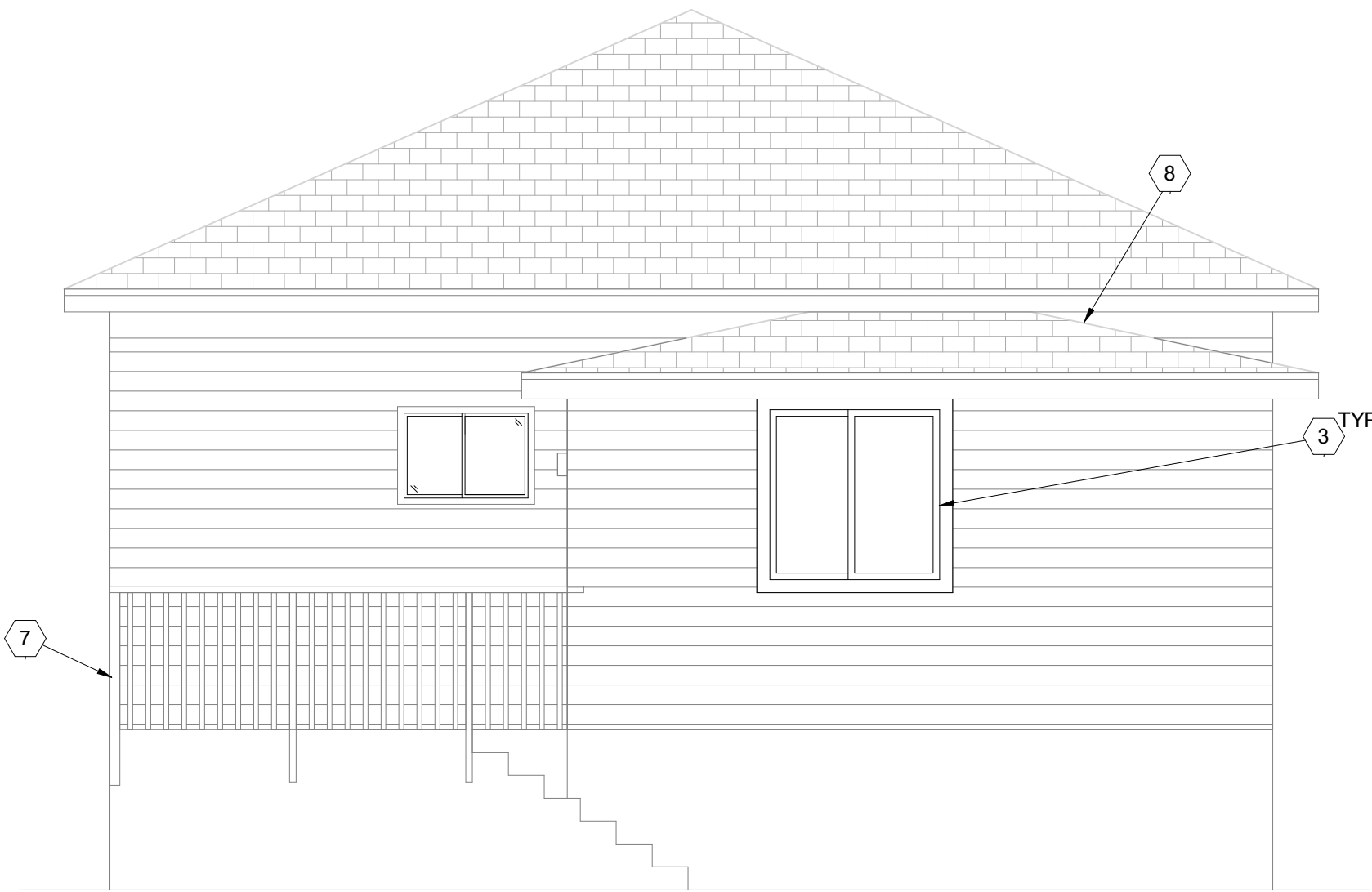


10/12/21

STRAMAT RESIDENCE
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VALLEJO, CA 94590

PHOTO ELEVATIONS

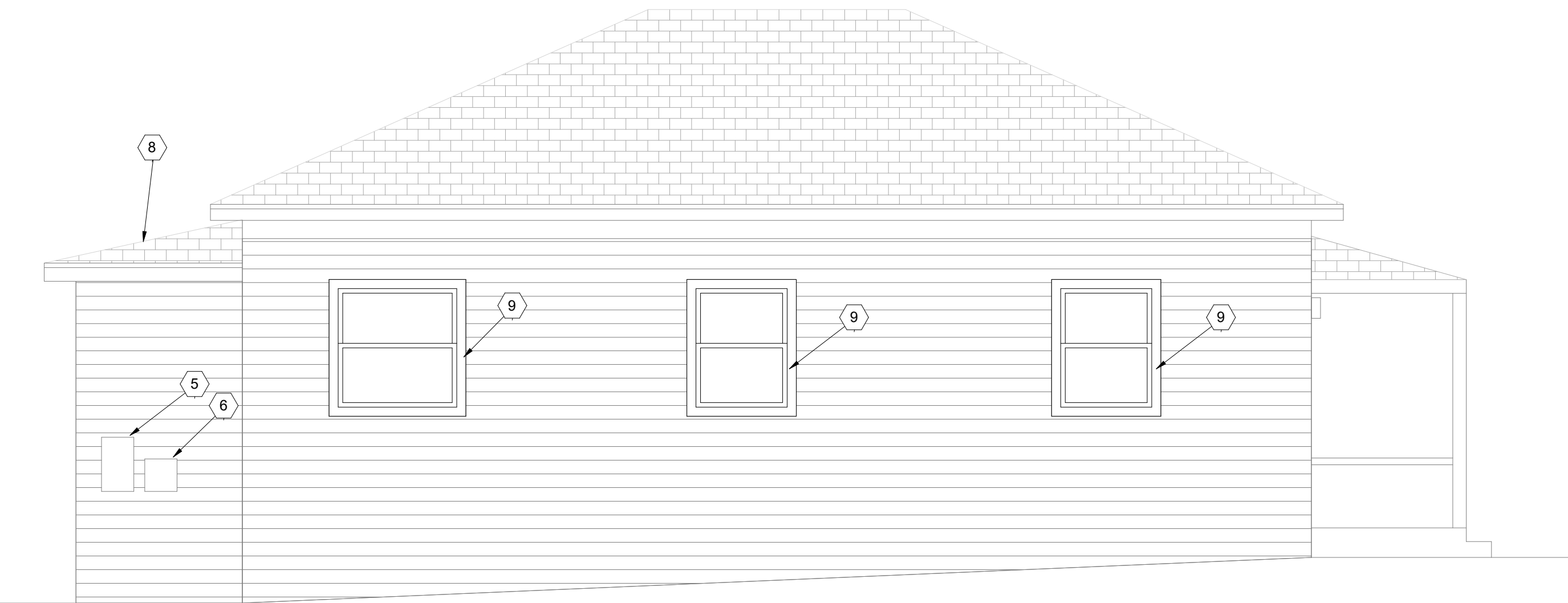
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Date	Description		
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JOB NO		C1A76034.00	
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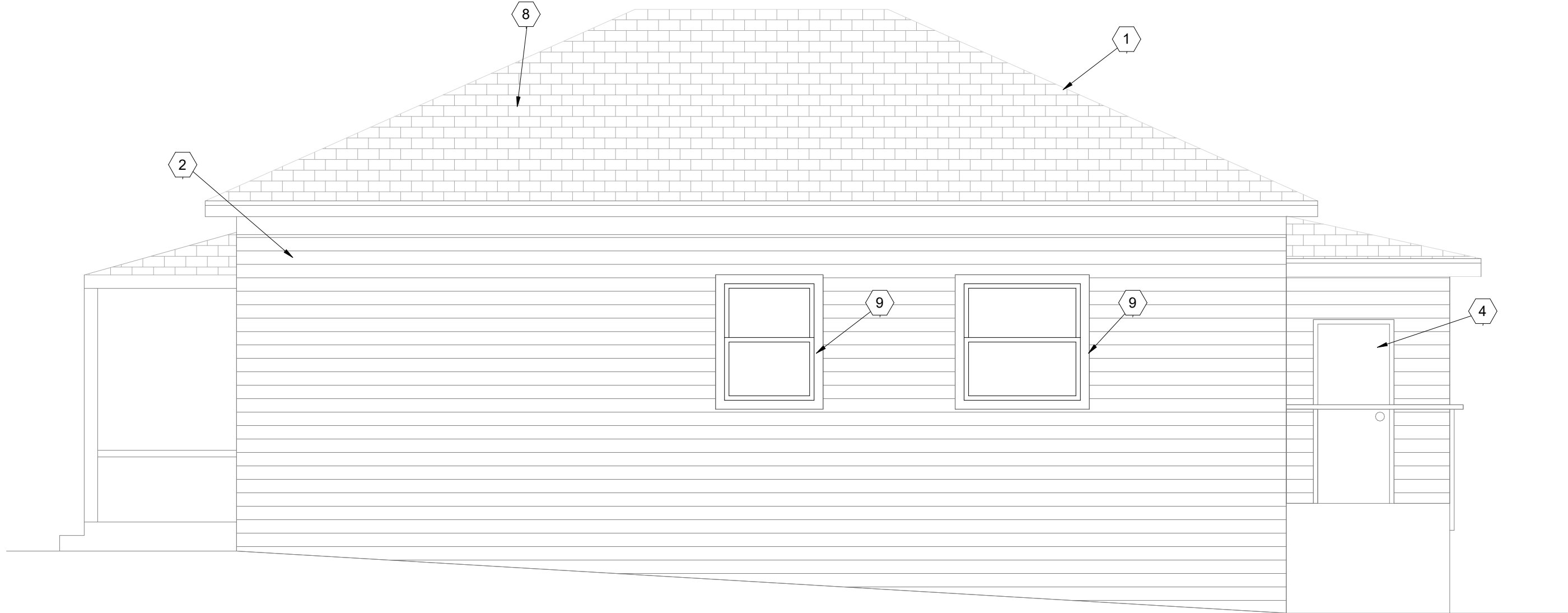
C REAR ELEVATION
1/4" = 1'-0"



A FRONT ELEVATION
1/4" = 1'-0"



D LEFT ELEVATION
1/4" = 1'-0"



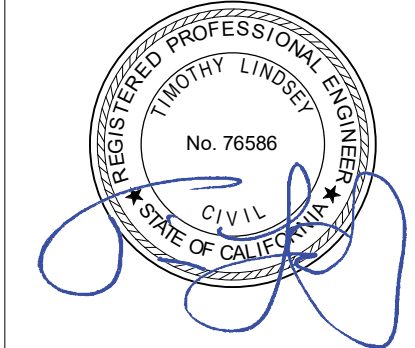
B RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION KEY NOTES:

- 1 (R) COMPOSITION SHINGLE ROOFING @ WESTERN SLOPE & OVER LAUNDRY
- 2 (E) HORIZONTAL LAP SIDING
- 3 (R) WINDOWS PER PLAN
- 4 (R) DOORS PER PLAN
- 5 ELECTRICAL SERVICE PANEL PER PLAN
- 6 (E) GAS SERVICE METER
- 7 (E) DECK - NO SCOPE
- 8 (R) CUT FRAMING AT SMOKE VENT PER PLAN
- 9 (R) WINDOW TO RESTORE TO ORIGINAL APPEARANCE AND SATISFY DESIGN REVIEW NEIGHBORHOOD REQUIREMENTS

GENERAL ELEVATION NOTES

1. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED PER CRC R319.1.
2. WEATHERPROOF THE EXTERIOR IN COMPLIANCE WITH CRC SECTION R703.1.1. EXTERIOR DOOR AND WINDOW OPENINGS SHALL BE FLASHED IN ACCORDANCE WITH CRC R703.4.
3. EXTERIOR DOOR AND WINDOWS SHALL COMPLY WITH CRC R609.
4. HORIZONTAL LAP SIDING INSTALLED PER MFG'S RECOMMENDATIONS OR PER CRC R703.5.3.
5. WOOD STRUCTURAL PANEL SIDING INSTALLED PER MFG'S RECOMMENDATIONS OR PER CRC R703.5.
6. ASPHALT SHINGLE ROOFING SHALL COMPLY W/ CRC R905.2. PROVIDE A TYPE 15 MIN FELT UNDERLAYMENT FOR COMPOSITION ROOF COVERING PER CRC SECTION R905.2.3. FOR ROOF SLOPES BETWEEN 2:12 AND 4:12 APPLY TWO LAYERS OF UNDERLAYMENT PER CRC R905.2.2.



STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590
ELEVATIONS

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SHEET		A3.2	



3 ADJACENT PROPERTY - 935 YORK ST
N.T.S.



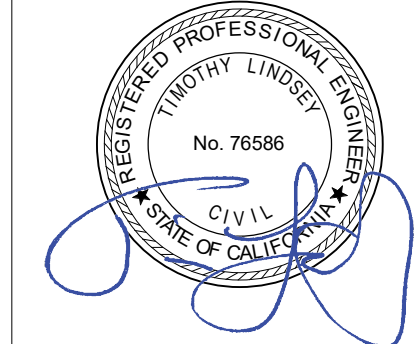
1 ADJACENT PROPERTY - 930 YORK ST
N.T.S.



4 ADJACENT PROPERTY - 944 YORK ST
N.T.S.



2 ADJACENT PROPERTY - 946 YORK ST
N.T.S.



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

NEIGHBORHOOD PHOTOS

REVISIONS:		Project	
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DATE		10/12/2021	
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● FOUNDATION NOTES:

- FOUNDATIONS ARE DESIGNED BASED ON:
2019 CALIFORNIA RESIDENTIAL CODE TABLE R401.4.1
ALL SITE PREPARATION SHALL BE IN ACCORDANCE WITH SOILS REPORT UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS.
- THE FOUNDATION SOIL IS CLASSIFIED AS TABLE R401.4.1, #5 WITH AN ESTIMATED ALLOWABLE BEARING PRESSURE OF 1500 PSF, FOR DEAD AND LIVE LOADS.
- FOOTINGS SHALL BEAR ON FIRM, DRY, UNDISTURBED SOIL AS CLASSIFIED IN NOTE #2 ABOVE. DEPTHS INDICATED ON THE PLANS SHALL BE THE MINIMUM DEPTH OF FOOTING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONDITIONS ON THE JOB SITE DIFFER FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS.
- ALL FOOTINGS NOT FORMED SHALL BE POURED INTO NEAT EXCAVATIONS AND THE FOOTING WIDTH SHALL BE INCREASED BY 2 INCHES. PRECAUTIONS SHALL BE TAKEN TO PREVENT SLOUGHING OF SOIL INTO THE FOOTING EXCAVATION PRIOR TO AND DURING THE PLACING OF CONCRETE.

● CONCRETE NOTES:

- CONCRETE SHALL BE F'C = 2500 PSI AT 28 DAYS WITH 5 SACKS OF CEMENT PER CUBIC YARD AND 4" SLUMP.
- REINFORCING STEEL SHALL CONFORM W/ ASTM A-615, GRADE 60.
- HORIZONTAL CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSE CLEAN AGGREGATE SOLIDLY EMBEDDED. LOCATION AND TYPE OF JOINTS IN CONCRETE SHALL BE ONLY WHERE INDICATED IN THE CONTRACT DOCUMENTS.
- DIMENSIONS SHOWN FOR LOCATIONS OF REINFORCING STEEL ARE TO FACE OF REINFORCING UNLESS NOTED OTHERWISE AND DENOTE CLEAR COVERAGE. TYPICAL MINIMUM COVERAGES ARE:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
 - FORMED AND EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER.....2"
 - #5 AND SMALLER.....1 1/2"
 - NOT EXPOSED TO WEATHER NOR IN CONTACT WITH EARTH:
 - SLABS, WALLS AND JOISTS.....3/4"
 - BEAMS, GIRDERS AND COLUMNS (MAIN BARS, TIES AND SPIRALS).....1 1/2"
- SPLICES IN CONTINUOUS REINFORCEMENT SHALL HAVE A MINIMUM LAP OF 48 BAR DIAMETERS, TYP FOR UP TO #6, FOR REINFORCING LARGER THAN #6, MINIMUM LAP 60 BAR DIAMETERS. SPLICES IN ADJACENT BARS SHALL BE AT LEAST 5'-0" APART. BARS MAY BE WIRED TOGETHER AT SPLICES OR LAPS. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER SIMILAR OPENINGS.
- REINFORCING STEEL NOT SPECIFICALLY DETAILED SHALL BE PER ACI-315R-04 DETAILING MANUAL.
- WELDED WIRE FABRIC SHALL CONFORM W/ASTM A-185 AND SIZED TO 4X4-W2.9XW2.9. PROVIDE IN FLAT SHEETS AND CHAIR TO MID SLAB DEPTH.
- VAPOR BARRIER SHALL BE STEGO INDUSTRIES "STEGO WRAP 15-MIL CLASS A" OR EQUIVALENT. INSTALL PER MFR'S RECOMMENDATIONS.

● CARPENTRY NOTES:

- ALL STRUCTURAL WOOD SHALL CONFORM WITH THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS:
 - DOUGLAS FIR.....WEST COAST LUMBERMENS ASSOCIATION GRADING RULES #17.
 - REDWOOD.....CALIFORNIA REDWOOD ASSOCIATION GRADING RULES.
 - STOCK GLULAM BEAMS.....PRG-305 PERFORMANCE STANDARD FOR APA EWS STOCK GLULAM BEAM
 - NON-STOCK GLULAM BEAMS.....ANSI/APC STANDARD A190.1 FOR STRUCTURAL GLUED LAMINATED TIMBER
 - STRUCTURAL PLYWOOD.....U.S. PRODUCT STANDARD DOC PS 1
- ALL LUMBER SHALL BE DOUGLAS FIR LARCH WITH A MOISTURE CONTENT OF 19% OR LESS AT THE TIME OF INSTALLATION. MINIMUM GRADE SHALL BE:
 - 4X - DOUGLAS FIR #1
 - 2X - DOUGLAS FIR #2
 - LAMINATED VENEER LUMBER (LVL) - 1.9E ILEVEL TRUS/JOIST MACMILLAN MICROLLAM
 - PREFABRICATED WOOD I-JOISTS - WEYERHAEUSER TRUSS JOIST TJI JOISTS
 - STOCK GLULAM BEAMS - 1.9E ROSOBORO X-BEAM. UNBALANCED AT SINGLE SPAN AND BALANCED AT CONTINUOUS OR CANTILEVERED SPANS.
 - NON-STOCK GLULAM BEAMS - SIMPLE SPAN 24F-V4, CONTINUOUS SPAN 24F-V8, CAMBER MINIMUM 3500-FT RADIUS, UON
 - STRUCTURAL PLYWOOD - APA C-D EXTERIOR GLUE.
- BEARING AND SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES, LAPPED AT WALL AND PARTITION INTERSECTIONS WITH 3-16D NAILS. SPLICE UPPER AND LOWER PLATES AS IN DETAIL ON THIS SHEET. TOP OR BOTTOM PLATES WHEN BORED FOR PIPES AND CONDUITS SHALL BE SPLICED WITH SIMPSON ST 6236 STRAPS ON ONE SIDE WHEN NOTCH IS 1/3 THE WIDTH OF THE PLATES. WHEN THE HOLE IS 2/3 OF THE WIDTH OF THE PLATES USE SIMPSON ST 6236 STRAPS ON EACH SIDE OF THE PLATES. BORED HOLES SHALL BE CENTERED ALONG THE WIDTH OF PLATES. NOTCHING PLATES MORE THAN 1/2 OF THE WIDTH IS NOT ALLOWED. NOTCHES IN PLATES SHALL NOT BE LONGER THAN THE PLATE WIDTH AND SHALL HAVE A CLEAR DISTANCE BETWEEN ANY ADJACENT HOLE OR NOTCH OF AT LEAST TWICE THE PLATE WIDTH. SILL PLATES SHALL BE PLACED IN A BED OF GROUT WHEN REQUIRED FOR FULL BEARING ON THE FOUNDATION.
- FOR EXTERIOR AND BEARING STUDS, NOTCHING NOT TO EXCEED 25% OF WIDTH AND BORED HOLES NOT TO EXCEED 40% OF WIDTH. FOR NON-BEARING STUDS, NOTCHING NOT TO EXCEED 40% AND BORING NOT TO EXCEED 60%. IF EXCEEDED, PROVIDE SIMPSON HSS STUD SHOE.
- PROVIDE SOLID BLOCKING BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS, AND AT SUPPORTS PARALLEL TO THE FRAMING PROVIDE BLOCKING OVER SUPPORT AT THE SAME SPACING AS THE FRAMING, PROVIDE CROSS BRIDGING OR FULL DEPTH BLOCKING FOR ALL ROOF RAFTERS OR FLOOR JOISTS THAT ARE 8 1/4 OR MORE INCHES DEEP. AT 8 FEET ON CENTER MAXIMUM AND AT NOT MORE THAN 10 FEET FROM SUPPORTS. CROSS BRIDGING SHALL CONSIST OF 2X3 WITH 2-8d TOE NAILS AT EACH END OR METAL BRIDGING INSTALLED WITH 2-8d NAILS AT EACH END.
- JOISTS UNDER AND PARALLEL TO PARTITIONS SHALL BE DOUBLED AND STITCH NAILED TOGETHER.
- PROVIDE BLOCKING IN ALL WALLS AT THE MID HEIGHT OF STUDS OR SO SPACED THAT THE UNBRACED LENGTH OF STUDS DOES NOT EXCEED 10 FEET. PROVIDE BLOCKING IN WALLS AT CEILING LINES.
- PROVIDE SOLID BLOCKING BETWEEN ANY POSTS AT FLOOR FRAMING IN MULTI-STORY CONSTRUCTION.
- ALL WOOD FRAMING MEMBERS SHALL EITHER BEAR ON PLATES, BEAMS, POSTS OR BE SUPPORTED IN A METAL CONNECTOR.
- ALL LIGHT GAGE METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON "STRONG-TIE" PRODUCTS AS SPECIFIED IN THEIR LATEST CATALOG OR AN APPROVED EQUAL. INSTALL ALL CONNECTORS PER MANUFACTURERS REQUIREMENTS, UON.
- HOLES FOR BOLTS IN WOOD SHALL BE BORED WITH A BIT OF THE SAME NOMINAL DIAMETER AS THE BOLT PLUS 1/16TH OF AN INCH. HOLES FOR LAG SCREWS SHALL BE BORED AT NO MORE THAN 75% OF THE DIAMETER OF THE ROOT OF THE THREADS.
- ALL BOLTS, EXPANSION ANCHORS AND LAG SCREWS SHALL BE PROVIDED WITH METAL WASHERS UNDER THE HEADS AND NUTS WHICH BEAR ON WOOD.
- LAG SCREWS AND WOOD SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. ALL BOLTS AND LAG SCREWS SHALL BE TIGHTENED ON INSTALLATION AND RETIGHTENED BEFORE CLOSING IN OR COMPLETION OF THE JOB.
- ALL GLULAM BEAM FABRICATION SHALL BE PERFORMED BY AN APPROVED FABRICATOR PER CBC 1704.2.5.1.
- WOOD FRAMING MEMBERS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED PER CRC R317.1.
- CLEARANCE BETWEEN WOOD SIDING, SHEATHING AND FRAMING ON THE EXTERIOR OF A BUILDING AND EARTH SHALL NOT BE LESS THAN 6" FROM THE GROUND AND 2" VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, ETC. EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD PER CRC R317.1.

● PNEUMATIC NAILING NOTES:

- ALL POWER (PNEUMATIC) DRIVEN NAILS FOR STRUCTURAL WORK SHALL BE SMOOTH-NAILS (UNLESS SPECIFICALLY NOTED OTHERWISE) PER ASTM 1667.
- ALL POWER DRIVEN NAILS FOR STRUCTURAL WORK SHALL CONFORM WITH ICC ESR-1539.
- NAILS INSTALLED IN PRESERVATIVE LUMBER SHALL BE HOT-DIP GALVANIZED NAILS CONFORMING WITH ASTM A 153.
- NAILS EXPOSED TO WEATHER SHALL BE CORROSION RESISTANT.
- NAILS SHALL BE SPACED AT NOT LESS THAN 11 DIAMETERS ON CENTER. EDGE AND END DISTANCES SHALL NOT BE LESS THAN 6 DIAMETERS. NAIL HOLES SHALL BE SUB-DRILLED WHERE NECESSARY TO PREVENT SPLITTING OF WOOD.
- ALL NAILS FOR PLYWOOD SHEATHING SHALL MEET 8d COMMON NAIL SIZING (2 1/2"x0.131"0).
- NAILING NOT NOTED BELOW OR INDICATED ON THE PLANS SHALL BE A MINIMUM OF TWO 16d NAILS AT EACH CONTACT FOR 2X MEMBERS AND A MINIMUM OF TWO 8d NAILS AT EACH CONTACT FOR 1X MEMBERS.
- MINIMUM NAILING SHALL BE PER THE TABLE BELOW. CONNECTIONS NOT NOTED BELOW SHALL BE PER ICC ESR-1539 TABLE 11:

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER/SPACING @ TYPE OF FASTENER
ROOF		
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TN	(3) 16d (3"x0.131") (3) 8d (2 1/2"x0.131")
2	CEILING JOISTS TO PLATE, TOE NAIL	(3) 16d (3"x0.131") (3) 8d (2 1/2"x0.131")
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	(4) 16d (3"x0.131")
4	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4"x20 GAGE RIDGE STRAP	(4) 16d (3"x0.131") (5) 8d (2 1/2"x0.131")
5	RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL	(4) 16d (3"x0.131") (5) 8d (2 1/2"x0.131")
6	ROOF RAFTER TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL	(5) 16d (3"x0.131") (5) 8d (2 1/2"x0.131")
7	ROOF RAFTER TO RIDGE, VALLEY OR HIP RAFTERS: END NAIL	(4) 16d (3"x0.131")
WALL		
8	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TN	16d (3"x0.131") @ 16" OC 8d (2 1/2"x0.131") @ 8" OC
9	ABUTTING STUDS AT INTERSECTING WALL CORNERS, FACE NAIL	16d (3"x0.131") @ 8" OC 8d (2 1/2"x0.131") @ 8" OC
10	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d (3"x0.131") @ 8" OC
11	CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 16d (3"x0.131") (4) 8d (2 1/2"x0.131")
12	DOUBLE TOP PLATES, FACE NAIL	16d (3"x0.131") @ 12" OC 8d (2 1/2"x0.131") @ 8" OC
13	DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	(16) 16d (3"x0.131")
14	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	(3) 16d (3"x0.131")
15	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3"x0.131") @ 12" OC 8d (2 1/2"x0.131") @ 8" OC
16	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	(4) 16d (3"x0.131") @ 16" OC (4) 8d (2 1/2"x0.131") @ 16" OC
17	TOP OR SOLE PLATE TO STUD, END NAIL	(4) 16d (3"x0.131") (4) 8d (2 1/2"x0.131")
18	STUD TO SOLE PLATE, TOE NAIL	(4) 16d (3"x0.131") (4) 8d (2 1/2"x0.131")
FLOOR		
19	JOIST TO SILL OR GIRDER, TOE NAIL	3-16d (3"x0.131") 3-8d (2 1/2"x0.131")
20	RIM JOIST TO TOP PLATE, TOE NAIL	16d (3"x0.131") @ 8" OC 8d (2 1/2"x0.131") @ 6" OC
21	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	16d (3"x0.131") @ 24" OC
22	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	5-16d (3"x0.131") 6-8d (2 1/2"x0.131")

● HAND DRIVEN NAILING NOTES:

- ALL HAND DRIVEN NAILS FOR STRUCTURAL WORK SHALL BE SMOOTH-COMMON NAILS (UNLESS SPECIFICALLY NOTED OTHERWISE) PER ASTM 1667.
- NAILS INSTALLED IN PRESERVATIVE LUMBER SHALL BE HOT-DIP GALVANIZED NAILS CONFORMING WITH ASTM A 153.
- NAILS EXPOSED TO WEATHER SHALL BE CORROSION RESISTANT.
- NAILS SHALL BE SPACED AT NOT LESS THAN 11 DIAMETERS ON CENTER. EDGE AND END DISTANCES SHALL NOT BE LESS THAN 6 DIAMETERS. NAIL HOLES SHALL BE SUB-DRILLED WHERE NECESSARY TO PREVENT SPLITTING OF WOOD.
- NAILING NOT NOTED BELOW OR INDICATED ON THE PLANS SHALL BE A MINIMUM OF TWO 16D NAILS AT EACH CONTACT FOR 2X MEMBERS AND A MINIMUM OF TWO 8d NAILS AT EACH CONTACT FOR 1X MEMBERS.
- MINIMUM NAILING SHALL BE PER THE TABLE BELOW. CONNECTIONS NOT NOTED BELOW SHALL BE PER CRC TABLE R602.3(1):

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER/SPACING @ TYPE OF FASTENER
ROOF		
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	(3) 8d (2 1/2"x0.131"), OR (3) 3"x0.131"
2	CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d (2 1/2"x0.131"), OR (3) 3"x0.131"
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d (3 1/2"x0.162"), OR (4) 3"x0.131"
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4"x20GA RIDGE STRAP, FACE NAIL	(3) 16d (3"x0.148"), OR (4) 3"x0.131"
6	RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL	(3) 10d (2 1/2"x0.148"), OR (4) 3"x0.131"
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM (TOE NAIL/FACE NAIL)	(3) 10d (3 1/2"x0.148"), OR (4) 3"x0.131" (2) 16d (3 1/2"x0.162") (3) 3"x0.131"
WALL		
8	STUD TO STUD (NOT AT BRACED WALL PANELS), FACE NAIL	16d (3 1/2"x0.162") @ 24" OC 3"x0.131" @ 16" OC
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTION WALL CORNERS (AT BRACED WALL PANELS), FACE NAIL	16d (3 1/2"x0.162") @ 16" OC 3"x0.131" @ 12" OC
10	BUILT-UP HEADER (2" TO 2" HEADER W/ 1/2" SPACER), FACE NAIL	16d (3 1/2"x0.162") @ 16" OC 16d (3 1/2"x0.135") @ 12" OC
11	CONTINUOUS HEADER TO STUD, TOE NAIL	(4) 8d (2 1/2"x0.131"), OR (4) 10d (3"x0.128")
12	TOP PLATE TO TOP PLATE, FACE NAIL	16d (3 1/2"x0.162") @ 16" OC 3"x0.131" @ 12" OC
13	DOUBLE TOP PLATE SPLICE, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	(16) 16d (3 1/2"x0.135") (16) 3"x0.131"
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS), FACE NAIL	16d (3 1/2"x0.162") @ 16" OC 3"x0.131" @ 12" OC
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS), FACE NAIL	(2) 16d (3 1/2"x0.162") @ 16" OC (4) 3"x0.131" @ 16" OC (4) 8d (2 1/2"x0.131") (4) 3"x0.131"
16	TOP OR BOTTOM PLATE TO STUD (TOE NAIL/END NAIL)	(2) 16d (3 1/2"x0.162") (3) 3"x0.131"
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	(2) 16d (3 1/2"x0.162") (3) 3"x0.131"
FLOOR		
21	JOIST TO SILL, TOP PLATE OR GIRDER, TOE NAIL	(3) 8d(2 1/2"x0.131") (3) 3"x0.131"
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE, TN	8d (2 1/2"x0.131") @ 6" OC 3"x0.131" @ 6" OC
24	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	(3) 16d (3 1/2"x0.135") (2) 16d (3 1/2"x0.162")
26	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER, FACE NAIL	(3) 16d (3 1/2"x0.162") (4) 3"x0.131"
27	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS, FACE NAIL EA JST	10d (3"x0.128") OR 3"x0.131" @ 24" OC TAB & 3 EA END
28	BAND OR RIM JOIST TO JOIST, END NAIL	(3) 16d (3 1/2"x0.162") (4) 3"x0.131"
29	BRIDGING TO JOIST	(2) 10d (3"x0.128")
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING		
32	3/8" to 1/2" (EDGE NAILING/FIELD NAILING)	8d (2 1/2"x0.131") @ 6" OC 8d (2 1/2"x0.131") @ 12" OC
33	19/32" TO 1" (EDGE NAILING/FIELD	8d (2 1/2"x0.131") @ 6" OC 8d (2 1/2"x0.131") @ 12" OC
34	1 1/8" to 1 1/4" (EDGE NAILING/FIELD NAILING)	10d (3"x0.148") @ 6" OC 10d (3"x0.148") @ 12" OC

● TESTS AND INSPECTIONS

- TESTS AND INSPECTIONS SHALL BE PROVIDED BY A QUALIFIED TESTING AGENCY AS MARKED BELOW AND SHALL CONFORM TO THE REQUIREMENTS OF THE CBC CHAPTER 17.
- ALL REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT, ARCHITECT, AND ENGINEER OF RECORD (EOR).
- REFER TO SCHEDULE OF INSPECTIONS FILED WITH BUILDING DEPARTMENT FOR DETAILED OUTLINE OF CONTINUOUS AND PERIODIC INSPECTIONS REQUIRED.

TESTS:

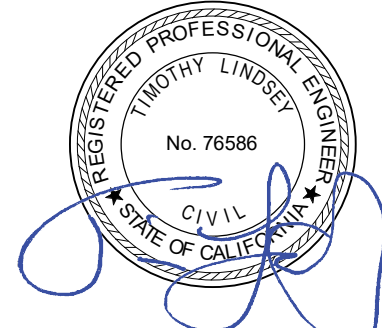
- ☐ FILL COMPACTION
☐ REINFORCING STEEL
☐ CONCRETE
☐ STRUCTURAL STEEL
☐ MASONRY
☐ GROUT AND MORTAR
☐ SHEAR STUDS

INSPECTIONS:

- ☐ FOOTING EXCAVATIONS
☐ PILE/PIER INSTALLATION
☐ REINFORCEMENT PLACEMENT
☐ SHOP WELDING
☐ FIELD WELDING
☐ HIGH STRENGTH BOLTING
☐ MASONRY PLACEMENT & GROUTING
☐ SHEAR STUD INSTALLATION
☐ ANCHOR BOLT INSTALLATION

- ☐ CONCRETE PLACEMENT & BASE PLATE GROUTING
☐ WOOD SHEAR WALLS W/ 4" & TIGHTER NAIL SPACING
☐ WOOD HORIZONTAL DIAPHRAGMS
☐ W/ 4" & TIGHTER NAIL SPACING
☐ EPOXY GROUTED ANCHORS
☐ EXPANSION ANCHORS

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590



10/12/21



Project

REVISIONS: Description

Date

Sheet Title

DATE 10/12/2021

DRAWN KLM

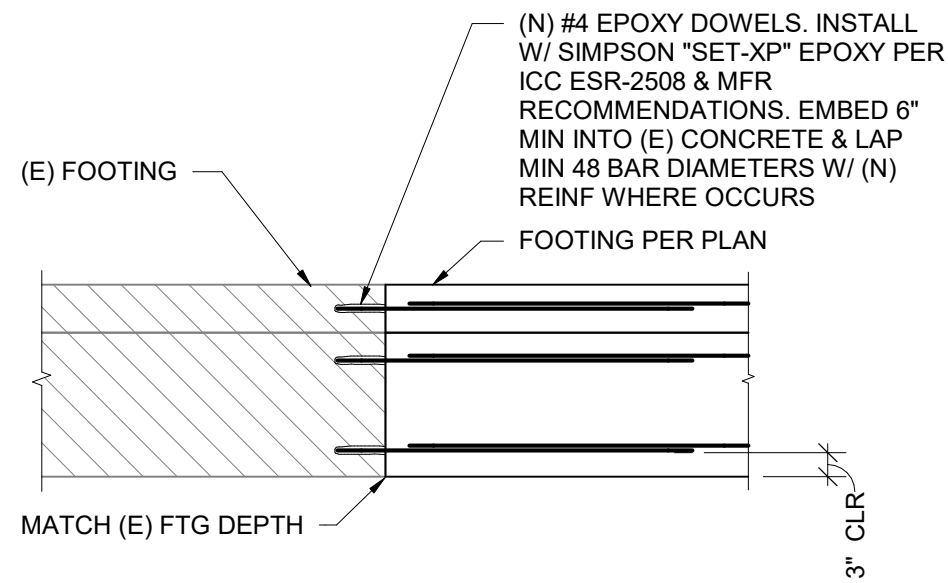
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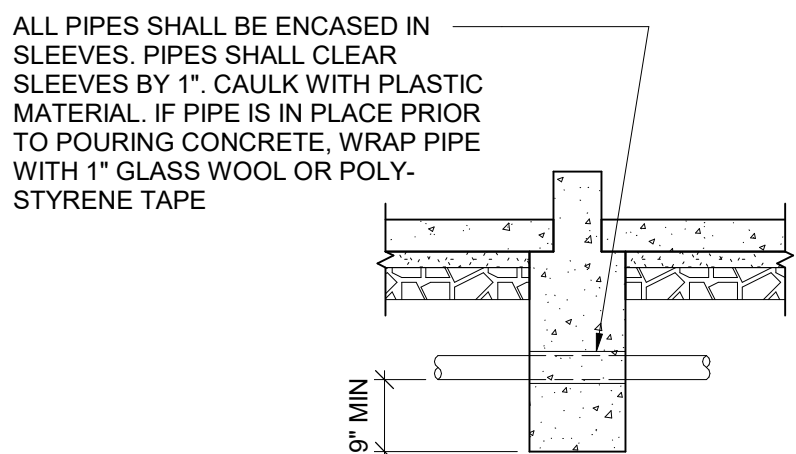
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STANDARD STRUCTURAL NOTES

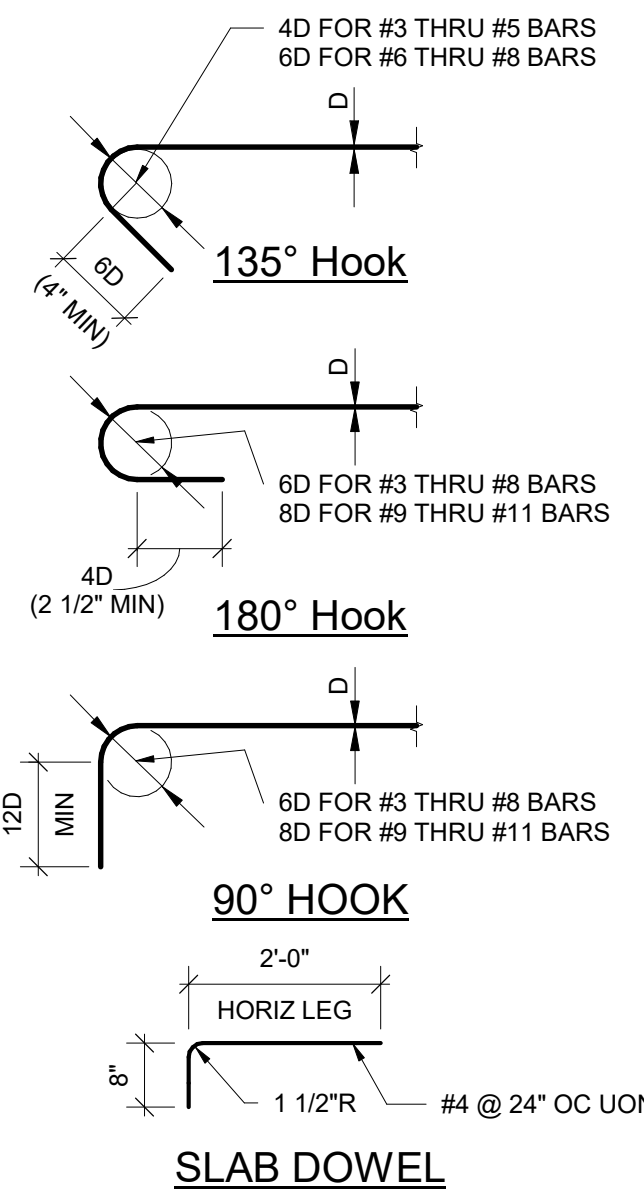
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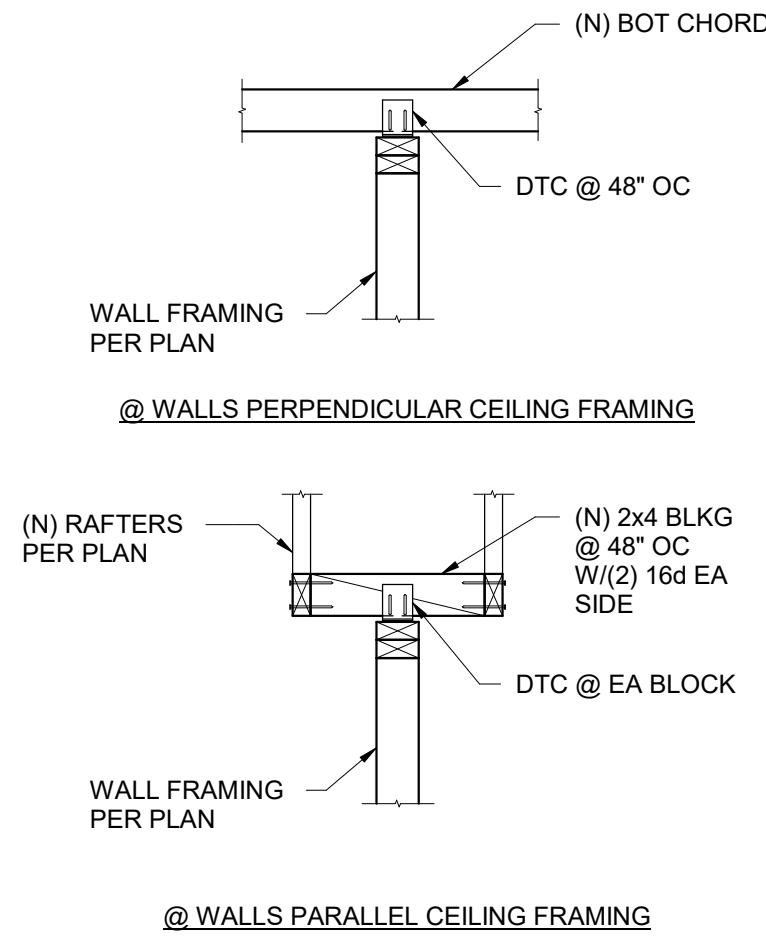
12 (N) FOOTING TO (E) FOOTING
1/2" = 1'-0"



13 PIPE THROUGH FOOTING
1/2" = 1'-0"



14 TYPICAL REBAR BENDS
1/2" = 1'-0"

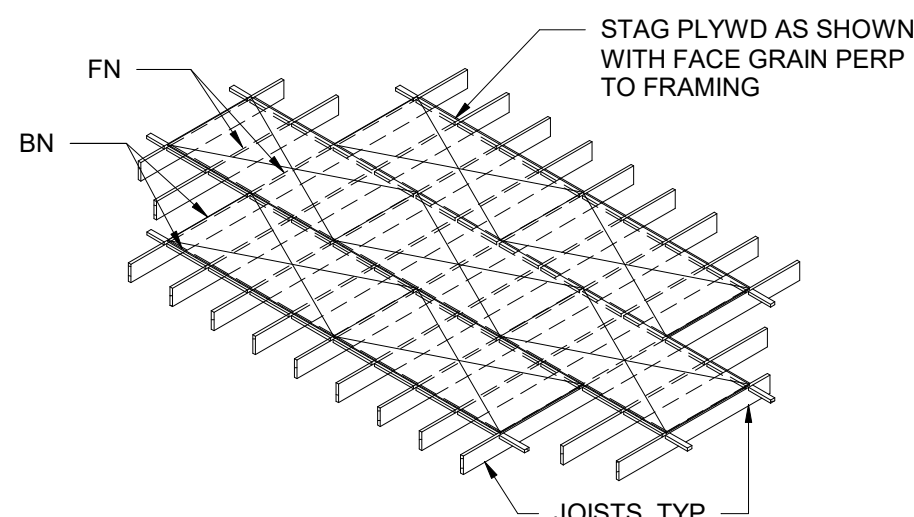


9 TYPICAL NON-BEARING WALL TO CEILING
3/4" = 1'-0"

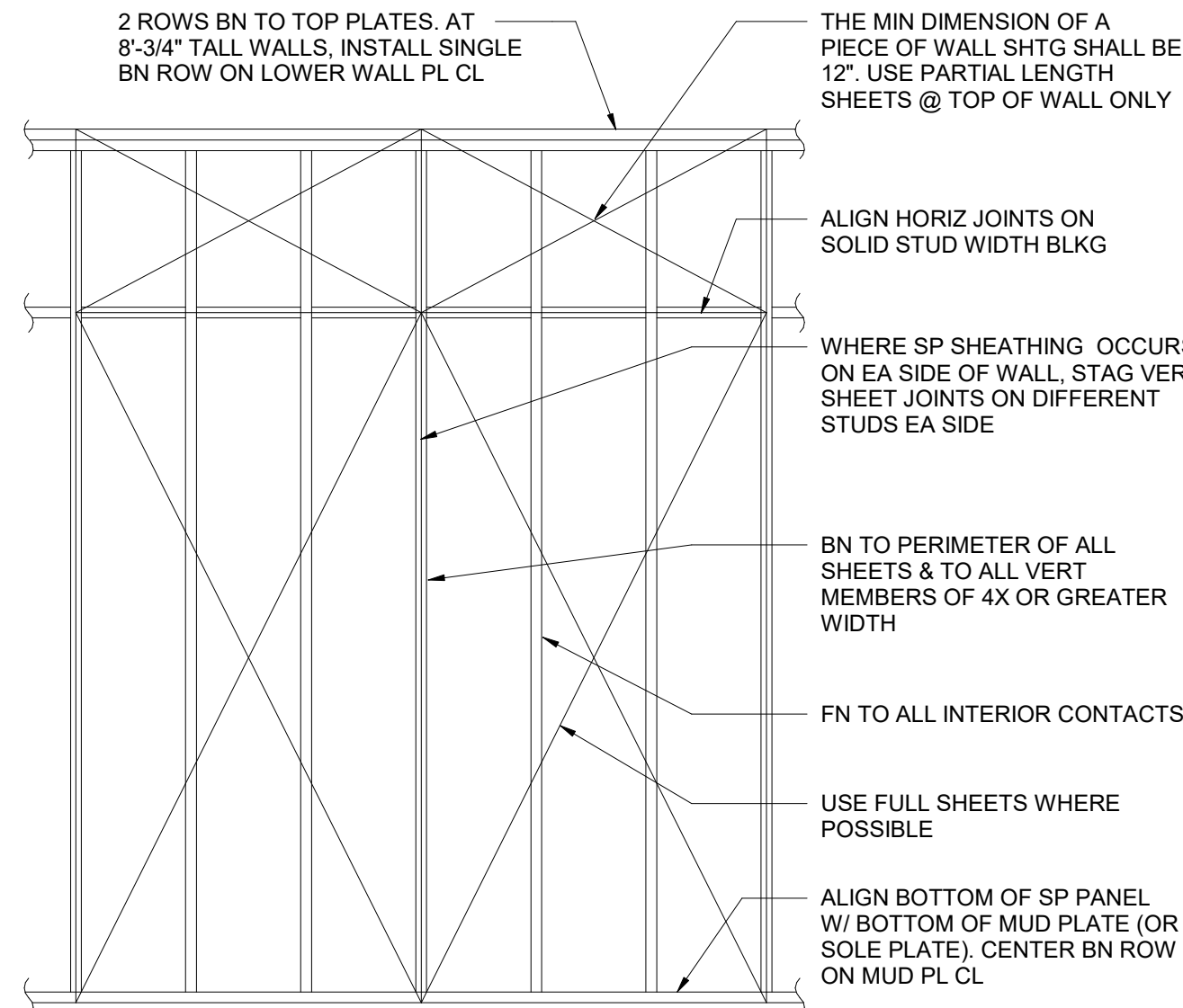
CEILING JOIST SPANS AND SPACING		
SIZE	SPACING	ALLOWABLE SPAN
2X4	12" OC	12'-2"
	16" OC	10'-9"
	24" OC	8'-8"
2X6	12" OC	19'-6"
	16" OC	17'-8"
	24" OC	14'-9"
2X8	12" OC	25'-8"
	16" OC	22'-10"
	24" OC	18'-6"
2X10	12" OC	26'-0"
	16" OC	25'-5"
	24" OC	22'-3"

- NOTES:
- DO NOT USE CEILING JOISTS TO SUPPORT ROOF OR FLOOR LOADS.
 - DOUBLE CEILING JOISTS AT MECHANICAL UNIT WELLS.
 - CONNECT CEILING JOISTS TO BEARING WALLS WITH (3) 16D TN.
 - CONNECT CEILING JOISTS TO INTERIOR NON-BEARING WALLS WITH ONE SIMPSON DTC CLIP. PROVIDE 1/2" MAX GAP BETWEEN WALL TOP PLATE AND JOIST.
 - ALLOWABLE SIZE, SPACING, AND SPAN OF CEILING JOISTS ARE BASED ON A DEAD LOAD OF 5 PSF AND A LIVE LOAD OF 10 PSF.
 - CEILING JOIST SIZES ARE BASED ON ALLOWABLE DEFLECTION LIMIT OF L/240.
 - ALL VALUES ARE BASED ON DOUGLAS FIR-LARCH GRADE NO. 2.

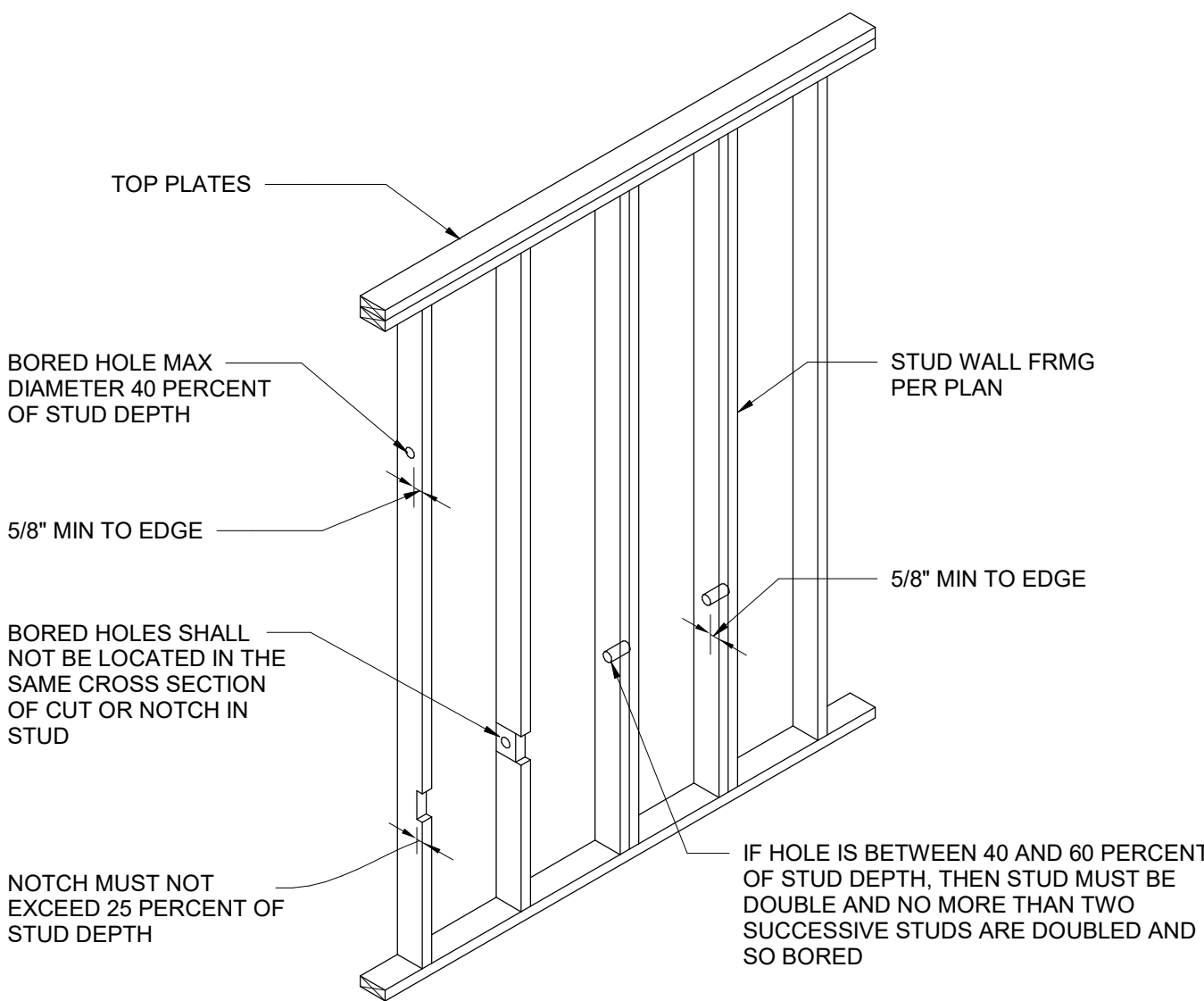
10 CEILING JOIST SCHEDULE
1 1/2" = 1'-0"



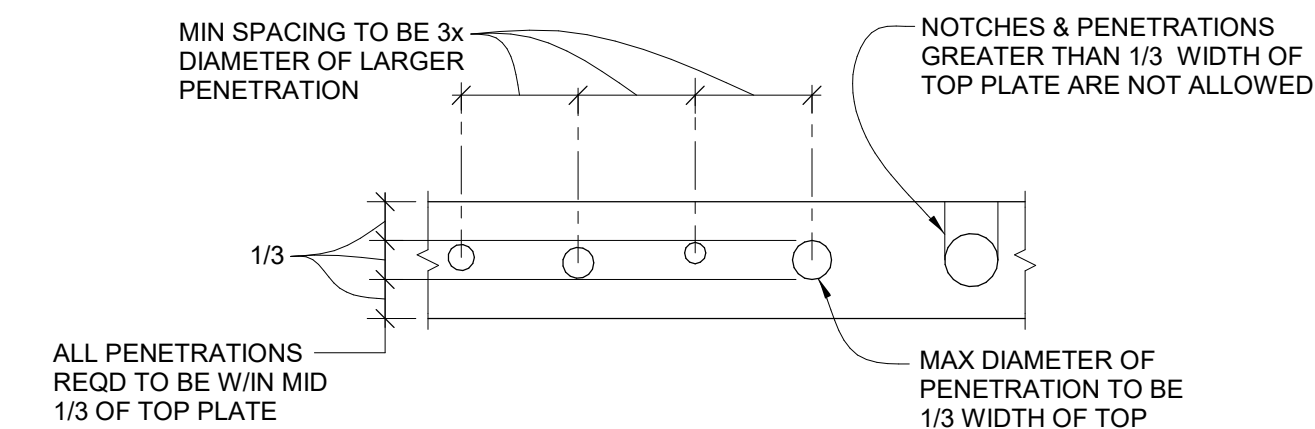
11 CONVENTIONAL FLOOR SHEATHING LAYOUT
1/2" = 1'-0"



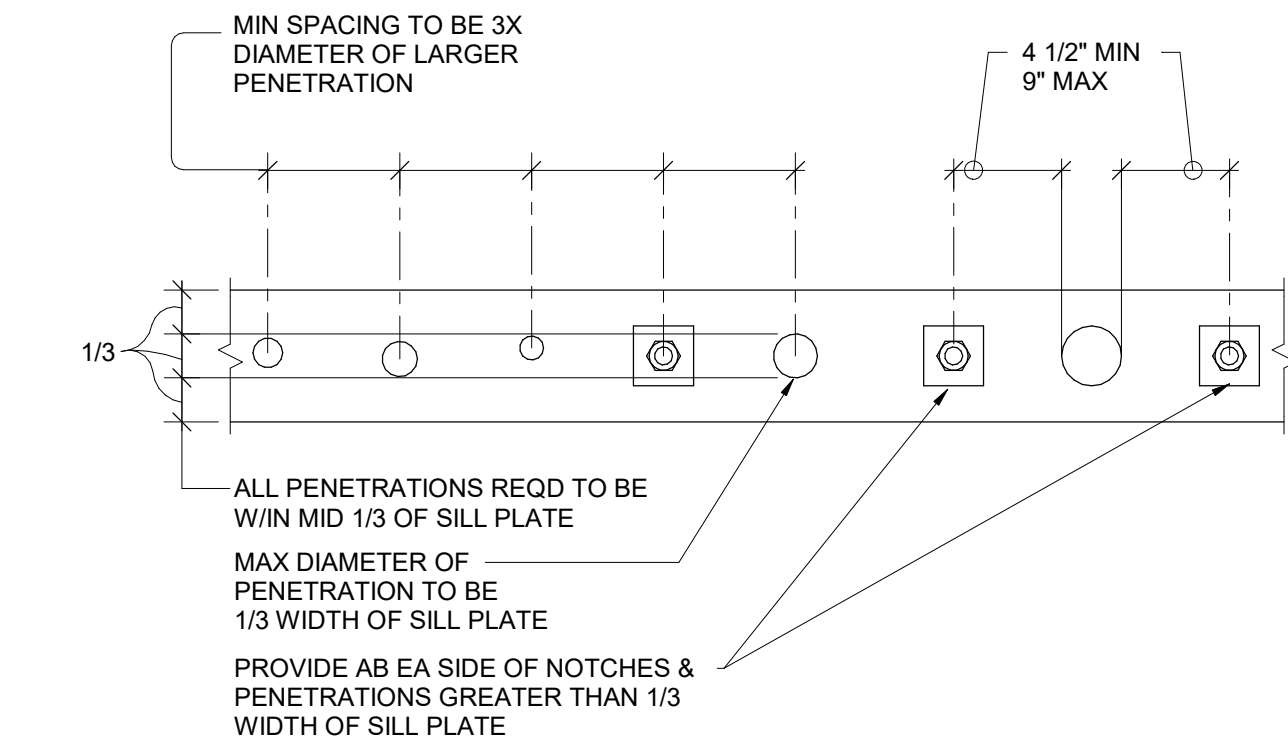
5 DETAIL



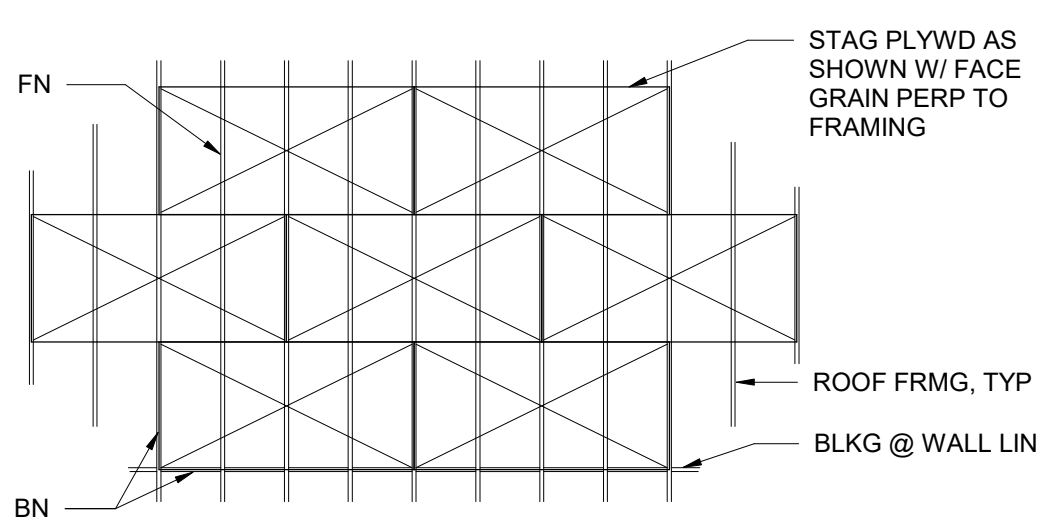
6 NOTCHING & BORING OF STUDS



7 TOP PLATE PENETRATIONS

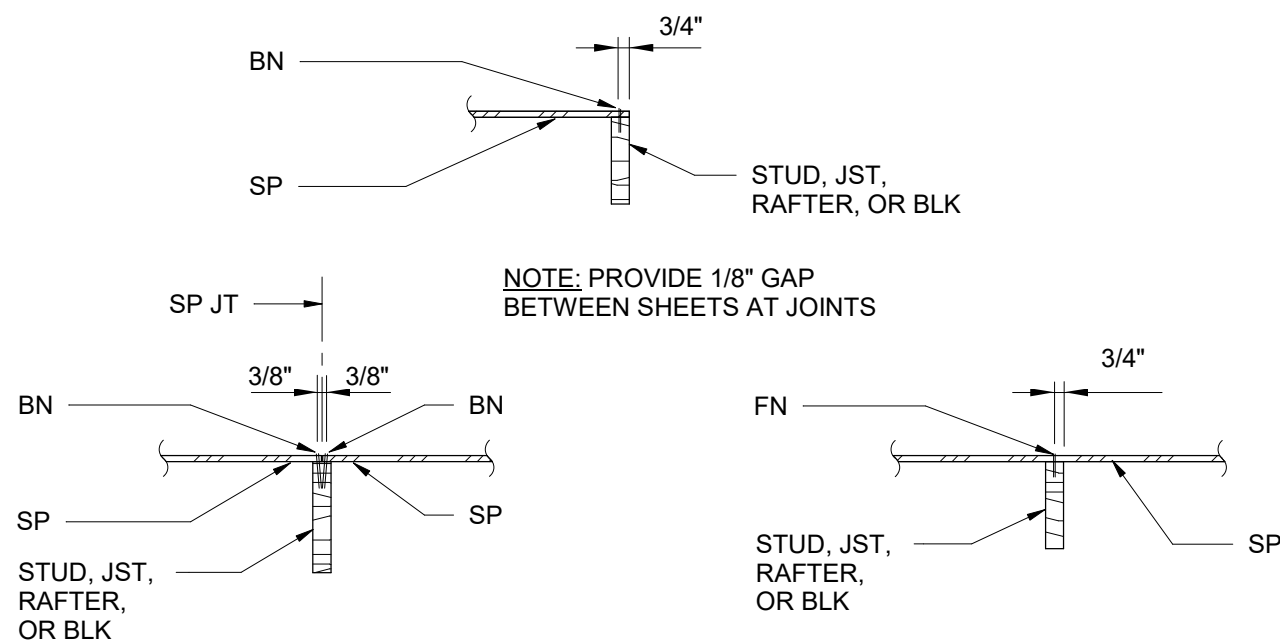


8 SILL PLATE PENETRATIONS

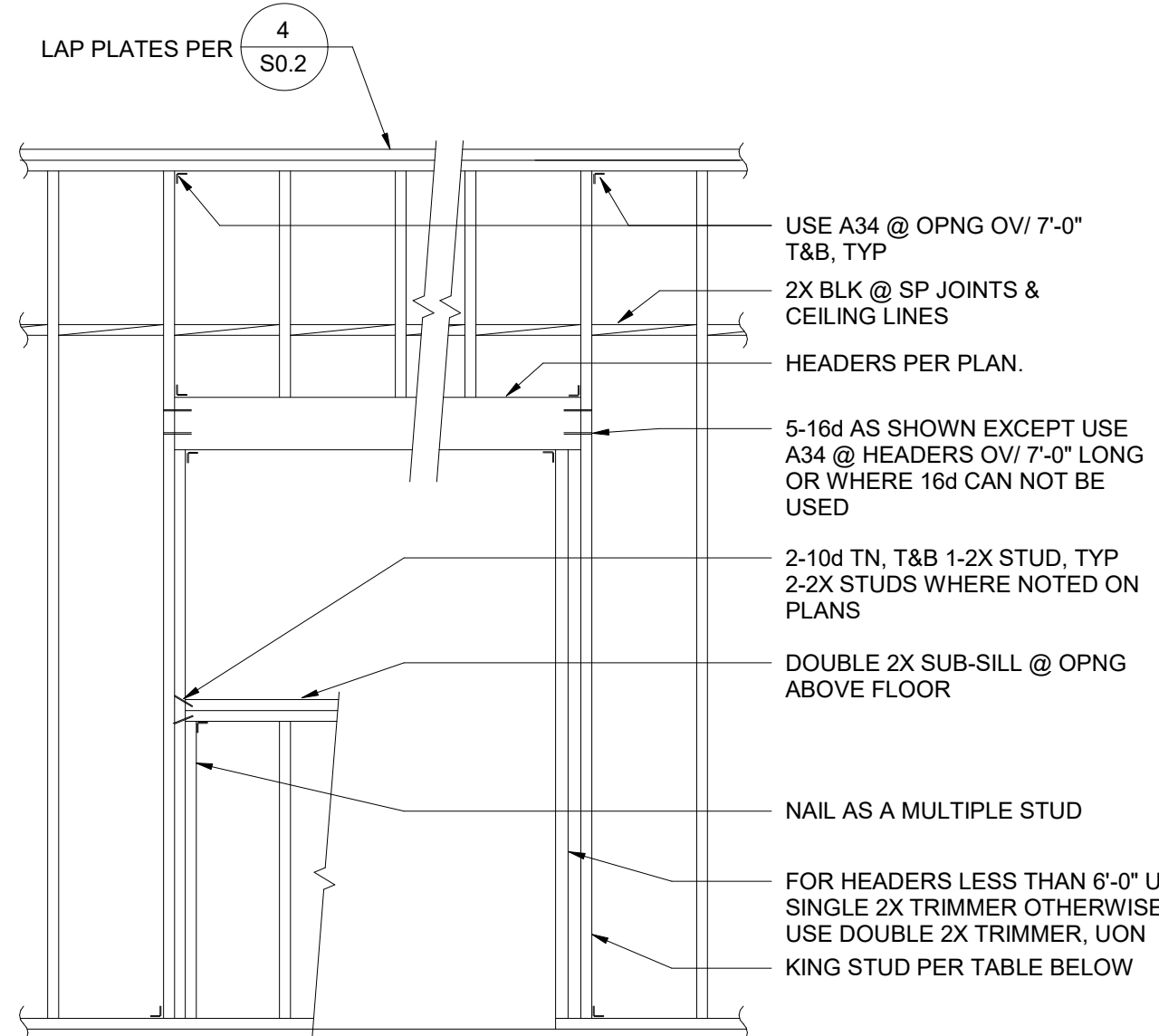


- NOTES:
- ALL ROOF SHEATHING TO BE 15/32" CDX, 5 PLY MIN, PANEL INDEX 32/16.
 - USE BN OF 8d @ 6" OC @ ALL PANEL EDGES, SHEAR WALLS, TIES & BLKG. FN TO ALL INTERIOR BEARINGS W/8d @ 12" OC ON ROOFS.
 - PLACE PANELS CONTINUOUS OVER TWO OR MORE SPANS AND PROVIDE 1/8" GAP AT ALL PANEL EDGES.
 - DO NOT BREAK ANY FACE PLYS W/NAIL HEADS. THE MIN EDGE DISTANCE FOR NAILS SHALL BE 3/8" IN THE PLYWD & IN THE RECEIVING MEMBER.
 - ICBO ACCEPTED & APA RATED PERFORMANCE RATED SHEATHING PANELS MAY BE SUBSTITUTED FOR PLYWD. PANEL THICKNESS & SPAN RATING SHALL BE EQUAL TO THAT NOTED ON THESE PLANS.

1 SHEATHING

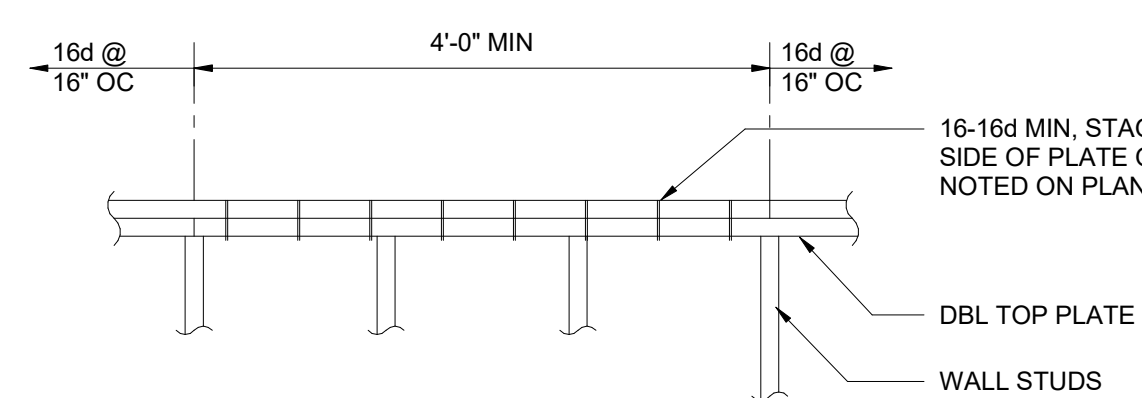


2 SP NAILING



WALL OPENING KING STUD REQUIREMENTS					
STUD HEIGHT	STUD SIZE	WALL OPENING WIDTH (FT)			
		4'-0"	6'-0"	8'-0"	10'-0"
8'-0"	2X4	2X4	DBL 2X4	(3) 2X4	4X6
	2X6	2X6	2X6	2X6	DBL 2X6
10'-0"	2X4	DBL 2X4	(3) 2X4	4X6	4X6
	2X6	2X6	2X6	DBL 2X6	DBL 2X6

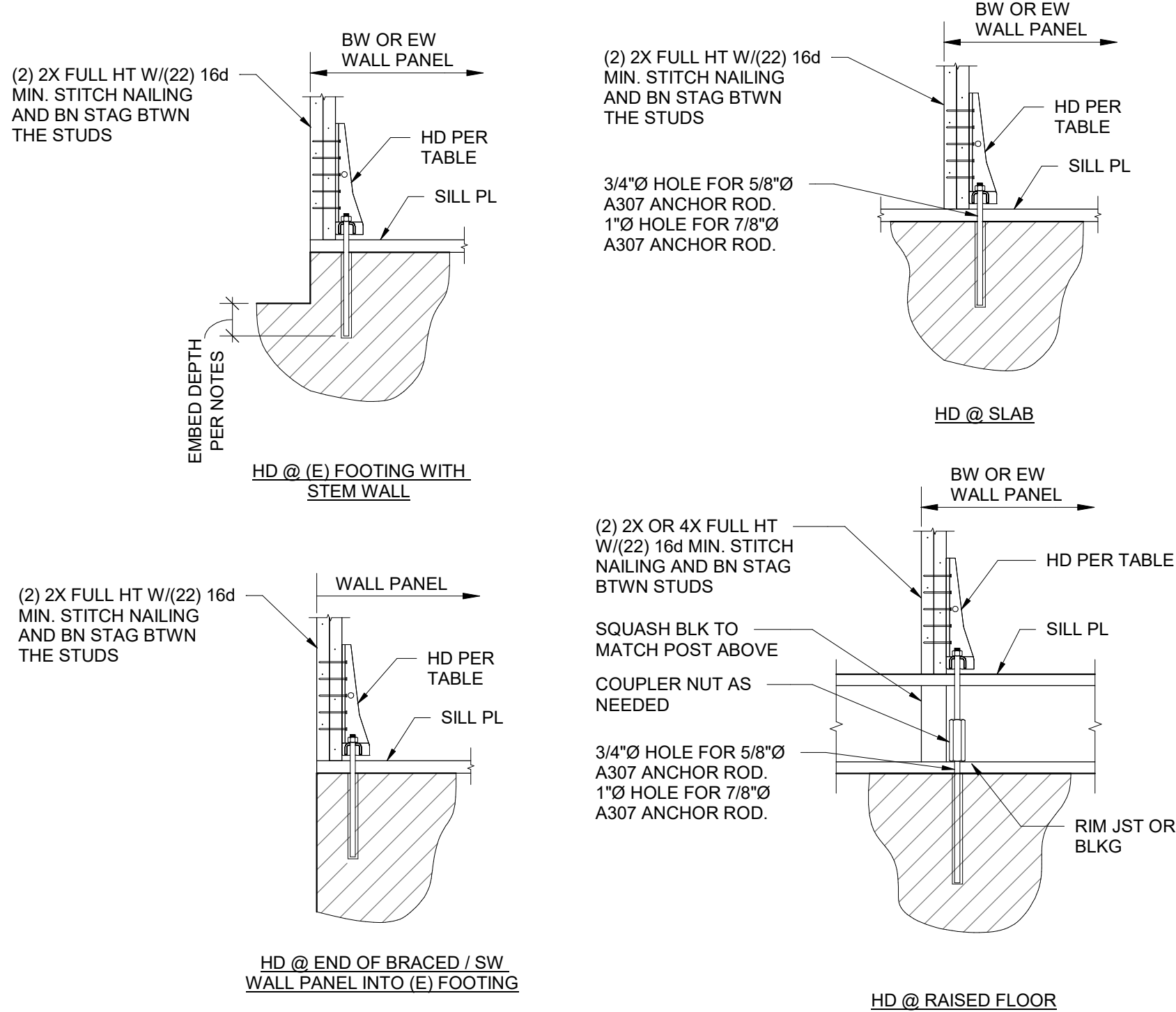
3 WALL FRAMING ELEVATION



- NOTES:
- SPLICES TO OCCUR ONLY OVER CENTER LINE OF STUD.

4 LAP SPlice

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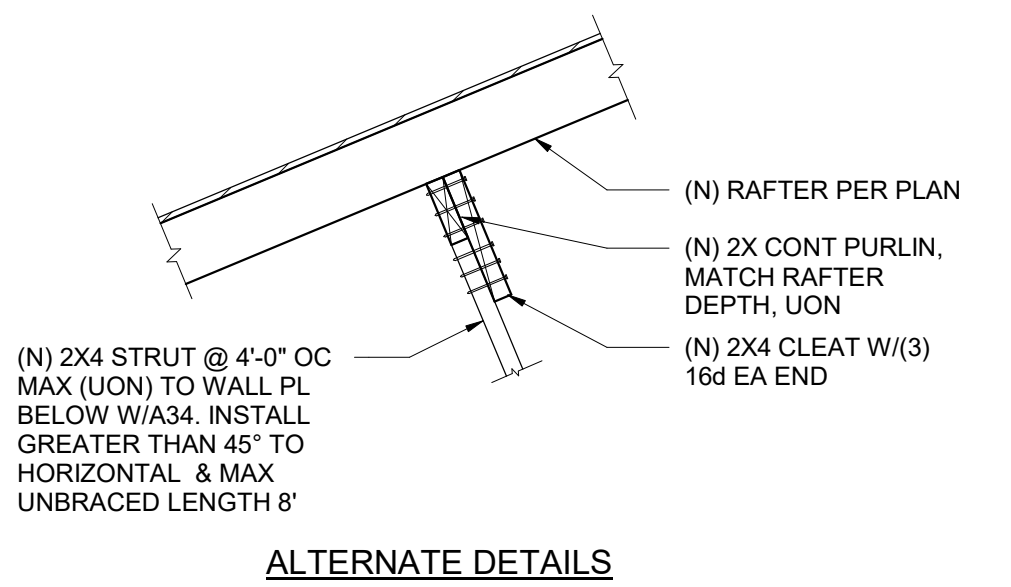


SIMPSON HDU MODEL NO.	FASTENER (NO. & TYPE)	MIN POST REQD x STUD WIDTH	HOLDOWN BOLT	TEST LOAD (LBS)
HDU2-SDS2.5	(6) 1/4"x2 1/2"SDS	(2) 2X	5/8"Ø EPOXY BOLT	6,150
HDU4-SDS2.5	(10) 1/4"x2 1/2"SDS	4X	5/8"Ø EPOXY BOLT	7,370
HDU5-SDS2.5	(14) 1/4"x2 1/2"SDS	4X	5/8"Ø EPOXY BOLT	7,370

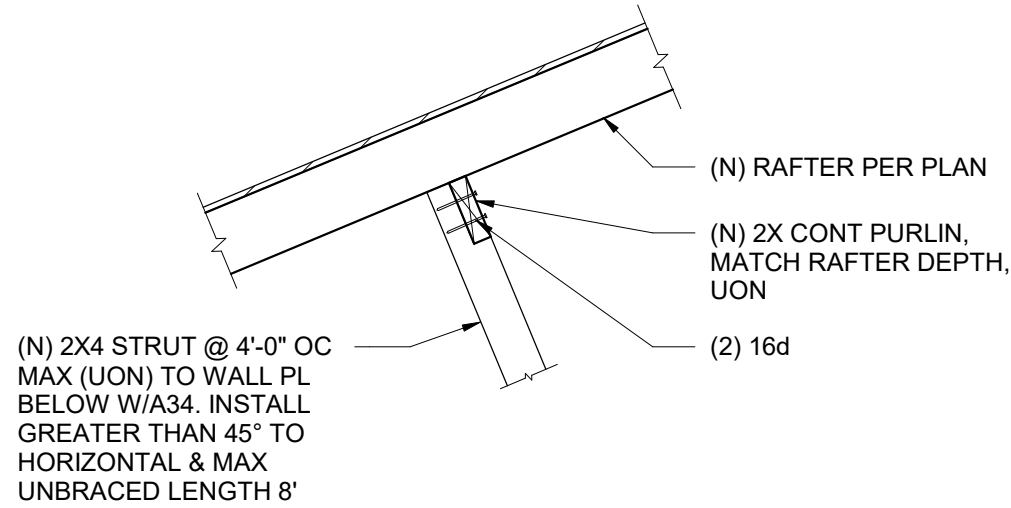
NOTES:

- HD'S DO NOT SUBSTITUTE FOR SILL BOLTS.
- INSTALL HOLDOWN PER SIMPSON CATALOG.
- HD POST MAY BE USED AS KING STUD.
- USE SIMPSON "SET-XP" EPOXY PER ICC ESR-2508.
- EPOXY ROD TO BE ASTM 1554, GR 36.
- EMBED EPOXY ANCHOR ROD 8" FOR 5/8"Ø BOLT AND 8" FOR 7/8"Ø BOLT INTO (E) CONCRETE FOOTING.
- MIN 1 3/4" EDGE DISTANCE AND MIN 5" END DISTANCE FOR EPOXY ANCHOR RODS.
- EPOXY ANCHOR RODS TO BE PULL TESTED TO VALUES SHOWN IN TABLE.

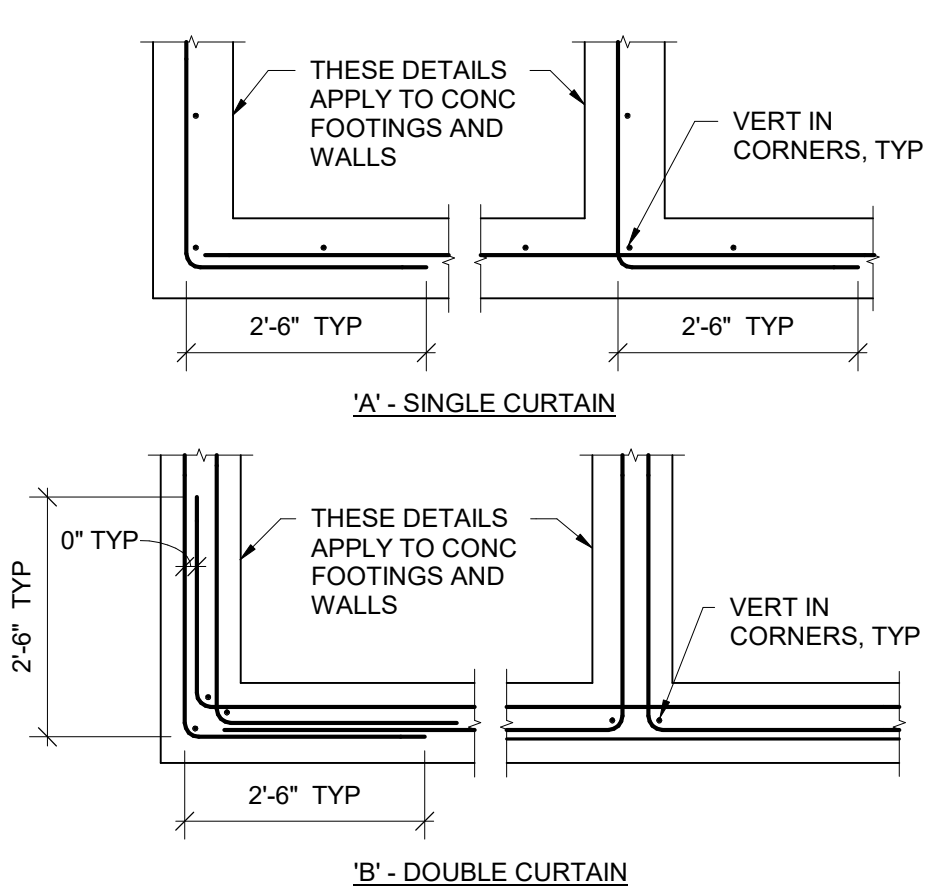
6 EPOXY HOLDOWN DETAIL
3/4" = 1'-0"



ALTERNATE DETAILS

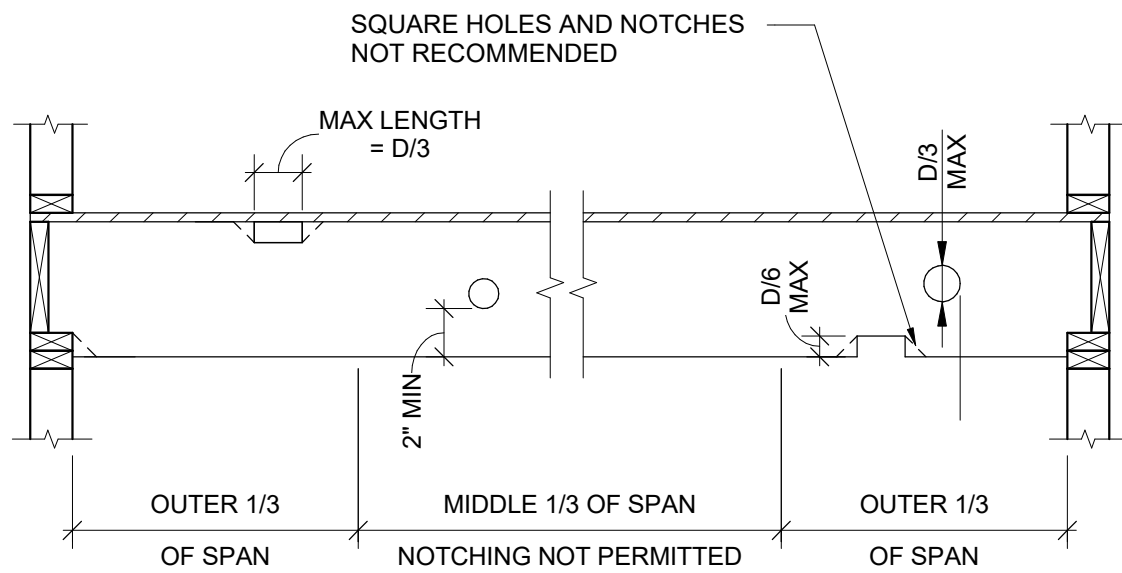


7 PURLIN LINE SUPPORT
3/4" = 1'-0"



3 TYPICAL REINFORCING LAYOUTS
1/2" = 1'-0"

JOIST SIZE	MAXIMUM HOLE	MAXIMUM NOTCH DEPTH	MAXIMUM END NOTCH
2x4	NONE	NONE	NONE
2x6	1 1/2	7/8	1 3/8
2x8	2 3/8	1 1/4	1 7/8
2x10	3	1 1/2	2 3/8
2x12	3 3/4	1 7/8	2 7/8



IN JOISTS, NEVER CUT HOLES CLOSER THAN 2" TO JOIST EDGES, NOR MAKE THEM LARGER THAN 1/3 THE DEPTH OF THE JOIST. ALSO, DON'T MAKE NOTCHES IN THE MIDDLE THIRD OF A SPAN, WHERE THE BENDING FORCES ARE GREATEST. NOTCHES SHOULD NOT BE DEEPER THAN 1/8 THE DEPTH OF THE JOIST, OR 1/4 THE DEPTH IF THE NOTCH IS AT THE END OF THE JOIST. LIMIT THE LENGTH OF NOTCHES TO 1/3 OF THE JOIST'S DEPTH. USE ACTUAL, NOT NOMINAL DIMENSIONS.

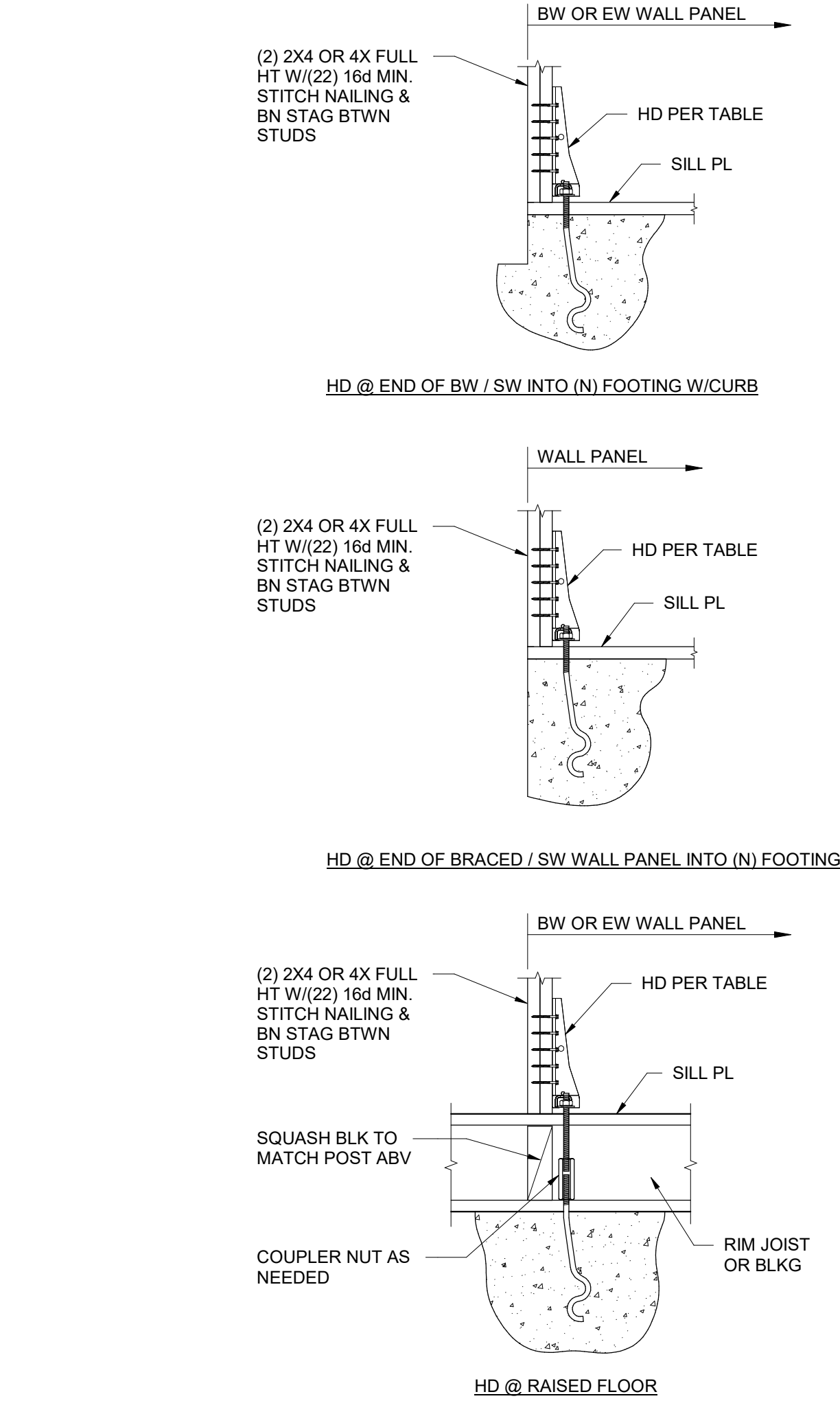
4 NOTCHING & CUTTING OF LUMBER JOISTS
N.T.S.

JOIST SIZE	HANGER
2X4	LUS24
2X6, 8	LUS26
2X10, 12, 14	LUS210
3X8	HU38
3X10	HU310
3X12	HU312
4X6	HUS46
4X8	HUS48
4X10	HUS410
4X12	HUS412
6X8	HU68 MAX
6X10	HU610 MAX
6X12	HU612 MAX

NOTES:

- FILL ALL HOLES IN HANGER WITH NAILS, UON. USE NAIL SIZE & TYPE AS SPECIFIED IN CATALOG.
- USE SIMPSON HANGERS, OR APPROVED EQUAL.
- WHERE DOUBLE JOISTS OCCUR, USE SIMILAR "LUS", "HU" OR "HUS" HANGER.
- AT ANGLED CONNECTIONS, USE SKEWED JOIST HANGERS CONFORMING WITH TABLE, TYP UON.
- WHERE TOP FLANGE JOIST HANGERS ARE SHOWN IN DETAIL OR REQUIRED AT WOOD NAILERS, USE HUXXTF EQUIVALENT HANGER. FOR 2X6 & 2X10 JOISTS USE JB26 & JB210 RESPECTIVELY.

5 JOIST HANGER SCHEDULE
N.T.S.

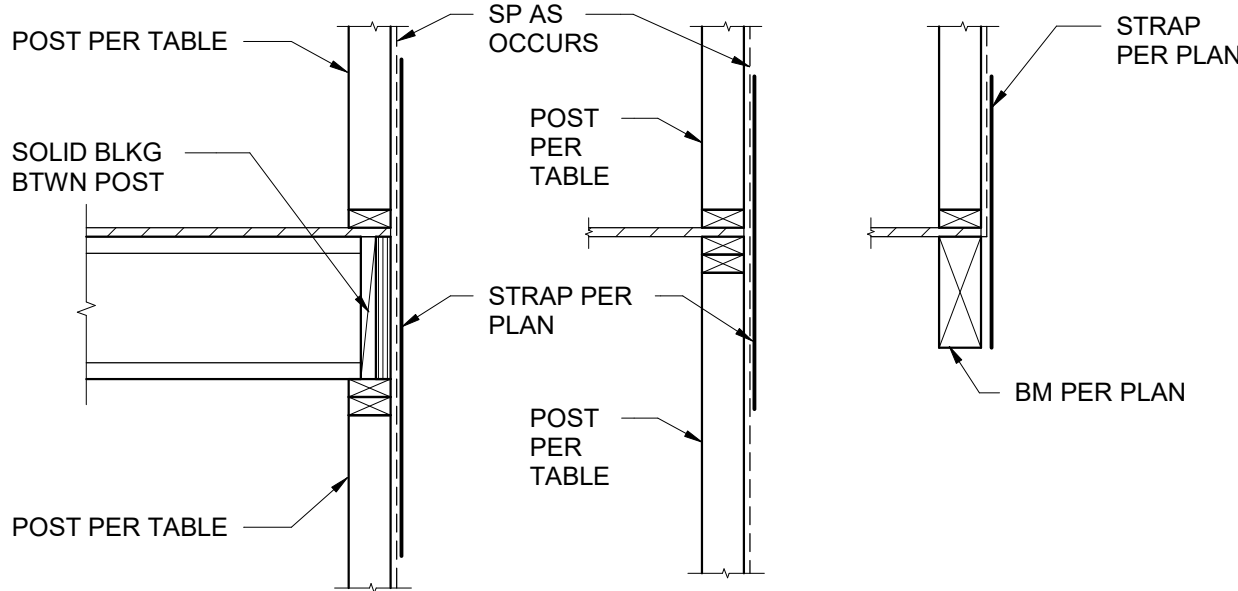


SIMPSON HDU MODEL NO.	FASTENER (NO. & TYPE)	HOLDOWN BOLT (MONO POUR)	HOLDOWN BOLT (TWO POUR)	MIN POST REQD (MATCH STUD WIDTH)
HDU2-SDS2.5	(6) 1/4"x2-1/2"SDS	SSTB16	SSTB20	(2) 2X4
HDU4-SDS2.5	(10) 1/4"x2-1/2"SDS	SSTB20	SSTB24	4X
HDU5-SDS2.5	(14) 1/4"x2-1/2"SDS	SSTB24	SSTB24	4X
HDU8-SDS2.5	(20) 1/4"x2-1/2"SDS	SSTB28	SSTB34	4X

NOTES:

- HD'S DO NOT SUBSTITUTE FOR SILL BOLTS.
- INSTALL HOLDOWN PER SIMPSON CATALOG.
- HD POST MAY BE USED AS KING STUD.

1 HOLDOWN DETAIL
3/4" = 1'-0"



STRAP	POST	# NAILS EA END	MIN END LENGTH	CAPACITY
CS16	2X	(20) 10d	12"	1705#
MST37	(2) 2X	(20) 16d	9 1/2"	2465#
MST48	(2) 2X	(16) 16d SINKERS	15"	3960#
CMSTC16	4X	(25) 16d SINKERS	20"	4585#
CMST14	4X	(28) 16d SINKERS	26"	6490#
CMST12	6X	(37) 16d SINKERS	33"	9215#

NOTE: STITCH NAILING FOR (2) 2X POSTS TO BE (2) 16d @ 6" OC STAG (28 TOTAL FOR ASSEMBLY)

2 STRAP TIE-DOWN @ SECOND FLOOR
3/4" = 1'-0"



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

STANDARD STRUCTURAL DETAILS

Project

Sheet Title

REVISIONS: Description

Date

DATE

DRAWN

JOB NO

SHEET

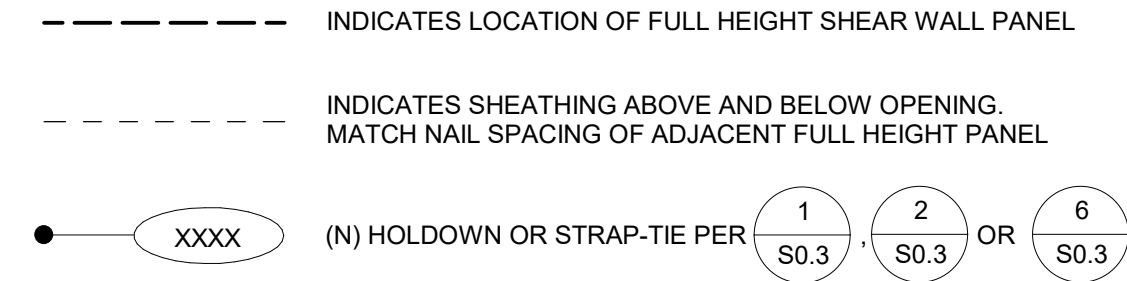
10/12/2021

KLM

C1A76034.00

S0.3

LATERAL DIAGRAM LEGEND



SHEAR WALL NOTES:

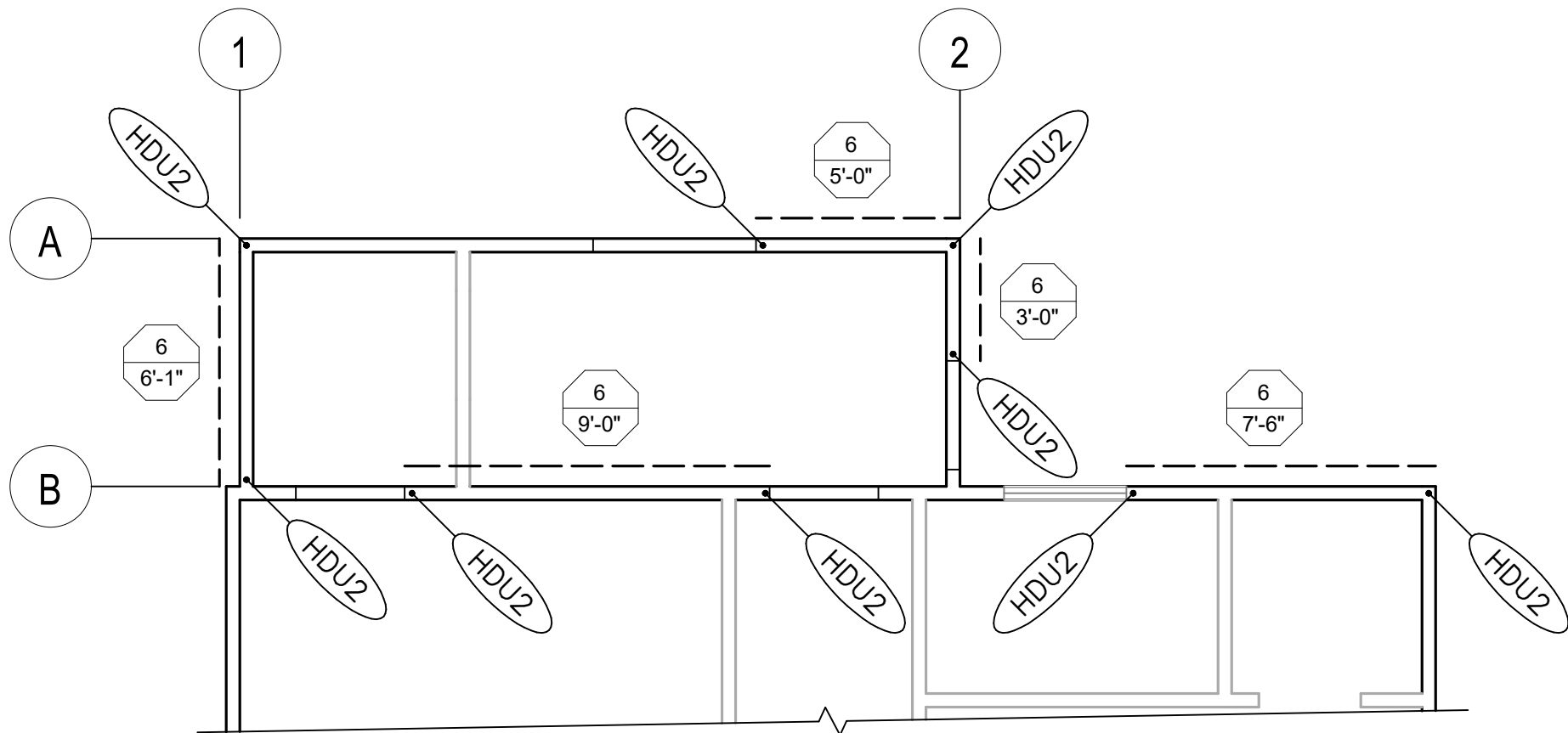
- ALL PLYWOOD USED FOR HORIZONTAL DIAPHRAGMS AND SHEAR WALL PANELS SHALL BE MANUFACTURED USING EXTERIOR GLUE.
- ALL STUDS TO BE AT A MAXIMUM OF 16 INCHES ON CENTER.
- PLYWOOD SHEETS SHALL BE NO LESS THAN 4 FEET BY 8 FEET, EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM SHEET DIMENSIONS SHALL BE 24 INCHES UNLESS ALL EDGES OF THE UNDERSIZED SHEET ARE SUPPORTED BY FRAMING MEMBERS. (MINIMUM DIMENSION SHALL BE 12")
- FRAMING MEMBERS OR BLOCKING SHALL BE PROVIDED AT ALL SHEAR PANEL EDGES.
- PLYWOOD SHEATHING NAILS SHALL BE DRIVEN FLUSH WITH THE PLYWOOD AND SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD.
- PANEL EDGES SHALL BEAR ON FRAMING MEMBERS AND BUTT ALONG THE CENTERLINE OF THE FRAMING MEMBER PER THE MANUFACTURERS RECOMMENDATIONS. NAILS SHALL BE PLACED NO LESS THAN 3/8 OF AN INCH FROM THE PANEL EDGE, & SHALL BE SPACED NO MORE THAN 6 INCHES ON CENTER ALONG THE PANEL EDGE, AND SHALL BE FIRMLY DRIVEN INTO FRAMING MEMBERS FLUSH WITH THE TOP SURFACE OF THE PLYWOOD.
- PROVIDE EDGE NAILING ALONG THE FULL LENGTH OF ALL KING STUDS AT SHEAR WALL OPENINGS.
- THE VERTICAL MEMBERS AT HOLDOWN BRACKETS SHALL HAVE EDGE NAILING FOR THE FULL HEIGHT OF THE MEMBER.
- PROVIDE SOLID BLOCKING IN FLOOR SPACE BELOW ALL FRAMING MEMBERS ATTACHED TO HOLDOWNS.
- WHERE SHEAR PANELS ARE INSTALLED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6 INCHES ON CENTER ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3 INCHES NOMINAL THICKNESS OR GREATER AND NAILS ON EACH SIDE SHALL BE STAGGERED.

LATERAL RESISTANCE PANEL SCHEDULE

ENGINEERED SHEAR WALLS	
MARK	CONSTRUCTION METHOD
6 0'-0"	5/8" T1-11 (3/8" NET APA T1-11) OR 1/2" SP W/ 8d COMMON @ 6" OC BN. SOLE PLATE NAILING OF 16d @ 6" OC. 5/8"Ø AB @ 48" OC. PROVIDE MST48 STRAP AT WALL/FLOOR FRMG INTERSECTION PER 2/S0.3 AT ALL HD LOCATIONS. PROVIDE HD PER LAT DIAGRAM AT WALL FDN PER 1/S0.3

FOOTNOTES:

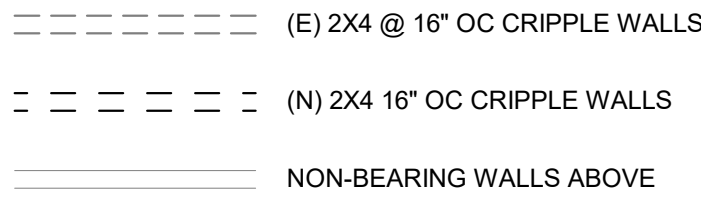
- PROVIDE 3X3X1/4 PLATE WASHERS @ AB'S. FOR 2X6 SILL PLATE'S, PROVIDE SIMPSON BPS 5/8"-6 OR EQUIVALENT STEEL PLATE WASHER UNDER EACH ANCHOR BOLT NUT. TYPICAL HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH A WIDTH UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 3/4". ANCHOR BOLTS OCCURRING AT DIAGONALLY SLOTTED HOLES SHALL HAVE A STANDARD CUT WASHER BELOW THE NUT. STEEL PLATE WASHER EDGE SHALL BE LOCATED WITHIN 1/2" OF SP WHERE OCCURS.
- FOR (E) FOUNDATIONS, AB TO BE SIMPSON TITEN HD 5/8X6 MG.
- SOLE PLATE NAILING AT SHEAR WALL (OR BRACED WALL) PANELS SHALL BE 16d (3 1/4"X0.131") @ 6" OC MINIMUM, UON.
- FOR (N) FOUNDATIONS, INSTALL HOLDOWN RODS PER 1 S0.3
- FOR (E) FOUNDATIONS, INSTALL HOLDOWN RODS PER 6 S0.3



SHEAR WALL DIAGRAM
1/4" = 1'-0"

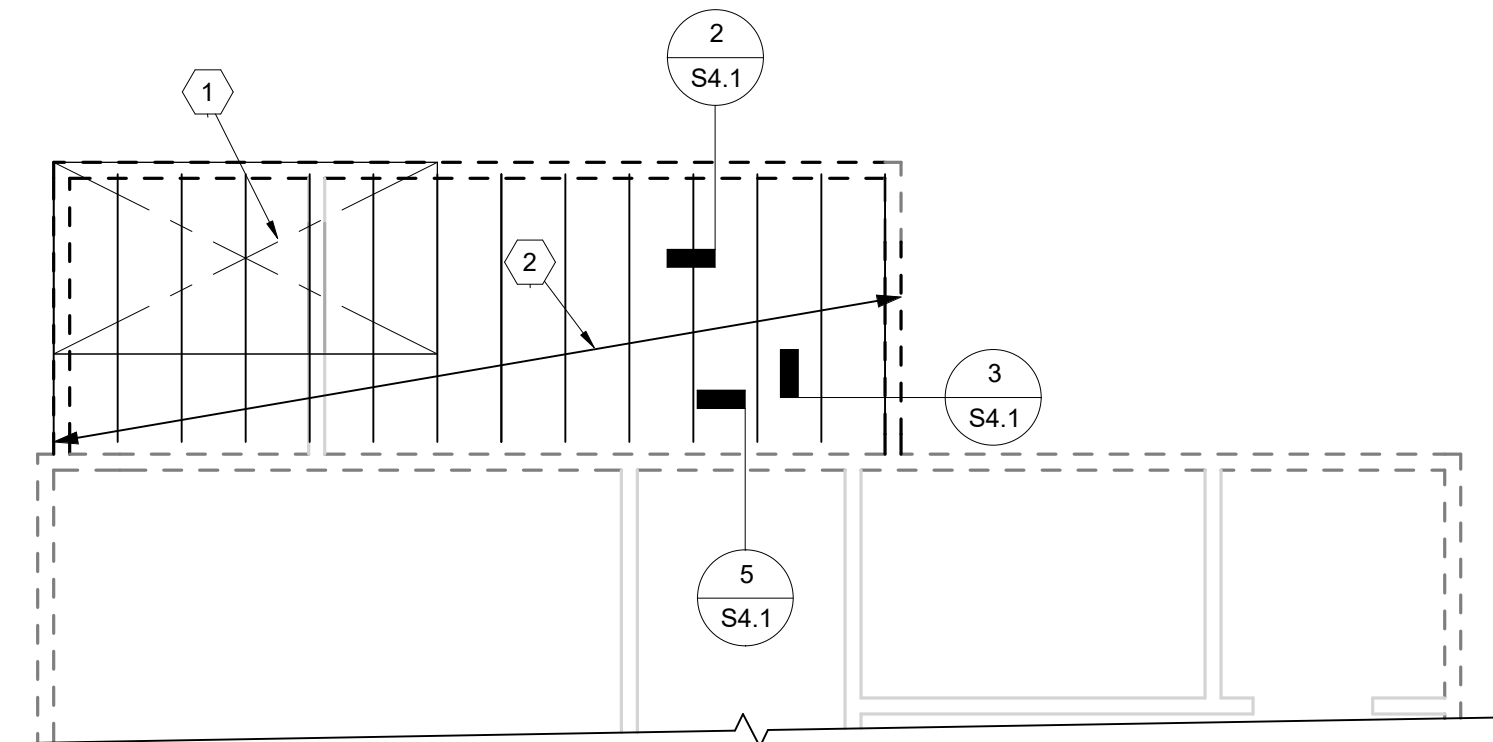


PARTIAL FLR PLAN LEGEND



PARTIAL FLR KEY NOTES

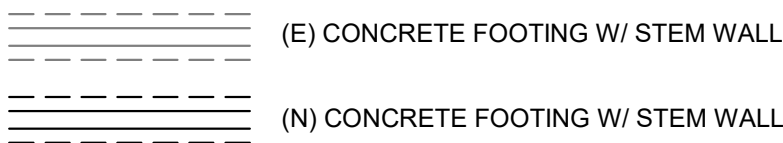
- (N) 23/32" FLOOR SHEATHING PER 11/S0.2
- (N) 2X6 DF, NO.2 FLOOR JOISTS @ 16" OC



PARTIAL FLOOR FRAMING PLAN
1/4" = 1'-0"



PARTIAL FDN PLAN LEGEND

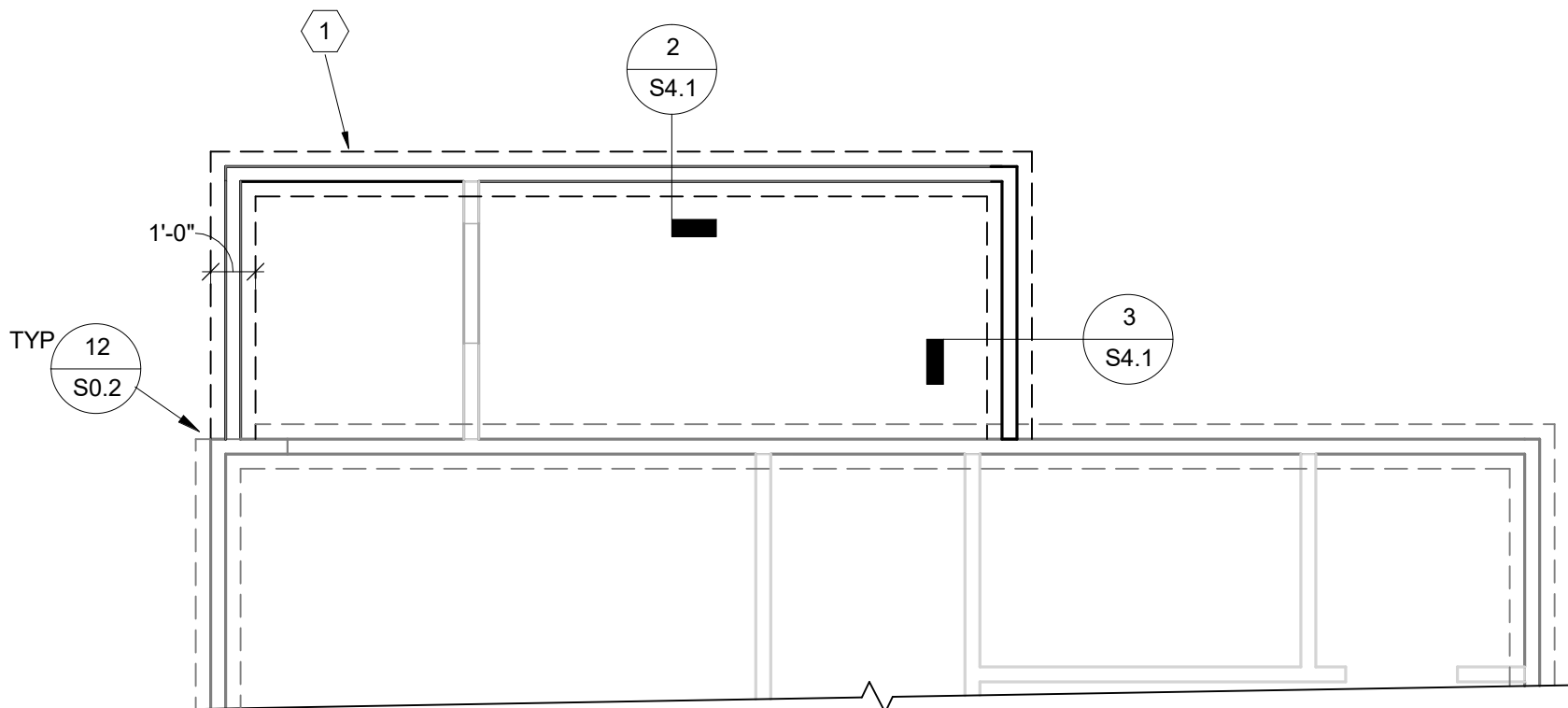


PARTIAL FDN KEY NOTES

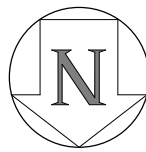
- VERIFY OR PROVIDE LINE FOOTING PER 6/S4.1

FOUNDATION PLAN NOTES

- ALL SPREAD FOOTINGS AND CONTINUOUS LINE FOOTINGS SHALL HAVE A MINIMUM 12" EMBEDMENT BELOW FINISH GRADE, UON.



PARTIAL FOUNDATION PLAN
1/4" = 1'-0"



EXISTING FRAMING/MATERIALS/COMPONENTS @ THE LAUNDRY ROOM/WALK-IN CLOSET CONVERSION CAN BE SALVAGED AND RE-USED PROVIDED THEY COMPLY WITH SIZES AND SPECIFICATIONS SHOWN ON PLAN.



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

PARTIAL FDN, FLR FRMG PLAN & LAT DIAGRAM

Project

REVISIONS:

Description
Date

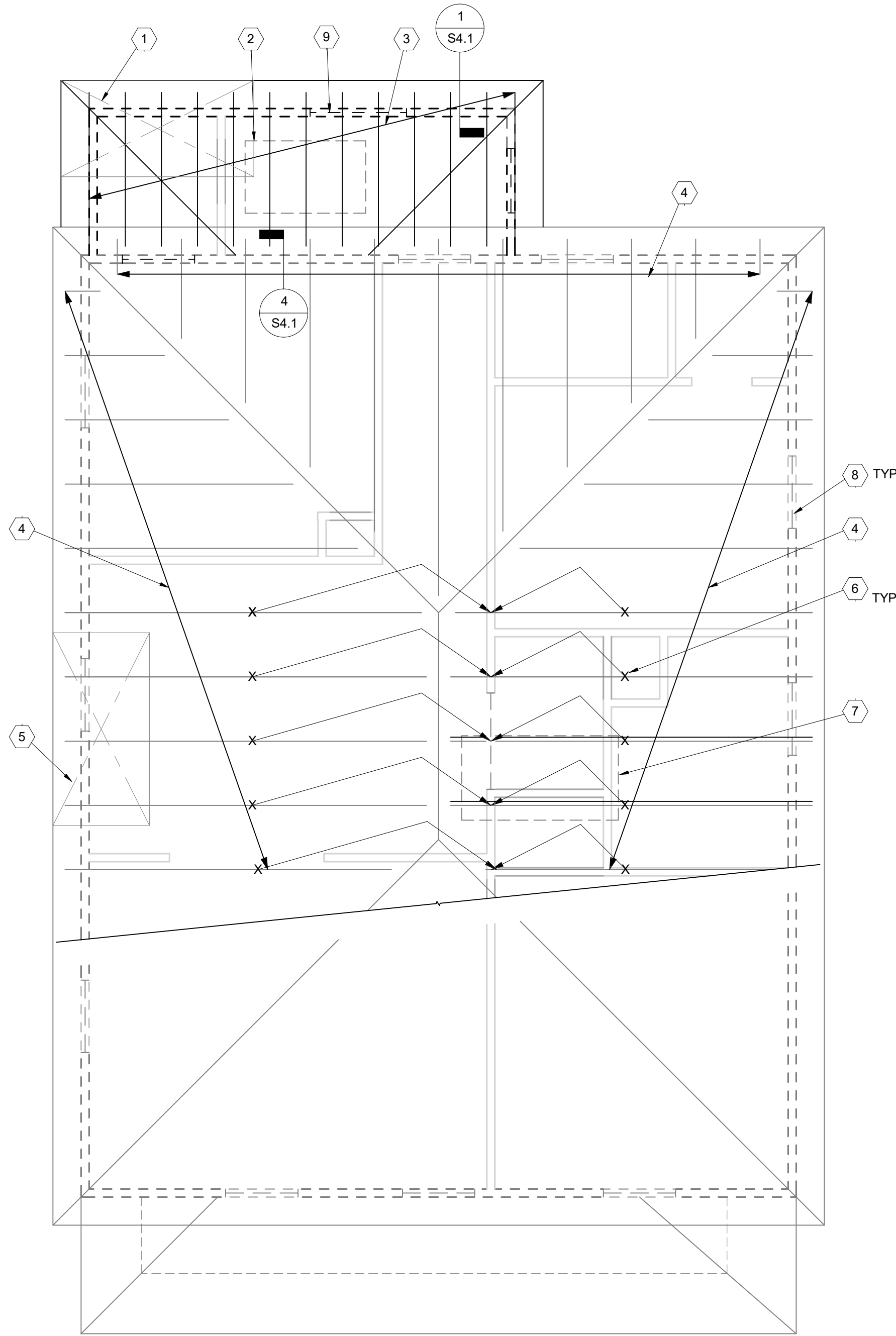
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DRAWN KLM

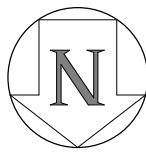
JOB NO C1A76034.00

SHEET

S2.1



PARTIAL ROOF FRAMING PLAN
1/4" = 1'-0"



ATTIC VENTILATION (CRC R806)

REQUIRED:

- | | | |
|-------------------------------------|----------------|--------------|
| 1. TOTAL ATTIC VENTILATION REQUIRED | = (1/300)(113) | = 0.37 SQ FT |
| 2. UPPER ATTIC VENTILATION REQUIRED | = 50% (2.60) | = 0.18 SQ FT |
| 3. LOWER ATTIC VENTILATION REQUIRED | = SEE ABOVE | = 0.19 SQ FT |

PROVIDED:

- | | | |
|----------------------------------|----------------|--------------|
| 4. O'HAGIN LP VENT (72 SQ IN/FT) | = (72/144) X 1 | = 0.50 SQ FT |
| 5. GABLE END VENTS (41 SQ IN) | = (41/144) X 1 | = 0.28 SQ FT |
| 6. TOTAL ATTIC VENTILATION | | = 0.78 SQ FT |

PROVIDE MINIMUM (1) O'HAGIN LOW PROFILE VENTS (OR EQUIV) W/IN 3'-0" OF RIDGE EVENLY DISTRIBUTED, TO SATISFY UPPER ATTIC VENTILATION REQUIREMENT.
PROVIDE (1) 3 1/2"X22" EAVE VENTS (OR EQUIVALENT) TO SATISFY LOWER ATTIC VENTILATION.

PLAN LEGEND

- (E) 2X4 BEARING WALLS
--- NON BEARING WALLS
--- (E) BEAM, OR (E) HDR BLW
--- (R) PURLIN LINE W/STRUT PER

7
S0.3

CONNECT JOIST HANGERS USING FASTENER DIAMETER, LENGTH, & QUANTITY PER LATEST SIMPSON STRONG-TIE CATALOG.

CONTRACTOR TO PROVIDE 1/300 ATTIC VENTILATION PER CRC SECTION R806.

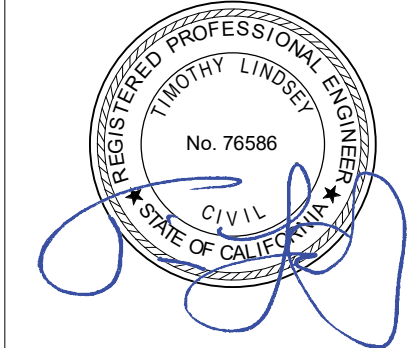
KEY NOTES

- 1 (N) 15/32" ROOF SHEATHING PER

1
S0.2

 &

2
S0.2
- 2 FIREMAN CUT SMOKE VENT, RE-SHEATHING AND REPLACING RAFTERS. INSTALL (N) 2X4 DF NO.2 @ 24"OC
- 3 (N) 2X4 RAFTERS @ 24"OC
- 4 (E) 2X4 RAFTERS @ 32"CC
- 5 (E) OSB ROOF SHEATHING OV/1X SKIP
- 6 (E) STRUT TO CENTRAL WALL, TO REMAIN
- 7 FIREMAN CUT SMOKE VENT, (R) ROOF SP-2 SPAN MIN (1/2" SP OV/3/4" SP). INSTALL (N) 2x6 DF NO.2 SISTER FRAMING ALONGSIDE CUT RAFTERS. FASTEN W/16D @ 12"CC. MAX 8'-0" HORIZ. CONT. SPAN
- 8 (E) WINDOW/DOOR HDR
- 9 (N) 4X12 OPNG HDR, TYP @ UTILITY/CLOSET CONVERSION

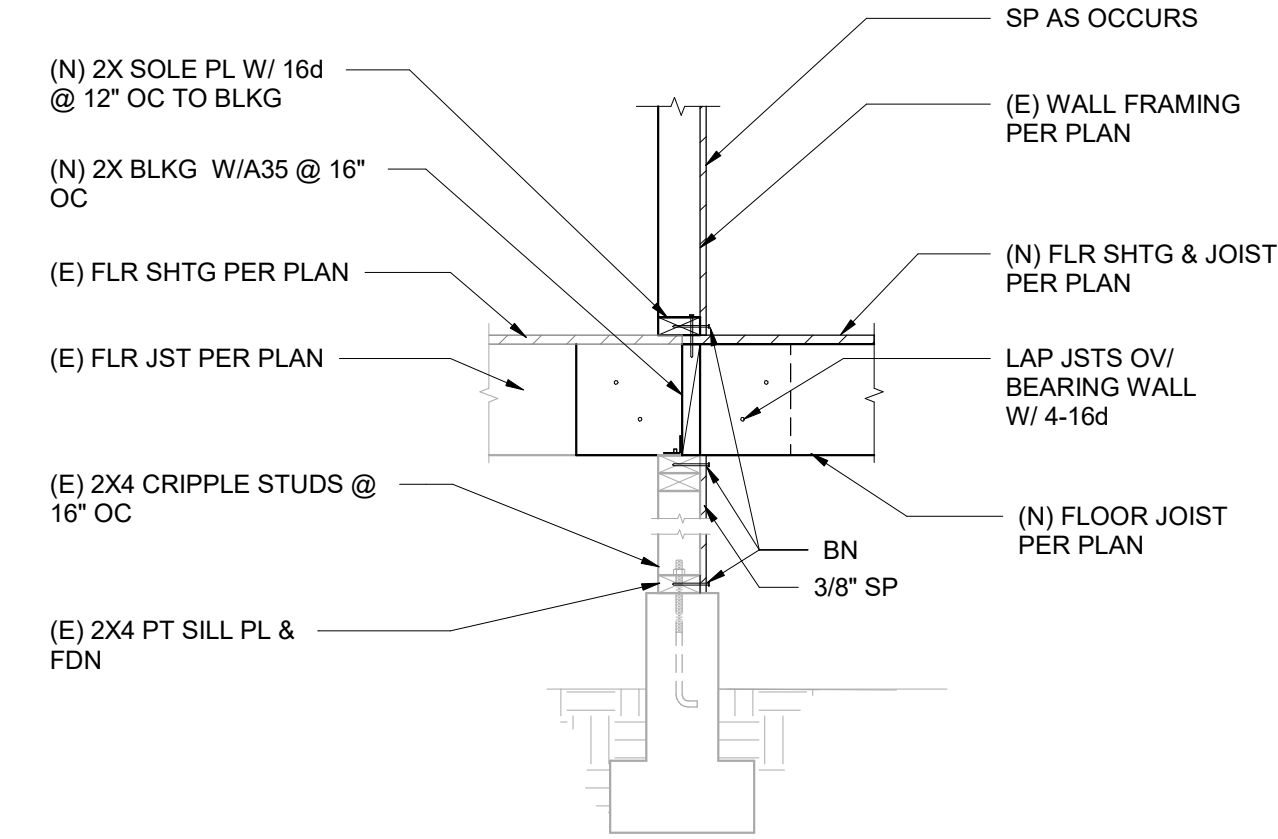


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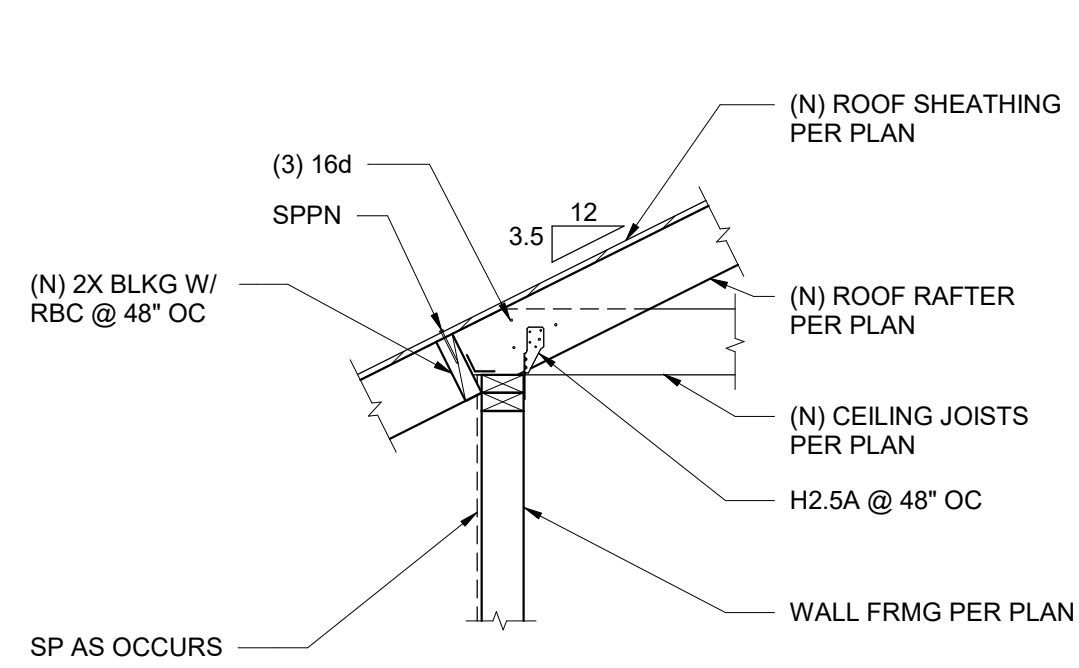
STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

PARTIAL ROOF FRAMING PLAN

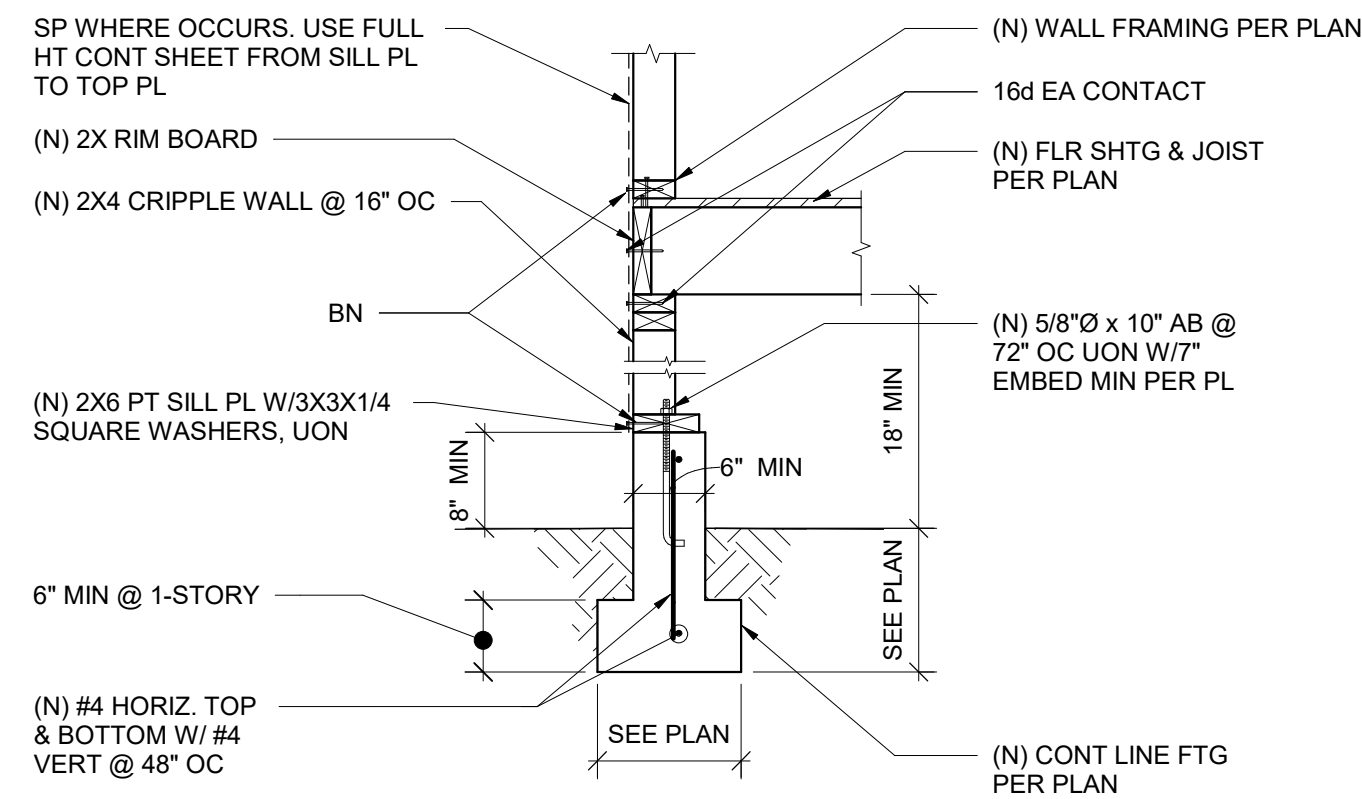
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JOB NO	C1A76034.00			
SHEET				



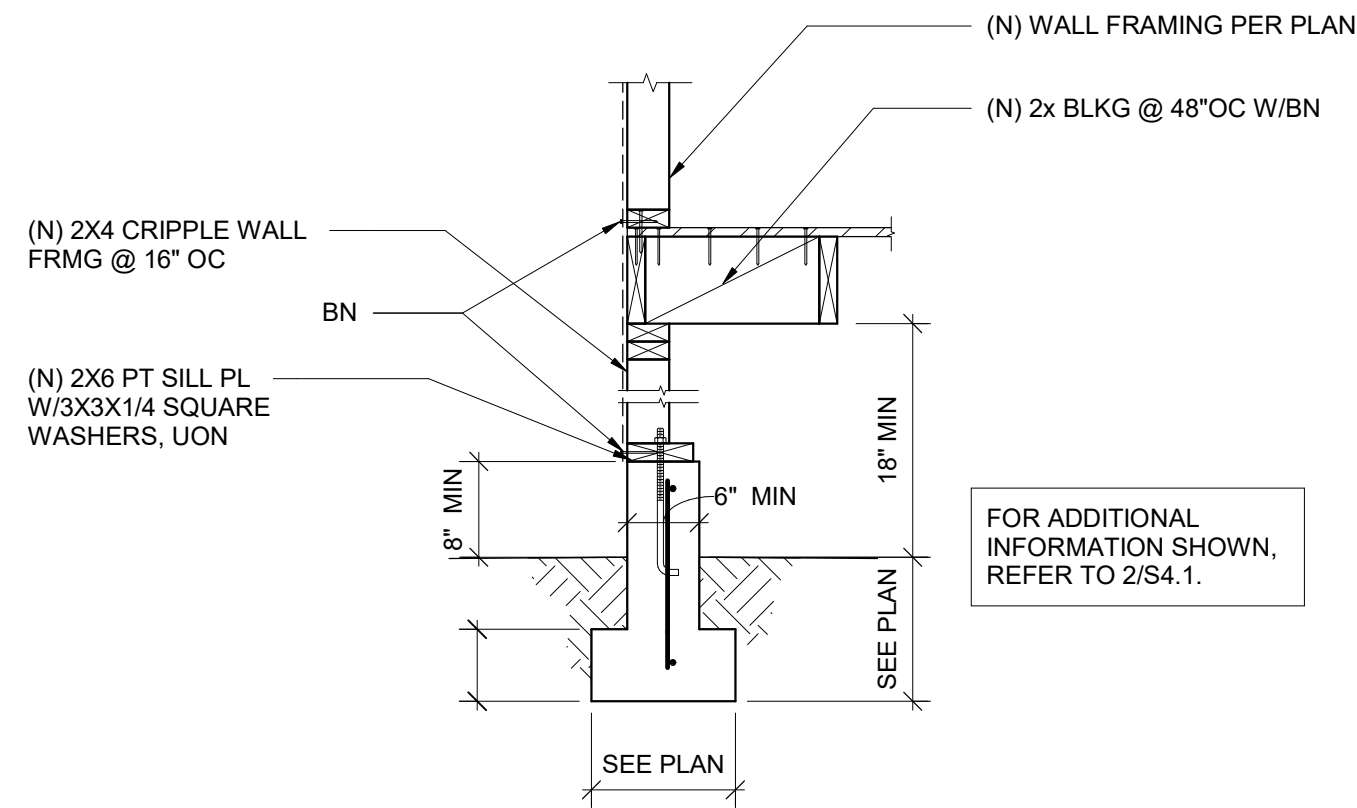
5 JOIST @ INTERIOR BEARING WALL
3/4" = 1'-0"



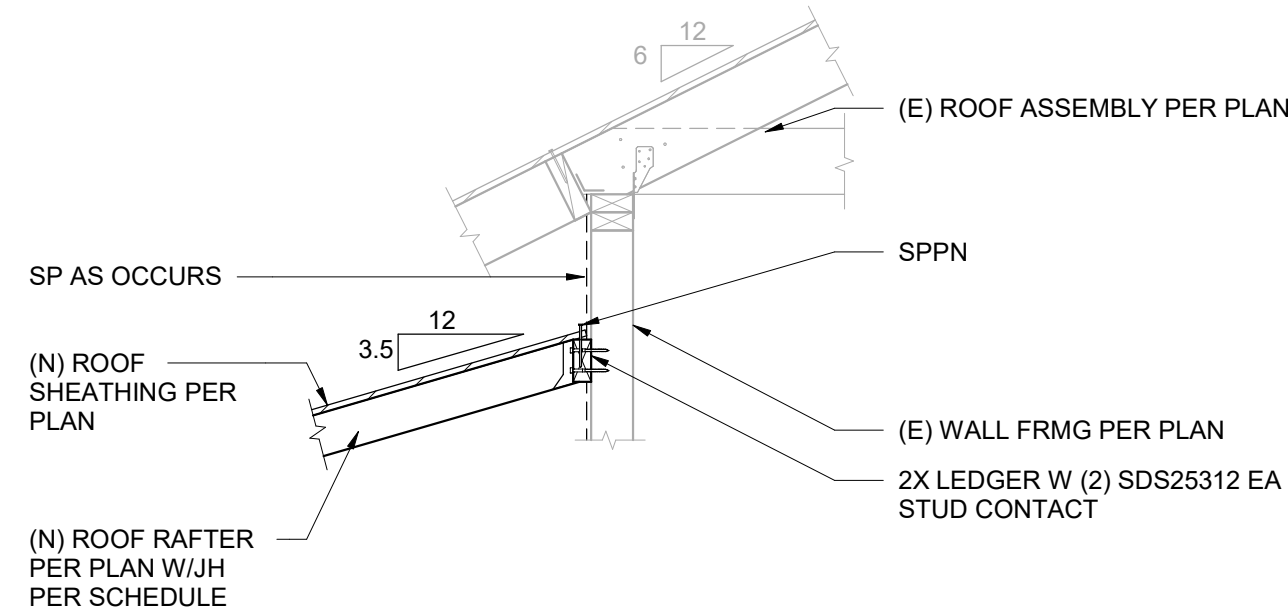
1 RAFTER TO EXT WALL
3/4" = 1'-0"



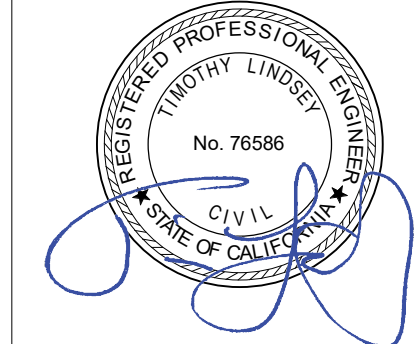
2 DETAIL
3/4" = 1'-0"



3 CRIPPLE WALL WITH PERPENDICULAR JOISTS
3/4" = 1'-0"



4 DETAIL
3/4" = 1'-0"



10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

STRUCTURAL DETAILS

REVISIONS:	Project	Sheet Title		
	Description			
	Date			
DATE		10/12/2021		
DRAWN		KLM		
JOB NO		C1A76034.00		
SHEET		S4.1		

ELECTRICAL PLAN LEGEND

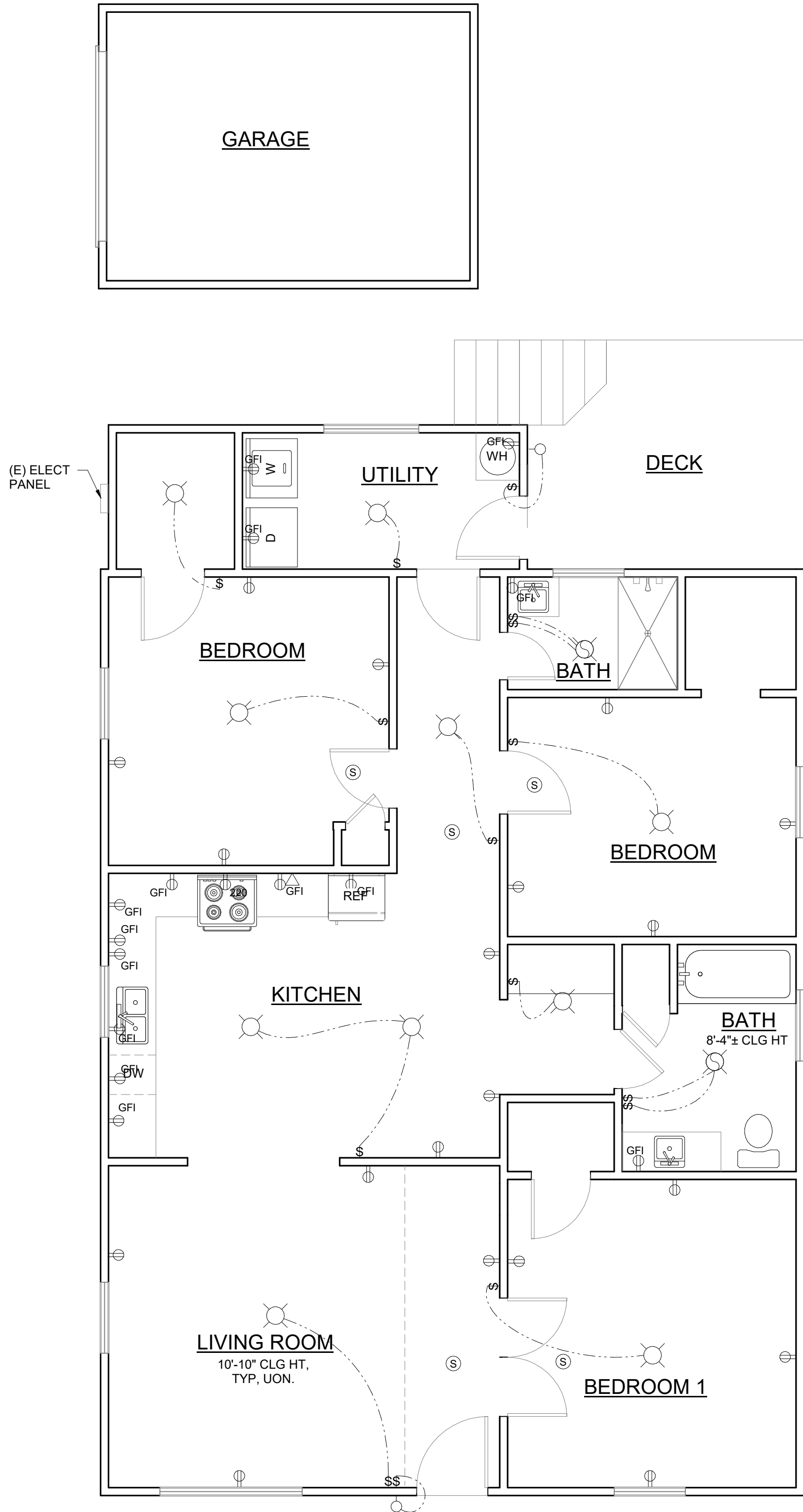
	110 DUPLEX OUTLET		DIMMER SWITCH		WALL MOUNTED FIXTURE		INDICATES LUMINAIRE INSTALLED IN A DAMP LOCATION. THE LUMINAIRE SHALL BE MARKED "SUITABLE FOR DAMP LOCATION". CEC ART. 410.10 (D)
	110 FLOOR DUPLEX OUTLET		OCCUPANCY SENSOR SWITCH		WALL MOUNTED FIXTURE W/ MOTION SENSOR		INDICATES FLUORESCENT LIGHTING OR HIGH EFFICACY LUMINAIRE.
	GFI DUPLEX OUTLET		TELEVISION / CABLE OUTLET		COMBINATION SMOKE ALARM/CARBON MONOXIDE DETECTOR		INDICATES MOTION OR VACANCY SENSOR WITHOUT AN OVERRIDE OR BYPASS SWITCH TO DISABLE THE MOTION SENSOR. SENSOR TO AUTOMATICALLY REACTIVATE IN 6 HOURS. CA ENERGY CODE SEC. 150 (K) 9A
	GFI/WEATHER PROTECTED DUPLEX OUTLET		TELEPHONE JACK		THERMOSTAT		
	SPLIT RECEPTACLE		CEILING MOUNTED FIXTURE PER ELEC NOTES		GARAGE DOOR OPENER SWITCH		
	220 OUTLET		HIGH EFFICACY CEILING MOUNTED FIXTURE		CEILING EXHAUST FAN		
	SWITCH/DIMMER SWITCH AS REQ'D BY ELEC NOTES		RECESSED CAN LIGHT		2 TUBE FLUORESCENT		
	THREE WAY SWITCH		CEILING FAN W/ LIGHT		2 TUBE WALL MOUNTED FLUORESCENT		

ELECTRICAL PLAN NOTES

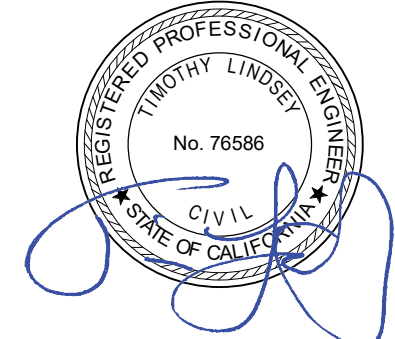
- ALL NEW WIRING SHALL MEET REQUIREMENTS PER 2019 CEC 210.
- SEE CALIFORNIA ELECTRICAL CODES NOTES ON SHEET A0.3 FOR ALL APPLICABLE ELECTRICAL WIRING NOTES AND STANDARDS.
- REPLACE ALL THE HOME'S WIRING BACK TO ELECTRICAL PANEL. CONTRACTOR TO VERIFY IF EXISTING SUBFEED IS ACCEPTABLE FOR REUSE.

SMOKE & CARBON MONOXIDE DETECTORS & ALARMS

INSTALL COMBINATION SMOKE DETECTOR/CARBON MONOXIDE ALARMS IN DWELLING UNITS AND SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. WHERE MORE THAN ONE SMOKE DETECTOR AND CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS WITHIN THE INDIVIDUAL UNIT. (CRC SECTION R314.4 & 315.7)



ELECTRICAL PLAN
1/4" = 1'-0"



STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

ELECTRICAL PLAN

REVISIONS:	Project		Sheet Title	
	Date	Description		
DATE		10/12/2021		
DRAWN		KLM		
JOB NO		C1A76034.00		
SHEET		E2.1		

CERTIFICATE OF COMPLIANCE

CF1R-ALT-01-E

Prescriptive Residential Alterations

(Page 4 of 6)

H. Fenestration Proposed Areas and Efficiencies - Replace (Section 150.2(b)(18))

Note: Doors with greater than or equal to 25 percent glazed area are considered glazed doors and are treated as fenestration products.

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Tag/ID	Fenestration Type	Frame Type	Dynamic Glazing	Orientation N, S, W, or E	Area Removed (ft ²)	Area Added (ft ²)	Net Added Area (ft ²)	Proposed U-factor	Proposed SHGC	Proposed SHGC Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03	
(R) 3040SH	Operable window	Non-metal	None	West	12	12	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 3040SH	Operable window	Non-metal	None	West	12	12	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 3040SH	Operable window	Non-metal	None	West	12	12	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 3040SH	Operable window	Non-metal	None	South	12	12	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 4040KO	Operable window	Non-metal	None	South	16	16	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 3040SH	Operable window	Non-metal	None	East	12	12	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 4040KO	Operable window	Non-metal	None	East	16	16	0	0.3	NFRC	0.23	NFRC	None	n/a
(R) 3020KO	Fixed window	Metal	None	North	6	6	0	0.3	NFRC	0.23	NFRC	None	n/a

15

Net Added West-facing Fenestration Area

0

16

Is Net Added Fenestration Area <= zero for west-facing fenestration?

Yes

17

Net Added Fenestration Area (all orientations)

0

18

Is Net Added Fenestration Area <= zero for all orientations?

Yes

19

Proposed Fenestration U-factor (Windows)

0.3

20

Required Fenestration U-factor (Windows)

0.30

Registration Number: 221-A0100848258-000-000-00000000-0000

Registration Date/Time: 2021-10-12 11:55:55

HERS Provider: CalCERTS

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Report Generated: 2021-10-12 11:51:33

Schema Version: rev 20210501

CERTIFICATE OF COMPLIANCE

CF1R-ALT-01-E

Prescriptive Residential Alterations

(Page 1 of 6)

Project Name:

Stramat Residence - 945 York Street

Date Prepared:

2021-10-12

A. General Information

01	Project Name	Stramat Residence	02	Date Prepared	2021-05-04
03	Project Location	945 York Street	04	Building Front Orientation (deg)	0
05	CA City	Vallejo	06	Number of Altered Dwelling Units	1
07	Zip Code	94590	08	Fuel Type	Natural gas
09	Climate Zone	3	10	Total Conditioned Floor Area (ft ²):	1200
11	Building Type	Single family	12	Slab Area (ft ²):	0
13	Project Scope	Insulation Roof replacement greater than 50 % Replacing Fenestration/Glazing Kitchen Range Hood Installation (new or replacement)	14	Exceptions to Minimum Ages Solar Reflectance and Minimum Thermal Emittance or SRI	n/a

Note: If "Kitchen Range Hood Installation (new or replacement)" is selected in A13, HERS verification and a CF2R/3R-MCH-32 is required.

B. Building Insulation Details - Framed (Section 150.2(b)(1))

01	02	03	04	05	06	07	08	09	10	11
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Cavity R-value	Continuous Insulation R-value	U-Factor	Appendix J/A4 Reference	Required	Comments
								Table	Cell	
(R) ROOF INSULATION	Ceiling	Wood	2x4	@ 24 in. O. C.	30	0	0.031	4.2.1	20A	0.043
(R) RIGHT WALL INSULATION	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.302	4.3.1	3A	0.302
(R) LEFT WALL INSULATION	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.302	4.3.1	3A	0.302

Registration Number: 221-A0100848258-000-000-00000000-0000

Registration Date/Time: 2021-10-12 11:55:55

HERS Provider: CalCERTS

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Prescriptive Residential Alterations

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21	Compliance Statement	Design complies with the maximum allowed fenestration U-value
22	Proposed Fenestration SHGC (Windows)	0.23
23	Required Fenestration SHGC (Windows)	n/a
24	Compliance Statement	Design complies with the maximum allowed fenestration SHGC
25	Proposed Fenestration U-factor (Skylights)	n/a
26	Required Fenestration U-factor (Skylights)	0.55
27	Compliance Statement	n/a
28	Proposed Fenestration SHGC (Skylights)	n/a
29	Required Fenestration SHGC (Skylights)	0.30
30	Compliance Statement	n/a

I. Space Conditioning (SC) Systems - Heating/Cooling - Single Family Dwelling (Section 150.2(b).

This section does not apply to this project.

J. Water Heating Systems (Section 150.2(b)(1H))

This section does not apply to this project.

K. Multifamily Space Conditioning Systems And Water Heating Systems

This section does not apply to this project.

Registration Number: 221-A0100848258-000-000-00000000-0000

Registration Date/Time: 2021-10-12 11:55:55

HERS Provider: CalCERTS

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Prescriptive Residential Alterations

(Page 2 of 6)

B. Building Insulation Details - Framed (Section 150.2(b)(1))

01	02	03	04	05	06	07	08	09	10	11
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Cavity R-value	Continuous Insulation R-value	U-Factor	Appendix J/A4 Reference	Required	Comments
								Table	Cell	
(R) FRONT WALL INSULATION	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.302	4.3.1	3A	0.302
(R) REAR WALL INSULATION	Wall	Wood	2x4	@ 16 in. O. C.	13	0	0.302	4.3.1	3A	0.302

Note:

- Where insulation is installed above the roofing membrane, or above the layer used to seal the roof from water penetration, the insulation shall have a maximum water absorption of 0.3 percent by volume when tested according to ASTM Standard C772.

C. Building Insulation Details - Non-Framed

This section does not apply to this project.

D. Opaque Surface Details - Mass Walls (Section 150.3(c)(1))

This section does not apply to this project.

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Registration Date/Time: 2021-10-12 11:55:55

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Schema Version: rev 20210501

CERTIFICATE OF COMPLIANCE

CF1R-ALT-01-E

Prescriptive Residential Alterations

(Page 6 of 6)

Documentation Author's Declaration Statement

I, certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Kimberley Bocanegra

Documentation Author Signature: Kimberley Bocanegra

Signature Date: 2021-10-12 11:51:53

Address: 428 J St., Suite 500

City/State/Zip: Sacramento CA 95814

Phone: 916-418-9100

Responsible Person's Declaration statement

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- That the energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Tim Lindley

Responsible Designer Signature: Tim Lindley

Date Signed: 2021-10-12 11:55:55

License: PE 76586

City/State/Zip: Sacramento CA 95814

Phone: 916-418-9100

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Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the

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Prescriptive Residential Alterations

(Page 3 of 6)

E. Roof Replacement (Section 150.2(b)(1H))

01	02	03	04	05	06	07	08	09	10	11	12	13	14	
Tag/ID	Method of Compliance	Roof Pitch	Exception	CRBC Product ID Number	Product Type	R-value Deck Insulation	Initial Solar Reflectance	Aged Solar Reflectance	Thermal Emittance	SRI (optional)	Aged Solar Reflectance (Min)	Aged Solar Reflectance (Max)	Thermal Emittance	SRI (optional)
Roof #1	Exception	Roof pitch is >= 2 :12	Buildings with a radiant barrier in the attic meeting the requirements of Section 150.3(c)(2)	n/a	Asphalt shingles	n/a	n/a	0	0	n/a	n/a	n/a	n/a	n/a

Note:

- Roof area covered by building integrated photovoltaic panels and solar thermal panels are exempt from the above Cool Roof requirements.
- Liquid field applied coatings must comply with installation criteria from section 110.8(i)(4)

F. Fenestration/Glazing Allowed Areas and Efficiencies (Section 150.2(b)(1))

01	02	03	04	05	06	07
Alteration Type	Maximum Allowed Fenestration Area For All Orientation (ft ²)	Maximum Allowed West-Facing Fenestration Area Only (ft ²)	Existing Fenestration Area For All Orientations (ft ²)	Existing West-Facing Fenestration Area (ft ²)	Maximum Allowed U-factor (Windows)	Maximum Allowed U-factor (Skylights)
Replacing Fenestration/Glazing	n/a	n/a	302	44	0.30	0.30

G. Fenestration Proposed Areas and Efficiencies - Add (Section 150.2(b)(1A))

This section does not apply to this project.

Registration Number: 221-A0100848258-000-000-00000000-0000

Registration Date/Time: 2021-10-12 11:55:55

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Schema Version: rev 20210501

10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

CF-1R FORMS - FIRE REPAIR

REVISIONS:

Date	Description

DATE

10/12/2021

DRAWN

KLM

JOB NO

C1A76034.00

SHEET

T0.1

CERTIFICATE OF COMPLIANCECF1R-ADD-01-E

Prescriptive Residential Additions(Page 4 of 6)

I. Fenestration Proposed Areas and Efficiencies

Note: If meeting Exception 1 to 150.1(c)(3A), installing <= 3 ft² glass in door, it is assumed to meet the minimum required U-factor (0.30) and SHGC (0.23). If meeting Exception 1 to 150.1(c)(3A), installing <= to 3 ft² tubular skylight, it is assumed to meet the minimum required U-factor (0.55) & SHGC (0.30). Doors with greater than or equal to 25 percent glazing area are considered glazed doors and are treated as fenestration products.

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Tag/ID	Fenestration Type	Frame Type	Dynamic Glazing	Orientation N, S, W, E	Number of Panes	Proposed Fenestration Area ft²	Proposed West Facing Fenestration Area ft²	Proposed U-factor	Proposed U-factor Source	Proposed SHGC	Proposed SHGC Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03
(N) 4030X0	Operable window	Non-metal	None	South	Single Pane	12	n/a	0.3	NFRC	0.23	NFRC	None	n/a
15	Total Proposed Fenestration Area											12	
16	Maximum Allowed Fenestration Area											75	
17	Compliance Statement: Design complies with the total allowed fenestration area												
18	Total Proposed West-Facing Fenestration Area											0	
19	Maximum Allowed West-Facing Fenestration Area											n/a	
20	Compliance Statement: Design complies with the total allowed west-facing fenestration area												
21	Proposed Fenestration U-factor (Windows)											0.3	
22	Required Fenestration U-factor (Windows)											0.3	
23	Compliance Statement: Design complies with the total allowed fenestration area												
24	Proposed Fenestration SHGC (Windows)											0.23	
25	Required Fenestration SHGC (Windows)											n/a	
26	Compliance Statement: Design complies with the maximum allowed fenestration SHGC												
27	Proposed Fenestration U-factor (Skylights)											n/a	
28	Required Fenestration U-factor (Skylights)											0.30	
29	Compliance Statement											n/a	
30	Proposed Fenestration SHGC (Skylights)											n/a	
31	Required Fenestration SHGC (Skylights)											0.23	
32	Compliance Statement											n/a	

Registration Number: 221-00101763338-000-000-0000000-0000

Registration Date/Time: 2021-10-12 15:25:15

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CERTIFICATE OF COMPLIANCECF1R-ADD-01-E

Prescriptive Residential Additions(Page 1 of 6)

Project Name:Stramat Residence

Date Prepared:2021-08-23

Project Location:945 York Street, Vallejo, CA, USA

Building Front Orientation (deg):0

CA City:Vallejo

Number of Dwelling Units with Additions:1

Zip Code:94590

Fuel Type:Natural gas

Climate Zone:3

Total Conditioned Floor Area (ft²) (Addition):113

Building Type:Single family

Slab Area (ft²):0

Project Scope:Addition 300 ft² Fenestration

Fenestration Exceptions:NA (do not allow other entries)

B. Opaque Surface Details - Framed Walls/ Framed Floors/ Concrete Raised Floors (Section 150.2(a))

01	02	03	04	05	06	07	08	09	10	11
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Proposed Cavity R-value	Proposed Continuous Insulation R-value	Proposed U-Factor	Required Appendix J/A4 Reference Table	Required U-Factor from Table 150.1-A or B	Comments
(N) FRONT WALL	Wall	Wood	2x4	@ 16 in. O. C.	15	0	0.095	4.3.1	4A	0.095
(N) REAR WALL	Wall	Wood	2x4	@ 16 in. O. C.	15	0	0.095	4.3.1	4A	0.095
(N) LEFT WALL	Wall	Wood	2x4	@ 16 in. O. C.	15	0	0.095	4.3.1	4A	0.095
(N) RIGHT WALL	Ceiling	Wood	2x4	@ 16 in. O. C.	15	0	0.095	4.3.1	4A	0.095
(R) Roof Insulation	Roof	Wood	2x6	@ 16 in. O. C.	30	0	0.031	4.2.1	20A	0.043

Registration Number: 221-00101763338-000-000-0000000-0000

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Prescriptive Residential Additions(Page 5 of 6)

J. Opaque Swinging Doors to Exterior

This section does not apply to this project.

K. Space Conditioning (SC) Systems - Heating/ Cooling - Single Family Dwelling (Section 150.2(b) or (Section 150.1(c)(7)

This section does not apply to this project.

L. Water Heating Systems (Section 150.1(c)(8)

This section does not apply to this project.

M. Multifamily Space Conditioning Systems And Water Heating Systems

This section does not apply to this project.

N. IAQ Fan Information

This section does not apply to this project.

Registration Number: 221-00101763338-000-000-0000000-0000

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Prescriptive Residential Additions(Page 2 of 6)

B. Opaque Surface Details - Framed Walls/ Framed Floors/ Concrete Raised Floors (Section 150.2(a))

01	02	03	04	05	06	07	08	09	10	11
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Proposed Cavity R-value	Proposed Continuous Insulation R-value	Proposed U-Factor	Required Appendix J/A4 Reference Table	Required U-Factor from Table 150.1-A or B	Comments

Note:

Where insulation is installed above the roofing membrane, or above the layer used to seal the roof from water penetration, the insulation shall have a maximum water absorption of 0.3 percent by volume when tested according to ASTM Standard C272.

Extensions of existing wood-framed walls may retain the dimensions of the existing walls and shall install cavity insulation of R-15 in a 2x4 framing and R-21 in a 2x6 framing.

C. Opaque Surface Details - Non-framed (Section 150.1(c)(1)

This section does not apply to this project.

D. Opaque Surface Details - Mass Walls (Section 150.1(c)(1B))

This section does not apply to this project.

E. Slab Insulation (Table 150.1-A)

This section does not apply to this project.

F. Radiant Barrier (Section 150.1(c).2)

01	02
Radiant Barrier installed below the roof deck and on all gable end walls	Comments
Yes	

Registration Number: 221-00101763338-000-000-0000000-0000

Registration Date/Time: 2021-10-12 15:25:15

HERS Provider: CalCERTS

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Schema Version: rev 20191201

CERTIFICATE OF COMPLIANCECF1R-ADD-01-E

Prescriptive Residential Additions(Page 6 of 6)

Documentation Author's Declaration Statement

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Kimberley Bocanegra

Documentation Author Signature: Kimberley Bocanegra

Signature Date: 2021-10-12 15:21:42

Address: 428 J St., Suite 500

City/State/Zip: Sacramento CA 95814

Phone: 916-418-9100

Responsible Person's Declaration statement

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).

3. That the energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Tim Lindsey

Responsible Designer Signature: Tim Lindsey

Date Signed: 2021-10-12 15:25:15

License: PE 76586

City/State/Zip: Sacramento CA 95814

Phone: 916-418-9100

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Schema Version: rev 20191201

CERTIFICATE OF COMPLIANCECF1R-ADD-01-E

Prescriptive Residential Additions(Page 3 of 6)

F. Radiant Barrier (Section 150.1(c).2)

01	02
Radiant Barrier installed below the roof deck and on all gable end walls	Comments

A radiant barrier is required (for Climate Zones 2-15)

Radiant barriers shall meet specific eligibility and installation criteria to receive energy credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings. Refer to RA4.2.1.

The emittance of the radiant barrier shall be less than or equal to 0.05 as tested in accordance with ASTM C1371 or ASTM E408.

For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than one square foot of vent area for each 300 ft² of attic floor area with a minimum of 40 percent to no more than 50 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the venting.

G. Roofing Products (Cool Roof) (Section 150.1(c).11)

01	02	03	04	05	06	07	08	09	10	11	12	13
Tag/ID	Exception	Roof Pitch	Method of Compliance	Product Type	CRRC Product ID Number	Proposed Initial Solar Reflectance	Proposed Aged Solar Reflectance	Proposed Thermal Emittance	Proposed SRI (optional)	Required Aged Solar Reflectance	Required Thermal Emittance	Required SRI (optional)

Notes:

Exception 1 Any roof area covered by building integrated photovoltaic panels and solar thermal panels are exempt from the above Cool Roof requirements

Exception 2: Roof construction with a weight of 25 lb/ft² are also exempt.

Liquid field applied coatings must comply with installation criteria from section 110.8(f)(4)

H. Fenestration/Glazing Allowed Areas and Efficiencies (Section 150.2(a)(1)

01	02	03	04	05	06	07	08	09	10
Addition Type ft²	Maximum Allowed Fenestration Area For All Orientations ft²	Maximum Allowed West-Facing Fenestration Area Only ft²	The Greater Maximum Calculated based on Allowed %	The Greater Maximum Calculated based on Allowed ft²	Maximum Allowed U-Factor (Windows)	Maximum Allowed U-Factor (Skylights)	Maximum Allowed SHGC (Windows)	Maximum Allowed SHGC (Skylights)	Comments
Addition 300 ft²	33.9	75	n/a	n/a	0.3	0.30	n/a	0.23	

Registration Number: 221-00101763338-000-000-0000000-0000

Registration Date/Time: 2021-10-12 15:25:15

HERS Provider: CalCERTS

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Report Version: 2019.1.005

Report Generated: 2021-10-12 15:21:25

Schema Version: rev 20191201

Degenkolb

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428 J ST., SUITE 500
SACRAMENTO, CA 95814
916.418.9100 (P)
www.degenkolb.com

REGISTERED PROFESSIONAL ENGINEER
TIMOTHY LINDSEY
No. 76586
CIVIL
STATE OF CALIFORNIA

10/12/21

STRAMAT RESIDENCE
945 YORK STREET
VALLEJO, CA 94590

CF-1R FORMS - ADDITION

REVISIONS:

Project Description

Date

DATE

DRAWN

JOB NO

SHEET

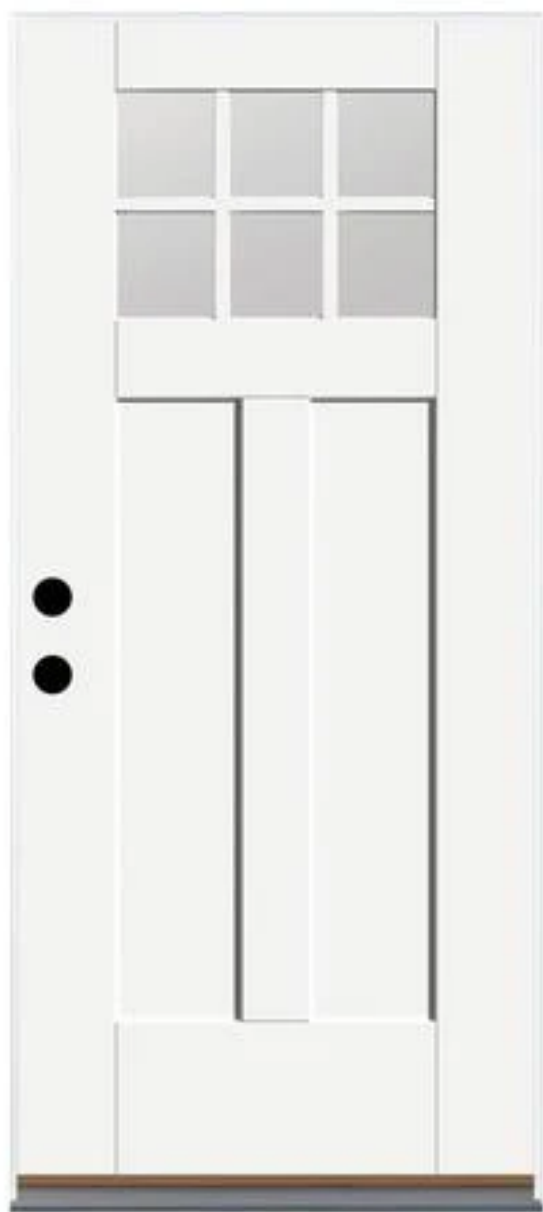
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Add curb appeal and create a versatile look for your home with this contemporary interpretation of the Shaker movement Flush-glazed glass is built directly into the door and provides a clean, seamless appearance that allows more natural light into your home Fiberglass doors are low-maintenance and high-performance; unlike wood or steel doors, durable fiberglass is resistant to cracking, warping, splitting and denting A Therma-Tru Benchmark door is a complete door system including all necessary components; jambs, mouldings, weatherstrip, sill and hinges in complementing finish colors, all engineered to help ensure a precision fit for years of trouble-free performance Door system is energy star® certified with a polyurethane foam core - delivering exceptional energy efficiency Security strike plate and 22.5-in solid wood lock block improves resistance against forced entry Draft and moisture-resistant, with an adjustable sill and foam-filled compression weatherstrip that remains flexible and helps seal the entryway against moisture and air infiltration Therma-Tru Benchmark fiberglass provides peace of mind with a lifetime limited warranty Ready-to-install door with frame

Features

Material	Fiberglass
Wood Species	N/A
Finish	Unfinished
Manufacturer Color/Finish	Ready to Paint
Color/Finish Family	White
Size (W x H)	36-in x 80-in

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Fire Rated	No
Fire Rating	N/A
Actual Width (Inches)	37.5
Actual Height (Inches)	81.5
Jamb Width (Inches)	4.5625
Actual Width with Sidelights (Inches)	0
Actual Depth (Inches)	4.5625
Glass Style	Simulated divided light
Rough Opening Width (Inches)	38.25
Rough Opening Height (Inches)	82
Panel Type	2-panel
Glass Shape	Craftsman
Door Style Modern	Yes
Door Style Victorian	No
Door Style Craftsman	Yes
Door Style Traditional	Yes
Door Style Rustic	No
Door Style Mid Century	No
Door Style Contemporary	No
Privacy Rating	0
Insulation	Low-E

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Glass Caming	No
Caming Finish	N/A
Brickmould Included	No
Weatherstripping Included	Yes
Lockset Bore	Ready for lockset and deadbolt
Core Type	Insulating core
Impact Resistant Glass	No
3-Point Locking System	No
Commercial/Residential	Residential
For Use with Mobile Homes	No
Sill Type	Adjustable
Sill Finish	Mill
Lowe's Exclusive	Yes
ENERGY STAR Certified Northern Zone	Yes
ENERGY STAR Certified North/Central Zone	Yes
ENERGY STAR Certified South/Central Zone	Yes
ENERGY STAR Certified Southern Zone	Yes
Warranty	Limited lifetime
Locking System Included	No
Meets: Prop 65 Warning(s)	Yes

x

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Configuration	Single door
Door Type	Prehung
Impact Resistance	No
UNSPSC	30171500
Collection Name	N/A
Handle Finish	N/A (no handle)
Common Depth (Inches)	4
Handle(s) Included	No
Handing	Right-hand inswing
Hardware Finish	N/A

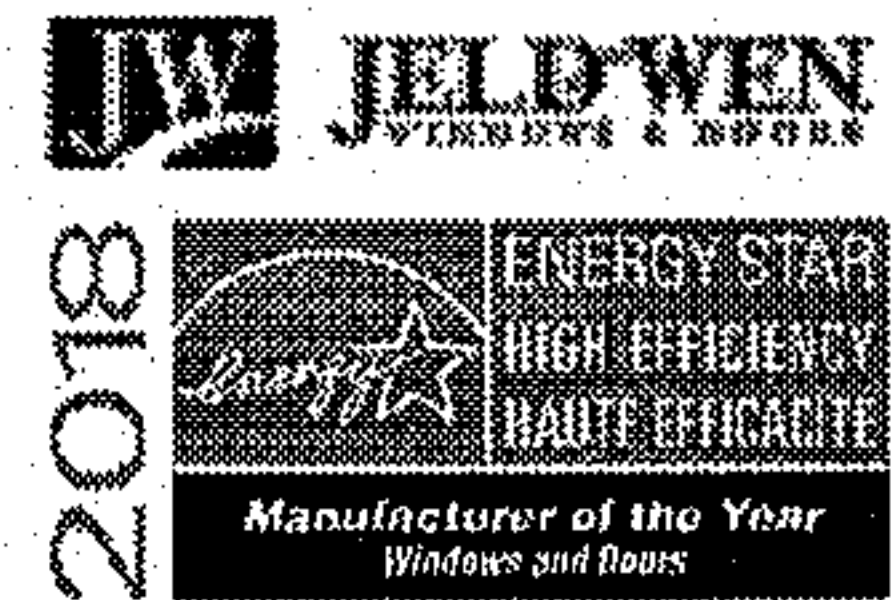
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Andrew King
340 industrial Way # T, Dixon, CA 95620

QUOTE BY : Andrew King

SOLD TO : York St
Vanjo

PO# :

Ship Via : Ground

QUOTE # : JW211000ZRQ - Version 0

SHIP TO :

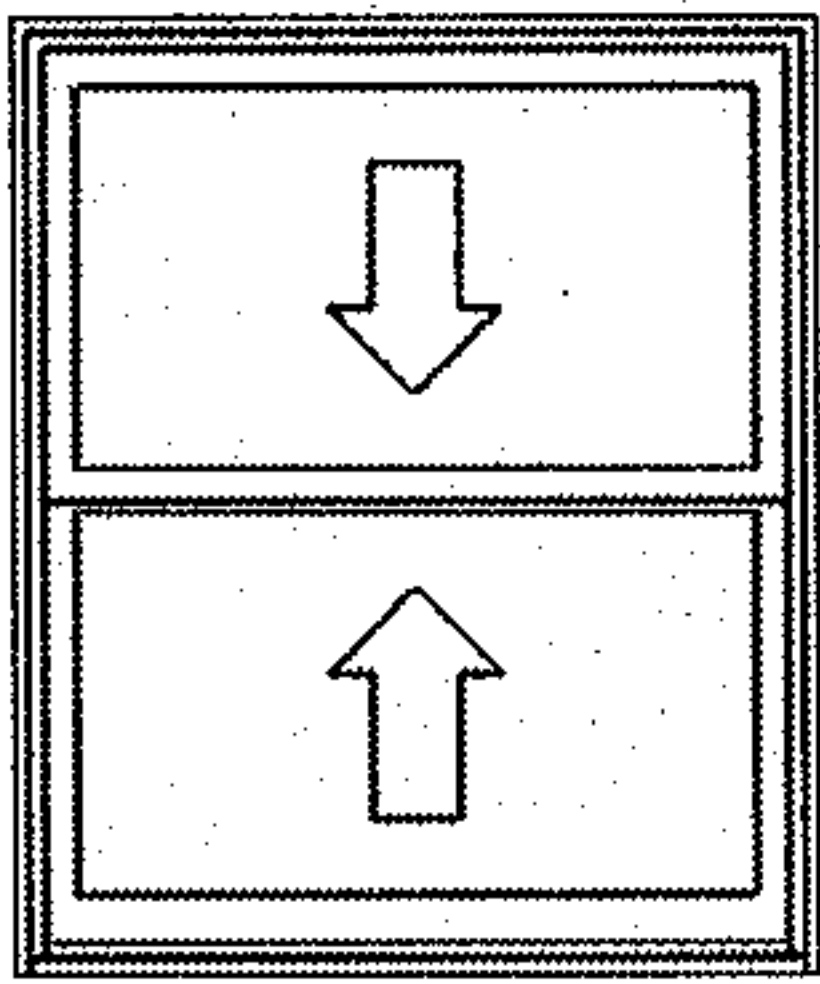
PROJECT NAME:

REFERENCE :

U-Factor Weighted Average: 0.29

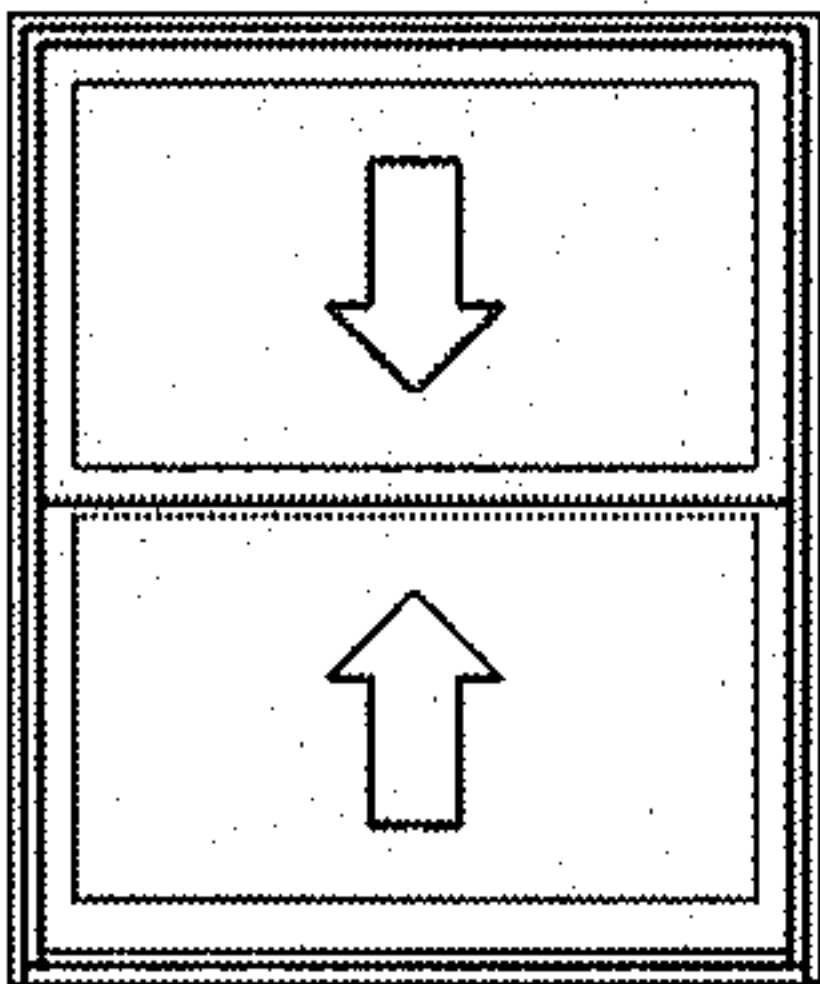
SHGC Weighted Average: 0.2

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1		Frame Size : 40 X 48 (Outside Casing Size: 42 5/8 X 50 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, IGThick=0.698(3/32 / 3/32), Clear Opening:36.2w, 20.4h, 5.1 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
	Rough Opening : 40 3/4 X 48 3/4				



Viewed from Exterior. Scale: 1/2" =1'

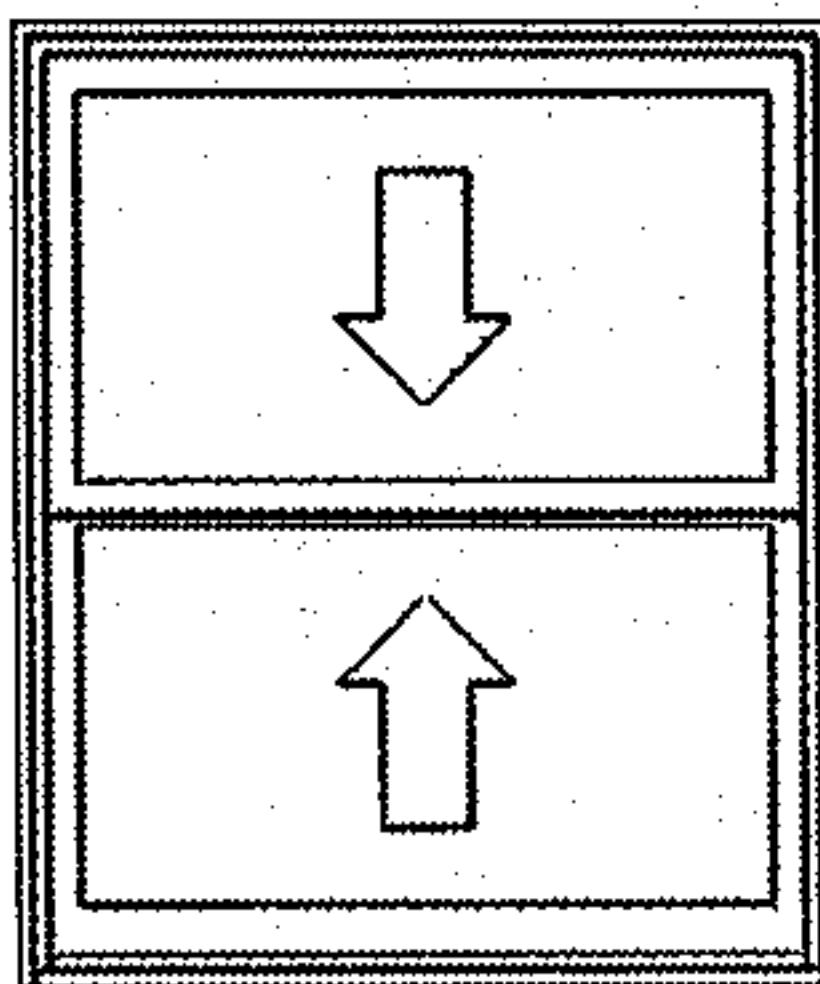
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	Rough Opening : 40 1/4 X 47 3/4	Frame Size : 39 1/2 X 47 (Outside Casing Size: 42 1/8 X 49 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:35.7w, 19.9h, 4.9 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			



Viewed from Exterior. Scale: 1/2" =1'

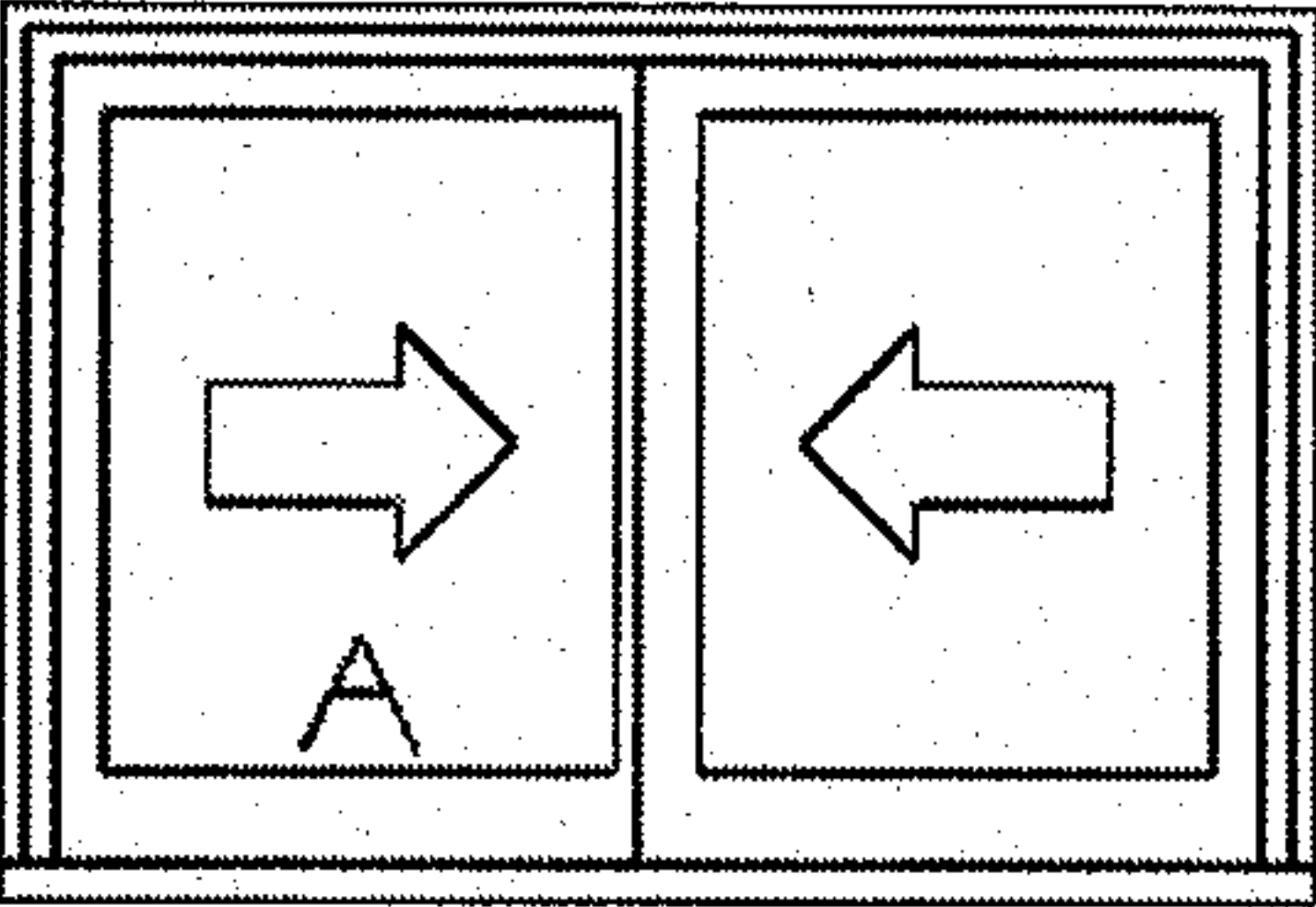
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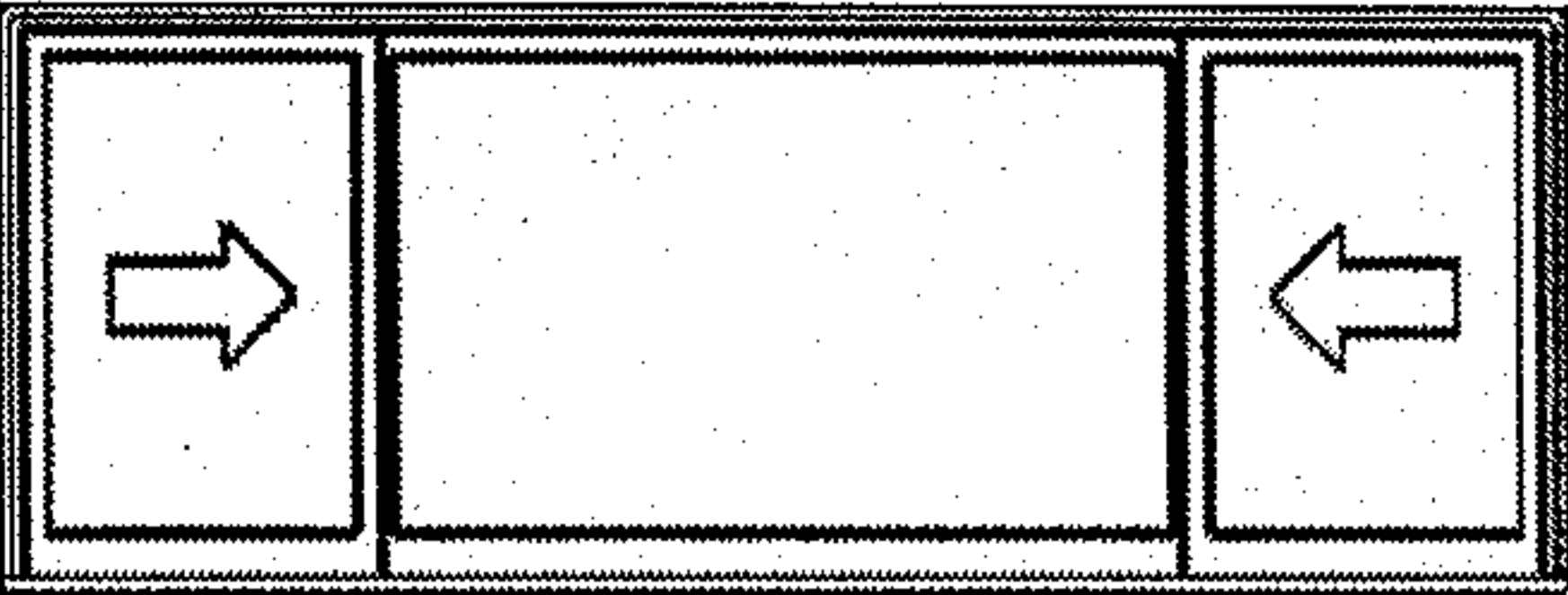
Line 3	Rough Opening : 41 3/8 X 48 3/4	Frame Size : 40 5/8 X 48 (Outside Casing Size: 43 1/4 X 50 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, IGThick=0.698(3/32 / 3/32), Clear Opening:36.8w, 20.4h, 5.2 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
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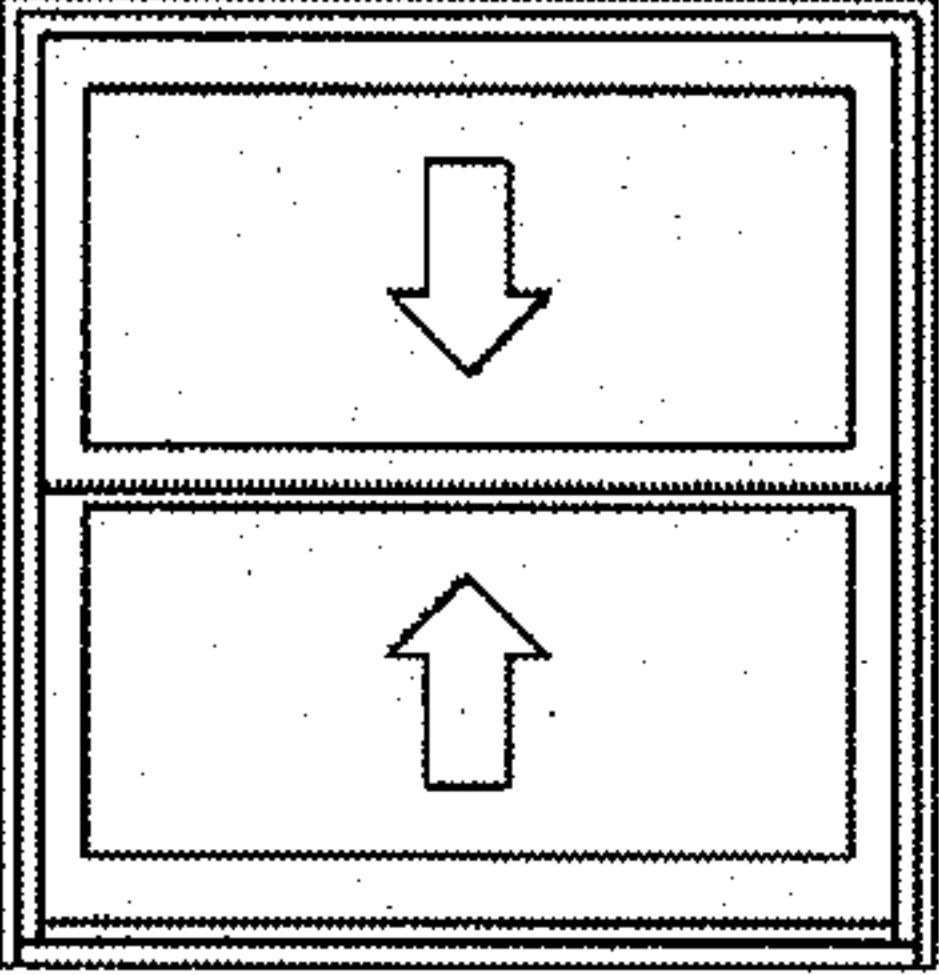


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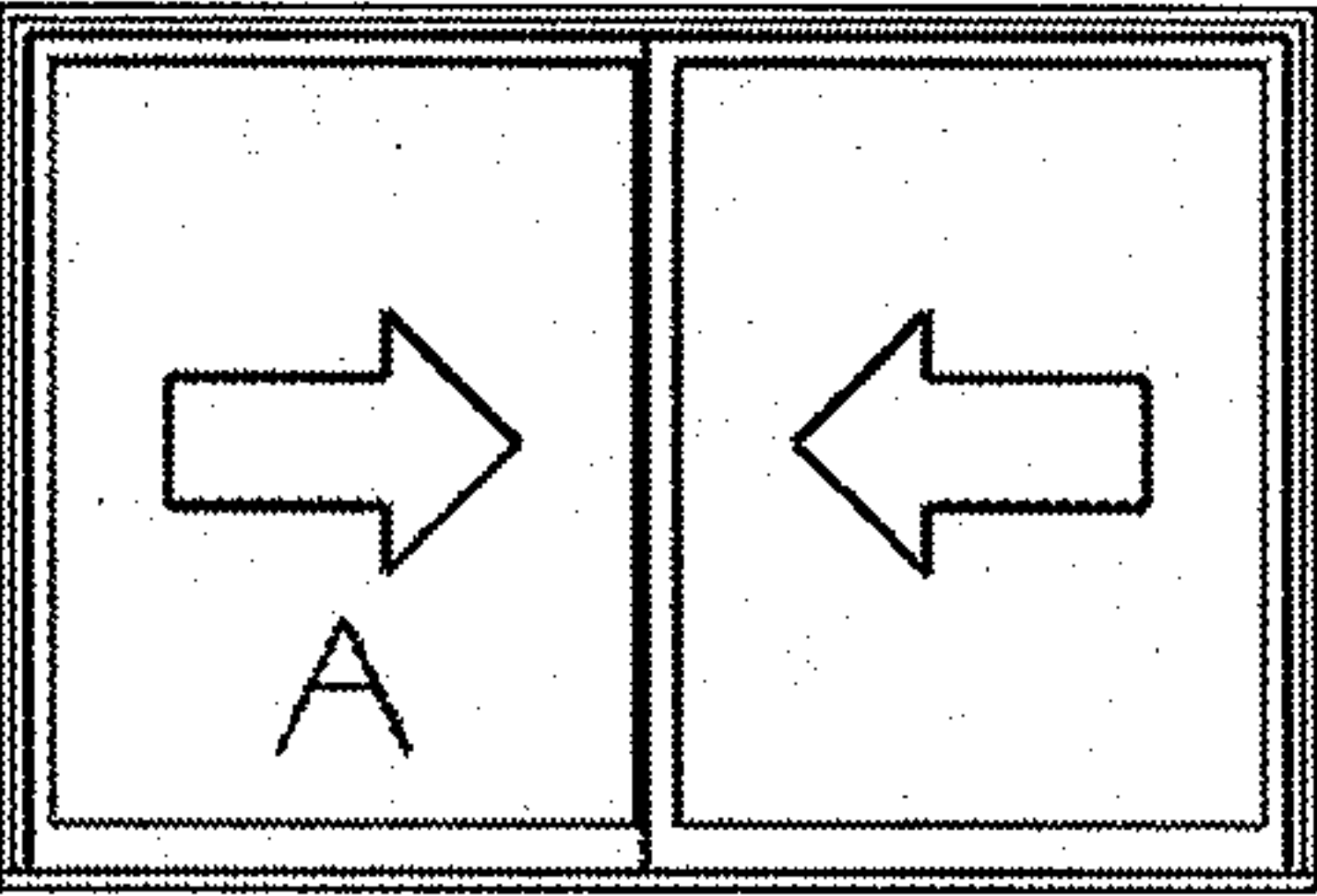
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LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 4	Rough Opening : 36 3/4 X 25	 Frame Size : 36 X 24 1/4 (Outside Casing Size: 38 5/8 X 25 15/16), Sitaline EX Wood Sliding Window, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Left Hand , White Hardware, US National-WDMA/ASTM, PG 30, Insulated SunResist with HeatSave Tempered Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Warranty Covers Accidental* Glass Breakage *Refer to the JELD- WEN warranty for additional information, *Custom-Width*, *Custom- Height*, IGThick=0.756(1/8 / 1/8),(NW) Clear Opening:15w, 20.3h, 2.1 sf PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
	Viewed from Exterior. Scale: 1/2" =1'			1	

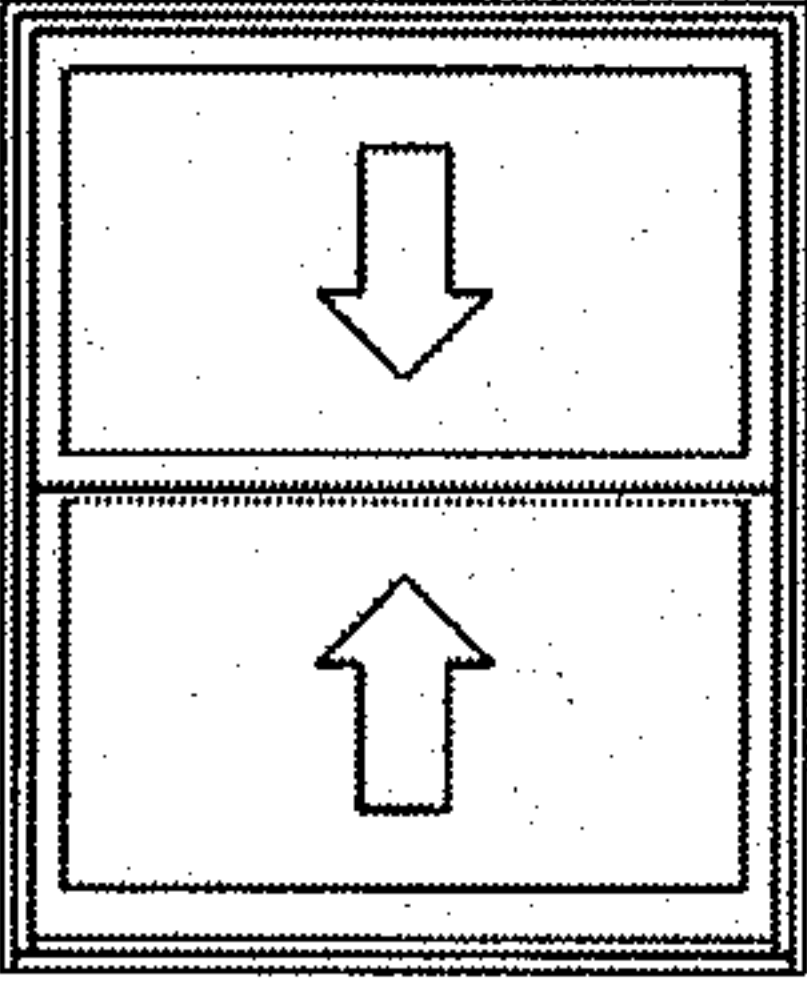
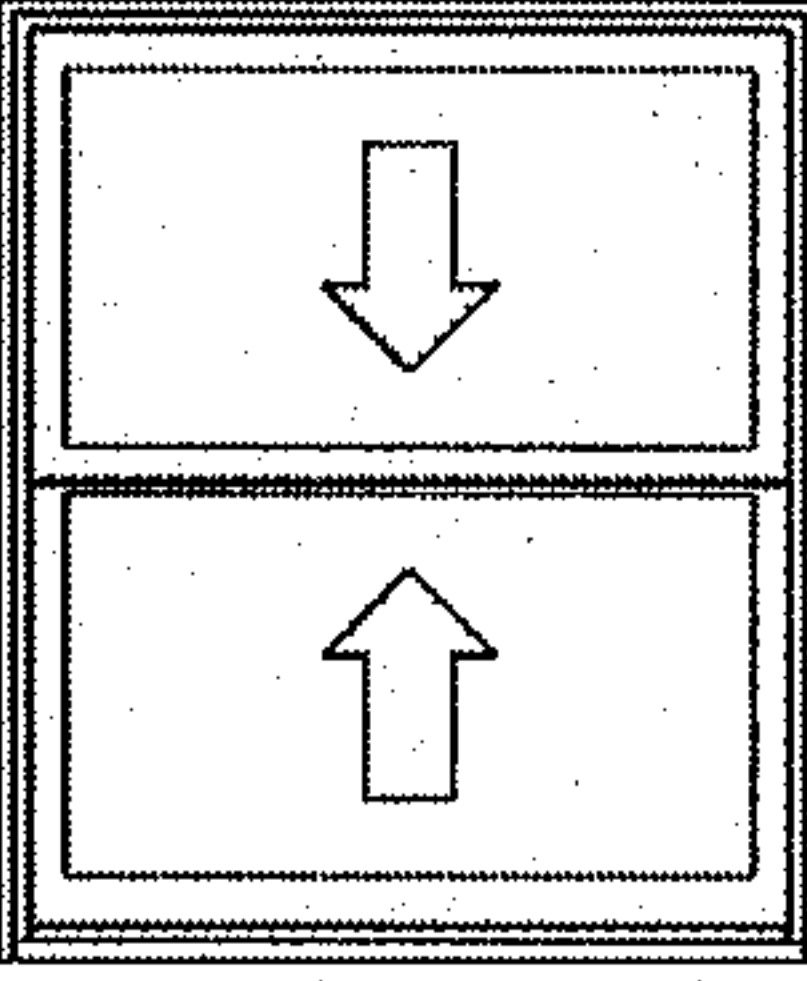
Line 5	Rough Opening : 96 1/16 X 36 1/4	 Frame Size : 95 5/16 X 35 1/2 (Outside Casing Size: 97 15/16 X 37 3/16), Sitaline EX Wood Sliding Window, Auralast Pine, Vent= 23 7/32 , Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, White Hardware, Insulated SunResist with HeatSave Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Height*, IGThick=0.756(1/8 / 1/8),(NW) Clear Opening:20.7w, 31.5h, 4.5 sf PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
	Viewed from Exterior. Scale: 1/2" =1'			1	

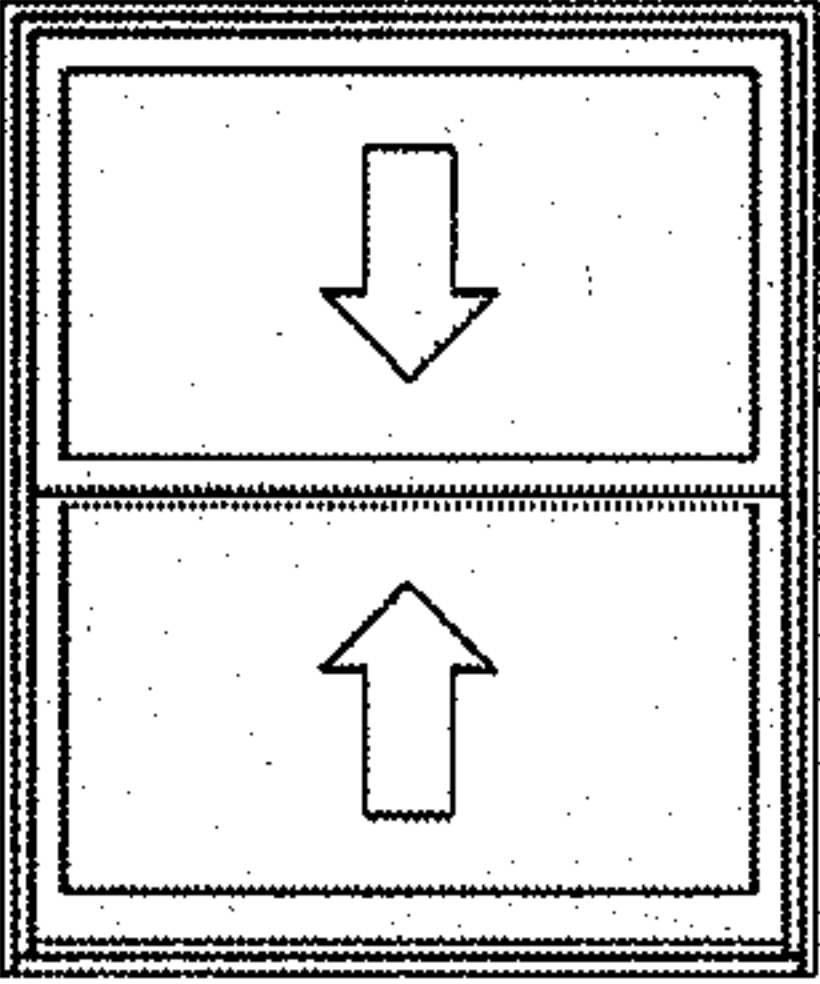
LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 6		Frame Size : 34 7/8 X 36			
	Rough Opening : 35 5/8 X 36 3/4	(Outside Casing Size: 37 1/2 X 38 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, IGThick=0.698(3/32 / 3/32), Clear Opening:31.1w, 14.4h, 3.1 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
					
	Viewed from Exterior. Scale: 1/2" =1'				

1

Line 7		Frame Size : 71 5/16 X 48			
	Rough Opening : 72 1/16 X 48 3/4	(Outside Casing Size: 73 15/16 X 49 11/16), Siteline EX Wood Sliding Window, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Left Hand , White Hardware, US National-WDMA/ASTM, PG 30, Insulated SunResist with HeatSave Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Height*, IGThick=0.756(1/8 / 1/8),(NW) Clear Opening:32.7w, 44h, 10 sf PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
					
	Viewed from Exterior. Scale: 1/2" =1'				

1

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 8	Rough Opening : 40 3/4 X 48 3/4	 Frame Size : 40 X 48 (Outside Casing Size: 42 5/8 X 50 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, IGThick=0.698(3/32 / 3/32), Clear Opening:36.2w, 20.4h, 5.1 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
	Viewed from Exterior. Scale: 1/2" =1'			1	
Line 9	Rough Opening : 40 1/4 X 47 1/4	 Frame Size : 39 1/2 X 46 1/2 (Outside Casing Size: 42 1/8 X 48 11/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear Opening:35.7w, 19.7h, 4.8 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
	Viewed from Exterior. Scale: 1/2" =1'			1	

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 10		Frame Size : 40 1/2 X 48			
	Rough Opening : 41 1/4 X 48 3/4	(Outside Casing Size: 43 1/8 X 50 3/16), Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, Casing & Nosing Loose, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, BetterVue Mesh Brilliant White Screen, Product Does Not Qualify for Accidental Glass Breakage Warranty Coverage, *Custom-Width*, IGThick=0.698(3/32 / 3/32), Clear Opening:36.7w, 20.4h, 5.2 sf U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, Energy Rating: 14.00, CPD: JEL-N- 885-01791-00004 PEV 2021.3.0.3624/PDV 6.420 (09/10/21)CW			
					
	Viewed from Exterior. Scale: 1/2" =1'				

1

Total Units: 10

 Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.

For CA Title 24 applications, refer to weighted average U-Factor and SHGC, and discuss with California energy consultant to ensure compliance with code.