



AGENDA

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION REGULAR MEETING – 6:30 P.M. CITY COUNCIL CHAMBERS February 16, 2023

Angela McDonald, Chair
Brian Harkins, Vice Chair
Brendan Riley
Tanya Hall
Ann Adams

www.cityofvallejo.net

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom. City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.

IMPORTANT NOTICE

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice for an item not listed on the AGENDA, no specific answers or responses should be expected at this meeting per State law.

Pursuant to Government Code Section 54954.3 of the Brown Act, members of the public shall be afforded the opportunity to speak on any agenda item of interest to them after being recognized by the presiding officer. Members of the public wishing to be so recognized are requested to submit a completed speaker card to the Secretary of the Architectural Heritage and Landmarks Commission prior to the consideration of the item or raise their hand via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>) or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. In person speakers will be recognized first.

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Architectural Heritage and Landmarks Commission will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Architectural Heritage and Landmarks Commission may, within ten days after the rendition of the decision of the Architectural Heritage and Landmarks Commission, by filing a written appeal with the Director of Planning and Development Services. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Architectural Heritage and Landmarks Commission. Such appeal shall not be timely filed unless it is actually received by Director of Planning and Development Services or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Architectural Heritage and Landmarks Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. WRITTEN COMMUNICATIONS
5. REPORT OF THE SECRETARY
6. CITY ATTORNEY REPORT
7. REPORT OF THE CITY COUNCIL LIAISON
8. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION
9. COMMITTEE REPORTS
10. COMMUNITY FORUM

*Any interested members of the public desiring to communicate with the Architectural Heritage and Landmarks Commission for which another opportunity to speak is not provided on the agenda and which is in the jurisdiction of the Architectural Heritage and Landmarks Commission to resolve may do so in person by submitting a completed speaker's card to the Secretary or via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press *9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment. In person speakers will be recognized first. When called upon, each speaker should step to the podium, state his/her name for the record. The conduct of the community forum shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to a maximum of three minutes pursuant to Vallejo Municipal Code Section 2.02.300.*

11. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF MINUTES

B. APPROVAL OF THE AGENDA

12. PUBLIC HEARING

A. PROJECT LOCATION: 1015 Walnut Ave, Mare Island Quarters N
(APN: 0066-050-100)

PROJECT TYPE: Certificate of Appropriateness (COA #22-0011)

PROJECT APPLICANT: Michelle Jones, RIM Architects, 639 Front Street, 2nd Floor
San Francisco, CA 94111

PROJECT DESCRIPTION: The proposed project includes conversion of the 1st floor of Quarters N (former residence and designated historic City landmark) into a space for a market and café/coffee shop.

CEQA Determination: The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 (Class 31 "Historic Resource Restoration /Rehabilitation"). Therefore, no further environmental analysis is required beyond that which is contained herein this staff report.

Staff Recommendation: Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness COA #22-0011 based on the findings and analysis contained herein.

Project Planner: Kristin Pollot, Contract Planner
Margaret Kavanaugh-Lynch, Planning Manager

13. OTHER AGENDA ITEMS

- A. Future Agenda Items.
1. Ministerial Help?
 2. Mills Act Compliance
 3. Sub-Committees
 4. Historic District Notifications

14. ADJOURNMENT

I, Jasmine Thibeaux, Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Architectural Heritage and Landmarks Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m., Thursday February 9, 2023

Jasmine Thibeaux

Dated: February 9, 2023

Executive Secretary



**STAFF REPORT
CITY OF VALLEJO
ARCHITECTURAL HERITAGE
AND LANDMARKS COMMISSION**

I. PROJECT INFORMATION

DATE OF MEETING:	February 16, 2023	Item No: 12.A
PREPARED BY:	Kristin Pollot, Contract Planner	
PROJECT LOCATION:	1015 Walnut Ave, Mare Island Quarters N (APN: 0066-050-100)	
PROJECT NUMBERS:	Certificate of Appropriateness (COA) #22-0011	
REQUIRED APPROVALS:	Certificate of Appropriateness	
PROJECT SUMMARY:	The proposed project includes conversion of the 1st floor of Quarters N (former residence and designated historic City landmark) into a space for a market and small café/coffee shop.	
ENVIRONMENTAL DETERMINATION:	The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 (Class 31 "Historic Resource Restoration /Rehabilitation"). Therefore, no further environmental analysis is required beyond that which is contained herein this staff report.	
RECOMMENDATION:	Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE COA #22-0011 based on the findings and analysis contained herein.	
APPLICANT:	Michelle Jones, RIM Architects 639 Front Street, 2 nd Floor San Francisco, CA 94111	
PROPERTY OWNER:	The Nimitz Group, LLC 1195 Walnut Avenue Vallejo, CA 94592	
GENERAL PLAN DESIGNATION:	Mixed Use District – Mare Island	
ZONING DESIGNATION:	SP-4 (Mare Island Specific Plan)	

II. PROJECT DESCRIPTION

A. Site Location and Context

The project site is located at 1015 Walnut Avenue, which is at the northwest end of the Mare Island Specific Plan (MISP) Historic Core (Reuse Area 4). The site is located on the southwest side of Walnut Avenue with Kansas Street to the northwest, Azuar Drive to the southwest, and 7th Street to the southeast (see Figure 1 below).

The MISP Historic Core comprises 52 acres, and within this area, there are 87 contributing historic resources. The building located at 1015 Walnut Avenue (project site) is also known as Officer's Quarters N, which is a historic City landmark according to the MISP Appendix B.3, *Catalogue of Historic Resources*. Quarters N sits along the row of historic officers' residences, which were originally built in 1900 to replace officers' housing that was destroyed in a 1898 earthquake. The Officer's Row is a specific area within the Historic Core that runs along southwest side of Walnut Avenue and includes twelve Colonial Revival style residences, all of which have common setbacks, mirror image architectural designs and matching front landscape patterns, creating a distinctive look for the historic core.



Figure 1. Vicinity Map

B. Existing Conditions

Officer's Quarters N is a two-and-a-half-story, wood-frame Colonial Revival-style building with a basement and a roughly rectangular plan (see Figure 2 below). The building rests on a brick foundation that is covered with concrete and is capped by a hipped roof with broad overhanging eaves, finished soffits, and composition shingle cladding. Each roof features a

molded wood cornice with ornamental dentils. Dormers with hipped roofs are centered over the front (northeast) and side (southeast and northwest) facades. Exterior cladding consists of painted, horizontal, flush wood siding. Typical windows have double-hung wood sashes with ogee lugs, and rectangular or pedimented hood molding. The building is currently vacant, but it has been well maintained over the years (see interior pictures provided in the Project Impact Analysis report attached).



Figure 2. Officer's Quarters N (primary facade)

C. Project Description

The proposed project includes conversion of the 1st floor of Quarters N (former officer's residence and historic landmark resource) into a space for a market and small café/coffee shop, with associated exterior site access improvements.

Specific exterior building and site modifications proposed include the following components:

- Addition of a new American with Disabilities (ADA) compliant parking area within the existing parking lot at the rear of the building.
- Installation of a new five-foot-wide re-graded concrete path (where a three-foot wide path currently exists) from the rear building entrance to the new rear ADA-accessible parking area to provide an accessible path of travel.
- Construction of a new deck over the existing historic steps and installation of an ADA-compliant lift located on the side elevation of the building, towards the rear. The deck is proposed to be a wood structure, with wood flooring, handrails, and a wood stud support wall and trim surrounding the base to align with the existing building foundation

wall. The existing wood screen door at the back southeast building entry is proposed for removal and replacement with a new lockable door of a similar style and appearance.

- Addition of an ADA-accessible landing and ramp from the front entrance door to the front porch, which would be utilized for informal outside seating.

No changes are proposed to the front of the building.

Interior modifications proposed are generally intended to accommodate the installation of the coffee bar within the foyer, first floor restroom modifications for ADA compliance, and updates to the existing non-historic kitchen space. The first-floor area totals 2,270 square feet. No changes or occupancy of other building levels is proposed at this time.

Specific interior site modifications proposed include the following components:

Coffee Bar/Foyer Area:

- Removal of select areas of existing wood flooring and an existing built-in wood bench in the foyer, and replacement with a continuous vinyl flooring over a new substrate. The floor modifications are proposed to comply with Solano County Health Department code requirements. The original wood flooring and the wood bench components would be numbered and salvaged (components would be stored on-site) for future reinstallation, after the end of the interim café use.
- Installation of new café counters, rod and cable shelving, and pendant light fixtures in front of the fireplace in the foyer. New counters are proposed to be anchored through the new vinyl flooring, into the new substrate. New shelving and pendant light fixtures would be suspended through the plaster ceiling finishes.
- Installation of clear plexiglass around the main staircase at the first floor to allow for protection and visibility of the existing architecture. The plexiglass would be mounted to the new countertop and would include an adhered corner seam to wrap around the existing column.
- Placement of a condiment serving cabinet or display to block off and prevent public access to the upper floors.

Back of House/Kitchen Area:

- Placement of a freestanding “no entry” sign at the rear service stairs to prevent public access.
- Kitchen update (non-historic components) includes removal of existing kitchen cabinets, counters, and appliances that were added in 1975 (after the period of significance) and installation of new cabinets, counters, and freestanding appliances. Remaining historic wood wainscots in the kitchen would be protected in place with fiberglass reinforced plastic (FRP) panels. The existing, non-historic vinyl tile flooring

would be replaced with continuous vinyl flooring with a covered base to meet health code requirements.

- Construction of a new partition wall in the employee room would be added to house the janitor mop sink.
- Interior modifications related to the southeast entrance (providing ADA-accessible entry to the building) would include removal of one existing door and widening of the opening. A layer of plywood would be added over the existing painted wood decking at the entrance to bring it to the level of the interior finish floor, and new accessible grade walk off mats would be installed on top.

Restroom Space:

- Modification of the first-floor restroom to provide upgraded, ADA-compliant facilities includes removal of the existing door (which would be salvaged and stored on-site for potential future reinstallation). The door opening would be widened, and a new wider wood door of a similar design to the existing door would be installed in its place.
- Installation of automatic open/closure buttons along the plaster walls both outside the restroom and inside the restroom.
- Replacement of the existing sink and toilet with new fixtures (the existing sink would be salvaged and stored on site).
- Removal and replacement of windowsills in kind to accommodate the new sink location.
- Addition of a new gypsum board wall at the northwest side of the room to provide a right-angled surface on which to install a grab bar next to the new toilet, necessary head height clearance around a sloped ceiling in this location, and a concealed cavity through which to route an exhaust fan.
- Existing non-historic vinyl tile flooring would be replaced with porcelain tiles, and new wainscots and wallpaper would be installed to finish the space.

D. Required Approvals

Quarter's N is a City Landmark classified as a contributing resource in the National Register of Historic Places (NRHP), listed Mare Island Historic District, and is therefore a historical resource as defined in Section 15064.5(a) of the California Environmental Quality Act (CEQA) Guidelines.

Pursuant to Section 16.614.03 of the Vallejo Municipal Code (VMC), projects within the MISP including, "All new construction, demolition, alteration and relocation of contributing resources, including but not limited to landscaping, signage, and fencing within the Mare Island Historic District, as defined in the Mare Island Specific Plan, shall be subject to the standards, regulations and procedures contained in the Mare Island Specific Plan, and all of its appendices, particularly:

- Appendix B.1 Mare Island Historic District Project Guidelines
- Appendix B.4 Design Guidelines for the Mare Island Historic District”

For the purpose of this report, Staff believes that the following sections list the approval framework:

Appendix B.1, Section 4.4.1, subsections:

- 1(b) Requires a Certificate of Appropriateness for any alterations effecting a contributing resource (including Landmarks and/or Notable Resources);
- 1(c) Construction or alteration within the Project Site of a contributing resource or alteration of site features including, but not limited to, landscaping, fencing, walls, paving and grading;
- 1(d) Interior alterations of a Landmark; and
- Subsection 2(c) requires review and approval by the Architectural Heritage Landmarks Commission (AHLC).

The Design Guidelines for the Mare Island Historic District (Appendix B.4) generally correspond and are consistent with the Secretary of the Interior’s Standards.

III. STAFF ANALYSIS

A. General Plan and Zoning Consistency

The project is consistent with the following General Plan 2040 policy:

Policy NBE-1.10: Historic Resources. *Encourage the protection, rehabilitation, and reuse of historic buildings and structures.*

The project would allow the Nimitz Group to utilize the first floor of the historic officer’s quarters for a new publicly oriented purpose while retaining and rehabilitating the existing historic resource, consistent with the Department of Interior Standards for Historic Rehabilitation (see further discussion below).

The project would also be consistent with the land use program identified in the MISP for Reuse Area 4 (the Historic Core). The Historic Core is intended to serve as a “visitor-oriented mixed-use zone that celebrates Mare Island’s history through reuse of some of its most historic and attractive buildings.” The land use program for this area specifically states that “the historic officer’s quarters along Walnut Avenue may be reused for mixed use, office space, R&D or for residential,” which is consistent with the proposed project. The “mixed-use” designation is further defined in the MISP, Section 3.2.8(c), as including retail stores and eating establishments (such as the proposed café) if under 2,500 square feet, as permitted uses.

B. Analysis of Secretary of the Interior’s Standards

CEQA Guidelines Section 15064.5 states that “a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties (hereinafter referred to as the

“Secretary’s Standards”) ... shall be considered as mitigated to a level of less than a significant impact on the historical resource.” In addition to CEQA, Vallejo Municipal Code (VMC) Section 16.614.08.C requires that the latest version of the Secretary’s Standards be used as guidelines in carrying out COA applications required by the Chapter.

There are three main steps in applying the Secretary’s Standards: (1) select the appropriate treatment type for the project; (2) identify the character-defining features of the existing building; and (3) assess the project’s conformance with the standards for the selected treatment type. These steps are discussed below.

1. Selection of Appropriate Treatment

Before applying the Secretary’s Standards to a project, the project must be analyzed to determine which of four types of treatment (preservation, rehabilitation, restoration, or reconstruction) are most appropriate for the project. The Standards for Rehabilitation have been selected to analyze this project because it involves a change of use, and this treatment method best accommodates such changes. See Section B.3 below for listing of standards with analysis.

2. Identification of Character-Defining Features

The next step in applying the Secretary’s Standards is to “identify the form and detailing of those architectural materials and features that are important in defining the building’s historic character and which must be retained to preserve that character.” As described in the attached Proposed Project Impact Analysis, the character-defining features of Officer’s Quarters N date to the Mare Island Historic District’s period of significance of 1854-1945 and the structure contributes to the district’s historic significance for its role in national defense during wars between the Civil War and World War II, for its preeminence among shipyards on the West Coast, and as an important collection of architectural specimens from many eras. Officer’s Quarters N, with the listed features below, retains a high degree of historic integrity and remains eligible for listing as a City Landmark and a contributor to the Mare Island Historic District. The primary character-defining features of the Officers Quarter N are as follows:

Site

- Hexagonal concrete paving on the entry path and public sidewalks
- Open front lawn
- Rear lawn area with wood accessory buildings
- Setback and siting within Officers’ Row

Exterior

- Three-story height over basement
- Rectangular plan and rectilinear massing
- Hipped roof and dormers clad with shingles
- Broad, finished overhanging eaves
- Full-width front porch and primary entrance, including paired cast iron Ionic columns, turned wood railing, molded cornice, wood floors and ceilings, and concrete steps
- Balconies at the second and third stories

- Painted, horizontal flush wood siding
- Brick foundation
- Colonial Revival details and ornamentation, such as denticulated cornices, scrolled brackets, floral cartouches, and Ionic columns
- Original fenestration pattern, including
 - Double-hung wood sash windows with ogee lugs, wood trim and molded or hooded surrounds
 - Multi-lite wood basement windows
 - Angled bay windows
 - Leaded and colored glass at bay window on second-floor stair landing
- Stained and painted wood doors with integrated glazing
- Secondary entrances with concrete steps
- Brick masonry chimney

Interior (First Floor)

- Stained wood columns and pilasters with Ionic capitals
- Stained wood box beams with decorative dentils
- Stained wood wall paneling, wainscots, picture railing and cornices, and carved floral decorations
- Stained wood floors
- Built-in wood benches, shelves, and cabinets
- Stained wood main staircase with turned railing and square posts
- Main fireplace with arched opening, brick surround and threshold, arched mirrors, and decorative stained wood columns, brackets, and shelf
- Decorative metal wall vents
- Secondary fireplaces with ceramic tile surrounds and hearths, iron covers, and stained wood mantles
- Pocket doors with stained wood veneer cladding
- Painted wood panel doors
- Stained and painted wood window and door trim
- Painted wood plank wainscots
- Smooth painted plaster wall finishes
- Service and basement staircases with wood treads and risers, wood plank wainscots, and plaster wall finishes
- Call bell system
- Built-in wood panel cabinets in kitchen storage rooms and Butler's pantry

3. Conformance with Secretary's Standards

In order to complete the analysis, Staff relies on the expertise of the Proposed Project Impact Analysis prepared by Page & Turnbull. The full report is included in this packet as Attachment 2.

The Standards for Rehabilitation are as follows (see below); staff's abbreviated analysis is provided below (*in italics*) following each standard. Additional analysis may be found in the attached Project Impact Analysis report, starting on page 38.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Analysis: The project proposes to reuse the first floor of the historic residential building for commercial use. The change in use would be limited to the ground floor and rooms on the second and third floor will not be altered. As such, the change in use will require minimal change to the subject building.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Analysis: The proposed project would retain and preserve most of the character-defining features. The removal of historic features and materials would be limited to a small interior section of stained wood flooring and a built-in wood bench in the foyer, both of which are proposed to be salvaged and stored for potential future reinstallation, as well as two interior doors and one exterior screen door as part of ADA-compliance upgrades. The doors proposed for removal are located at a secondary rear entrance and at the first-floor bathroom under the stairs. The doors are not located in primary spaces of the building and are not highly visible or prominent features of the rooms in which they are located. These doors are also proposed to be salvaged and stored for potential future re-use. Replacement new wood doors are proposed to be similar in appearance to the existing historic doors, which would minimize impacts on the visual quality of the building's character-defining interior spaces.

In the rear yard, modifications of existing features are limited to replacing the existing concrete path that leads from the rear of the house to the parking area at the rear of the property with a new re-graded ADA-compliant concrete path. While the exterior yard is considered a contributing historic resource, the existing path is not considered a character-defining feature of the property. The new path would be installed in roughly the same location and using the same material, preserving existing spatial relationships of the surrounding landscape. All other character-defining features, spaces, and spatial relationships would be retained. Thus, the proposed project would retain and preserve the distinctive historic features of the subject building and would not impact its overall historic character.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Analysis: The proposed project would not add conjectural features or elements from other historic properties. The proposed new rear entrance would not create a false sense of historical development. The new rear access deck, lift, and doors installed would provide ADA-compliant access to the building which would be compatible in material and scale with a minimal, contemporary design, not to be confused with other more elaborate and decorative historic features of the building. Likewise, new continuous vinyl flooring and counters in the kitchen, new wallpaper and porcelain tile floors and wainscots in the restroom, and freestanding furniture provided throughout the first floor for the new café use would be easily identifiable as new features and materials.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Analysis: The period of significance of Officer's Quarters N is considered to align with that of the Mare Island Historic District, which spans from 1854 to 1945. No features have been installed since 1945 that have acquired historic significance in their own right.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Analysis: As discussed with Rehabilitation Standard 2 above, most of the distinctive materials, features, finishes, and construction techniques that characterize Officer's Quarters N would be retained and preserved in place. All exterior features of the building would remain as-is, except for one existing screen door at a secondary, rear entrance, which is proposed to be replaced with a new ADA-compliant, lockable wood screen door. The existing concrete stairs at this rear entrance would be preserved in place below the new deck that is proposed to be constructed to provide ADA-compliant access to the building. Likewise, a new ADA-accessible landing and ramp proposed to be added at the front entrance would be installed over the existing deck and threshold to preserve the flooring material below.

The proposed project would not remove or alter any distinctive interior features that convey the building's high-quality craftsmanship, except for a small section of stained wood flooring and a built-in wood bench in the foyer, both of which would be salvaged for potential future reinstallation. To provide ADA-compliant access to the facilities on the first floor, two wood panel doors are proposed for removal, one from the rear southeast entrance and a second from the first-floor bathroom. These doors are not individually notable, are similar to other doors in the building that would be preserved, and are located in discrete locations. Removing two interior doors would not impact the overall appearance and distinctive character that distinguishes the design and craftsmanship of the subject building. All other existing wood panel doors throughout the building, including the main front door and wood veneered pocket doors, would remain in place as-is.

Elsewhere, where new features are being installed, existing historic fabric would be protected in place. Near the restroom entry, new auto open/closure buttons (for ADA accessible entry) would be installed into existing plaster finishes, rather than character-defining wood paneling or trim. In the foyer, plexiglass would be mounted to a newly installed countertop with a seam wrapped around the existing historic column to protect the staircase from damage while allowing for the feature to remain visible. The main staircase would be blocked off with a freestanding counter, while the service stairs would also be blocked off with a freestanding sign to avoid attachments to the historic features or finishes. At the southeast entrance, a layer of plywood and ADA-compliant walk-off mats would be placed over the existing wood flooring to prevent damage to the existing flooring and bring the entrance floor up to the level of the interior finish floor. In the kitchen, FRP panels would be added over existing historic wood wainscots to allow for new casework to be installed without causing permanent damage to this historic feature.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Analysis: Proposed repairs are limited to the replacement of interior window sills in the first-floor bathroom that were previously cut to accommodate a sink. After the existing sink is removed and a new sink is installed in a different location, the modified sills would be replaced in-kind with new wood sills that match the design of the existing, unmodified sills. The proposed project does not involve the replacement of any other deteriorated historic features.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Analysis: Not applicable. The proposed project does not involve any chemical or physical treatments of historic materials.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Analysis: Not applicable. The proposed project does not involve any excavation of previously undisturbed ground.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Analysis: The proposed project involves the construction of a new deck for an ADA-compliant lift at the secondary entrance at the southeast corner of the building. The proposed deck features wood construction and wood picket railings. The material and repeating vertical stiles visually relate to the historic turned wood railings at the front porch and balconies at the exterior facades while their more minimalistic, square detailing reflects a more contemporary style that appropriately differentiates them from the building's historic fabric. The new deck would align with the existing foundation wall and feature trim to match trim on the historic building, minimizing any visual impacts of the new feature. The new deck would also be constructed over the existing concrete steps that lead up to the entrance, leaving the stairs intact. The new screen door installed at this rear entrance would be lockable, with an in-swinging configuration to allow room for the lift. It would have a similar design to the existing screen door but would include an integrated glazing, rather than an open screen to provide a more secure entrance. These details would distinguish the screen door from historic doors. The new door at the bathroom would be made of wood and have a similar design to the existing historic door but would be slightly larger in width, subtly differentiating it from the historic doors.

In the foyer, new light fixtures and shelving suspended over the café counter would also feature an understated, contemporary design and would be suspended from the non-character-defining plaster ceiling finishes. New counters are proposed in front of the fireplace in the foyer. To avoid damaging existing historic fabric in this location, the historic wood flooring and a built-in wood bench are proposed to be removed and salvaged for future reinstallation. A new floor substrate and continuous vinyl flooring that meets Solano County Health Department requirements, and clearly distinct from the surrounding historic wood floor finishes, would be installed in its place. The new café counters would be anchored to these new finishes to avoid damage to character-defining features. Plexiglass and a freestanding counter added around the main staircase would also be clearly identifiable as modern modifications while continuing to provide views of the historic feature and design of the space.

New construction and alterations in the kitchen would not impact any historic materials or features. As described in the discussion for Standard 5 above, FRP panels would be added over the historic wood wainscots to protect them from impacts resulting from the installation of new casework. Existing vinyl tile flooring to be replaced is a recent alteration and is not historic. New continuous vinyl flooring would be clearly identifiable as a modern alteration but consistent with the utilitarian nature of the space. The new partition wall added to the employee room for a janitor mop sink would not require the modification or removal of any historic features in the room, nor would it impact any important historic spatial relationships.

At the first-floor bathroom, a new gypsum board wall would be constructed to provide a right angle on which to install a new ADA-compliant grab bar, navigate around a sloped ceiling in the space, and provide a concealed cavity through which to route an exhaust fan. The wall would have a compatible design and be finished to look similar to existing plaster walls. Other new finishes and features in the restroom, including porcelain tile floors and wainscots, wallpaper, and new fixtures would be contemporary in design and easily distinguishable from historic features.

Lastly, site modifications to the exterior would not destroy historic materials, features and spatial relationships that characterize the property. The existing rear concrete path to be replaced is not considered a character-defining feature. The new path would also be made of concrete, consistent with paths throughout Officer's Row, and would be installed in the same location, but would be wider and made of newly poured concrete, differentiating it from older, existing paths at the subject property and throughout the surrounding cultural landscape while retaining spatial relationships and the overall quality of the landscape design.

Overall, new elements proposed to be constructed as part of the project are designed to be compatible in appearance with the historic design of the building, while also clearly identifiable as modern alterations, and installed in such a way to eliminate or minimize damage to existing historic fabric.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis: All of the major proposed alterations are designed to be reversible so that the subject building can be returned to its existing appearance in the future, if desired. The ADA-compliant entrances would be constructed over existing stairs and flooring, so that if they are removed in the future, these entrances can be reinstated to their existing appearances. Although two interior door openings would be widened and the existing doors removed, the existing doors would be salvaged and could be reinstalled in the future if needed (if reinstalled on-site, door openings could be re-narrowed by removing trim, extending wall back to original width, and then reinstalling original trim). Similarly, wood flooring and a built-in wood bench that would be removed in the foyer would be salvaged for potential future reinstallation as well. Plaster ceiling and wall finishes where new light fixtures and ADA-compliant auto open/closure buttons are installed can be patched and repainted, and the new wall in the bathroom could be removed to return these areas to their existing appearance. Overall, if the proposed alterations are removed or reversed, the essential form and integrity of the subject building would be unimpaired.

C. Mare Island Historic District Design Guidelines

The proposed project is in compliance with the Mare Island Specific Plan, including all of the relevant guidelines contained in the Urban Design Guidelines (MISP Section 4.10.7), the Mare Island Historic District Project Guidelines (MISP, Appendix B.1) and the Design Guidelines for the Mare Island Historic District (MISP, Appendix B.4).

As described in the discussion for Secretary Standard 9 above, the proposed new ADA-compatible access deck complements the architecture of the subject building, in compliance with Urban Design Guideline xiii, specific to the Historic Core area.

As described above, the project meets the requirements for a certificate of appropriateness, and therefore complies with the Mare Island Historic District Project Guidelines.

The Design Guidelines for the Mare Island Historic District generally correspond and are consistent with the Secretary of the Interior's Standards. Therefore, as the project meets all ten of the Standards for Rehabilitation, it is also in compliance with the Design Guidelines for the Mare Island Historic District. The project preserves and retains the majority of the building's character-defining features, including landscape features and distinctive stylistic features or examples of skilled craftsmanship. Modifications to windows are limited to the repair of damaged interior window sills. Although three existing doors would be replaced, the vast majority of original doors would remain unchanged, and the proposed door modifications fall within the parameters of the design guidelines. The new doors are proposed to be similar to the design of the original doors and would be located in discrete locations where they do not substantially alter the character of a significant building wall. Although the existing concrete stairs at the southeast corner of the building would be covered by the new ADA compliant lift deck, this alteration is located at a secondary location, where it is not highly visible from the street and does not hinder one's ability to interpret the significance of the original building. Furthermore, the stairs would remain intact and in place and could be restored to their current function in the future if desired.

Overall, the proposed alterations are designed to be compatible with the historic design and character of Officer's Quarters N, to be reversible, and to avoid permanent damage or removal of existing historic features and materials. As such, the proposed project appears to meet the spirit and intent of the Design Guidelines for the Mare Island Historic District.

IV. FINDINGS FOR APPROVAL

VMC Section 16.614.09(E) requires the AHLC to make the following finding prior to approving the COA:

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the historic district or landmark.

FACTS IN SUPPORT: The proposed project includes a change of use for the first floor of the designated city landmark, and as such the proposed modifications have been reviewed against the Secretary's Standards for Rehabilitation. With respect to the alteration of a designated city landmark, staff believes the proposed work complies with all ten Standards for Rehabilitation, and as such, the historic building would continue to be able to express design, features, and historic context that make it significant as a City of Vallejo Landmark and contributor to the Mare Island Historic District. The proposed work would not adversely affect the character of special historical, cultural, architectural or aesthetic interest or value of the landmark and its site, viewed both as to the structure and as to the setting.

2. For projects located in a historic district, the proposed project is consistent with any conservation plan or specific plan adopted for the historic district.

FACTS IN SUPPORT: The proposed project is consistent with the land use program identified in the MISP for Reuse Area 4 (the Historic Core), which specifically states that "the historic officer's quarters along Walnut Avenue may be reused for mixed use, office space, R&D or for residential." The proposed project also complies with the MISP Urban Design Guidelines (MISP Section 4.10.7), specifically Guideline xiii, in that the proposed new ADA-compatible access deck would complement the architecture of the subject building, while appropriately differentiating the deck from the building's existing historic fabric.

The MISP Historic Project Guidelines (Appendix B.1), Section 4.5, require COAs be reviewed for consistency with Historic Project Guidelines, including the Secretary of the Interior's Standards, and the Design Guidelines for the Historic District (Appendix B.4). The Design Guidelines for the Mare Island Historic District (Appendix B.4) generally correspond and are consistent with the Secretary of the Interior's Standards. As the project meets all ten of the Secretary's Standards for Rehabilitation, it would therefore also be in compliance with the Design Guidelines for the Mare Island Historic District.

3. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable:

- a. It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost.
- b. The retention of the structure constitutes a hazard to public safety.
- c. The structure is a deterrent to a major improvement program which substantially benefits the City.
- d. Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.

FACTS IN SUPPORT: This finding is not applicable, as the project does not involve a demolition.

V. ENVIRONMENTAL REVIEW

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). The project rehabilitates a historic resource, consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no further environmental review is required.

VI. NOTICING AND PUBLIC COMMENTS

The Planning Division provided the following notifications in accordance with Vallejo Municipal Code Section 16.602.08. Notification included:

- A 14-day public notice was published in the Times Herald newspaper.
- A 14-day public notices were mailed to every property owner and neighborhood group within 500 feet of the project site through the United States Postal Service.
- The applicant and members of the AHLC were sent the notice via email.
- A 14-day public notice was also posted on site.

Staff has not received any communications in regard to the application as of writing this staff report.

VII. CONCLUSION / STAFF RECOMMENDATION

Staff recommends that the Planning Commission adopt a Resolution to **APPROVE** COA #22-0011 based on the analysis contained in this staff report and the findings provided in the attached Resolution and subject to the Conditions of Approval.

VIII. EXPIRATION

Pursuant to VMC Section 16.602.12.A.2, approval of this COA shall automatically expire 24 months after its approval unless authorized construction has commenced prior to the expiration date (February 16, 2025, if approved at this meeting).

IX. APPEAL PROCEDURE

Pursuant to VMC Section 16.602.14, the applicant or any party aggrieved by a determination of the Commission may appeal the action to the City Council. Such appeal must be filed in writing with the Planning Division along with a fee within ten (10) calendar days after the action by the Commission. Such appeal shall not be timely filed unless it is received by the Planning Division no later than the close of business on the tenth day following the decision of the Commission. The City Council may affirm, reverse or modify any decision of the Commission that is appealed. The City Council may summarily reject any appeal upon determination that the appellant is not adversely affected by a decision under appeal.

Pursuant to VMC Section 16.602.14.E, a member of the City Council may also call the decision of the Commission for review within the appeal period. The call for review shall be processed in the same manner as an appeal by any other person. Such action shall stay all proceedings in the same manner as the filing of an appeal. Such action shall not require any statement of reasons and shall not represent opposition to or support of an application or appeal.

X. ATTACHMENTS

1. Proposed Resolution, with Exhibit A – Conditions of Approval
2. Officers Quarters N Mare Island, Proposed Project Impact Analysis. Page & Turnbull, December 21, 2022
3. Project Plans, dated December 16, 2022

**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #23-xx

**A RESOLUTION APPROVING CERTIFICATE OF APPROPRIATENESS #22-0011 TO
CONVERT THE 1ST FLOOR OF QUARTERS N INTO A SMALL MARKET AND CAFÉ,
LOCATED IN MARE ISLAND SPECIFIC PLAN REUSE AREA 4.**

1015 WALNUT AVENUE, APN: 0066-050-100

WHEREAS, on December 21, 2022, Michelle Jones of RIM Architects, on behalf of the Nimitz Group, LLC, filed an application for a Certificate of Appropriateness (COA) #22-0011 ("application") seeking approval to convert the first floor of Quarters N (former officer's residence and designated historic City landmark) into a space for a market and small café/coffee shop at 1015 Walnut Avenue (APN: 0066-050-100), located in the Mare Island Specific Plan (MISP) area; and

WHEREAS, on February 16, 2023, the City of Vallejo Architectural Heritage and Landmarks Commission ("Commission"), after giving all public notices required by State law and the Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, based on the record of proceedings, the Commission makes the following findings:

I. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project consists of rehabilitating a historic resource consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

II. FINDINGS RELATING TO THE APPROVAL OF THE CERTIFICATE OF APPROPRIATENESS PERMIT (VMC Section 16.614.09.E)

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

FACTS IN SUPPORT: The proposed project includes a change of use for the first floor of the designated city landmark, and as such the proposed modifications have been reviewed against the Secretary's Standards for Rehabilitation. With respect to the alteration of a designated city landmark, the proposed work complies with all ten Standards for Rehabilitation, and as such, the historic building shall continue to be able to express design, features, and historic context that makes it significant as a City of Vallejo Landmark and contributor to the Mare Island Historic District. The proposed work shall not adversely affect the character of special historical, cultural, architectural or aesthetic interest or value of the landmark and its site, viewed both as to the structure and as to the setting.

This finding is based on the analysis of the project's conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Section III.B), found in the AHLC Staff Report dated February 16, 2023.

2. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.

FACTS IN SUPPORT: The proposed project is consistent with the land use program identified in the MISP for Reuse Area 4 (the Historic Core), which specifically states that "the historic officer's quarters along Walnut Avenue may be reused for mixed use, office space, R&D or for residential." The proposed project also complies with the MISP Urban Design Guidelines (MISP Section 4.10.7), specifically Guideline xiii, in that the proposed new ADA-compatible access deck will complement the architecture of the subject building, while appropriately differentiating the deck from the building's existing historic fabric.

The MISP Historic Project Guidelines (Appendix B.1), Section 4.5, require COAs be reviewed for consistency with Historic Project Guidelines, including the Secretary of the Interior's Standards, and the Design Guidelines for the Historic District (Appendix B.4). The Design Guidelines for the Mare Island Historic District (Appendix B.4) generally correspond and are consistent with the Secretary of the Interior's Standards. As the project meets all ten of the Secretary's Standards for Rehabilitation, it is therefore also in compliance with the Design Guidelines for the Mare Island Historic District. This finding is based on the analysis of the project's conformance with the Mare Island Historic District Design Guidelines (Section III.C), found in the AHLC Staff Report dated February 16, 2023.

3. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) it is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost; (b) the retention of the structure constitutes a hazard to public safety; (c) the structure is a deterrent to a major improvement program which substantially benefits the City; and/or (4) retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.

FACTS IN SUPPORT: The project does not involve demolition.

III. RESOLUTION APPROVING THE PROJECT AT 1015 WALNUT AVENUE:

NOW, THEREFORE, LET IT BE RESOLVED that the Commission hereby approves COA #22-0011 based on the analysis contained in the staff report dated February 16, 2023, and the findings contained herein and subject to the Conditions of Approval attached hereto as "Exhibit A."

VII. VOTE

PASSED AND ADOPTED at a regular meeting of the Architectural Heritage and Landmarks Commission of the City of Vallejo, State of California, on the 16th day of February, 2023, by the following vote to-wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

ANGELA MCDONALD, CHAIRPERSON
City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

MARGARET KAVANAUGH-LYNCH, SECRETARY
City of Vallejo Architectural Heritage and Landmarks Commission

CITY OF VALLEJO

CERTIFICATE OF APPROPRIATENESS
1015 WALNUT STREET
APN: 0066-050-100

CONDITIONS OF APPROVAL

PERMIT DESCRIPTION:

Conversion of the 1st floor of Quarters N (former officer's residence and historic City landmark) into a space for a market and small café/coffee shop less than 2,500 square feet in total size. Exterior modifications include the addition of a new deck at the rear entrance (to be placed over the existing concrete stoop), with ADA-compliant lift and ramps as-needed, a replacement rear entry door with similar appearance, and a new ADA compliant parking stall at the rear with a new re-graded 5-foot-wide concrete path to provide a direct accessible path of travel. Interior modifications generally include installation of a coffee bar within the foyer (including new counters, shelving, and installation of a floor drain), first floor restroom modifications for ADA compliance, and updates to the existing non-historic kitchen space.

A. Planning Division

Margaret Kavanaugh-Lynch | Margaret.kavanaugh-lynch@cityofvallejo.net | (707) 648-8604

1. The project shall proceed only in accordance with the description provided above, and as may be further detailed in the "Officer's Quarters N Mare Island, Proposed Project Impact Analysis," by Page & Turnbull, dated December 21, 2022, except as may be modified by the conditions contained herein and approved by the Architectural Heritage and Landmarks Commission.
2. The Development Review Permit shall automatically expire twenty-four (24) months from the date of approval on **February 16, 2025**, unless a valid building permit has been issued and authorized construction has commenced.
3. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

4. Prior to building permit issuance, the applicant shall submit a numbered list to the Planning Division with a written response on how each condition of project approval contained in this report will be satisfied. The list shall be submitted to the project planner who will coordinate development of the project. The approved Conditions of Approval shall be included by applicant in the permit set after the cover sheet with each condition listed, including how the applicant will address each condition in writing.
5. Applicant shall obtain an inspection from the Planning Division prior to occupancy/final building inspection. All inspections require a minimum one business day notice. Occupancy permits shall not be granted until all construction and landscaping are completed and finalized in accordance with the approved plans and required conditions of approval or a bond has been posted to cover all costs of the unfinished work as agreed to by the Planning Manager.
6. No exterior signage is approved with this application. Prior to the installation of any new signage, applicant shall obtain necessary sign permit approval from the Planning Division, as required by the Vallejo Municipal Code (VMC) and the Mare Island Specific Plan (specifically Appendix C, Sign Program). All signs shall comply with the VMC and the Secretary of the Interior's Standards for the Treatment of Historic Properties.
7. Historic building components that are removed (including wood plank flooring and bench in the foyer, the rear exterior screen door, the restroom door, and the restroom sink fixture) shall be salvaged and stored on-site for potential re-use/reinstallation at a later date.

B. Building Division

Steve Arnold | Steve.Arnold@cityofvallejo.net | (707) 648-4387

1. Applicant shall submit plans and permits required for building, mechanical, plumbing and electrical work per California Code of Regulations, Title 24 and applicable City Ordinance in effect at the time of completed Building Permit application date and required shall be fees paid at time of application.
2. Applicant shall ensure plans comply with accessibility requirements as per CBC 11B and 2010 ADA.

C. Vallejo Police Department

Drew Ramsay | Drew.Ramsay@cityofvallejo.net | (707) 648-5422

1. If able to maintain consistency with the Secretary of the Interior's Standards, applicant shall install a video surveillance system at the site to help deter criminal activity in and around the new business. Final design, location and installation method, shall be subject to review and approval by the Planning Manager, prior to issuance of a building permit.

D. Water Division

Kent Carothers | Kent.Carothers@cityofvallejo.net | (707) 648-4309

1. Applicant shall apply and pay for a Fire Flow Test with the Water Division in order to determine operation of sprinkler system and final service size.

2. In conjunction with the building permit submittal, applicant shall provide water meter and service sizing calculations per most recent California Plumbing Code, including a water fixture count table.
3. As of January 1, 2018, all units in multi-family, commercial, or combination thereof, buildings shall be individually metered (if existing plumbing allows or is re-configured) by the City. Additional meters shall be provided at the property owner/applicant's expense; or, master metered by the City, and sub-metered by the property owner, with approved/certified meters (per California Senate Bill 7).
4. Prior to the issuance of a building permit, the applicant shall verify the material of the existing water service lateral and provide a letter certifying that it is not lead. If the lateral to the building is lead, then it will need to be replaced.
5. WATER SYSTEM INSTALLATION. Prior to occupancy or final building inspection, water system improvements shall be installed as required. Backflow device/s where required shall be installed in areas hidden from public view and/or shall be mitigated by landscaping.

Standard Conditions of Approval – Water Department

6. CODE REQUIREMENTS. All code requirements as stated in Title 11 of the VMC and Vallejo Standard Specifications and Standard Drawings adopted in 2011 (VSSSD) that apply to this project shall be conformed to. The project is being made aware of codes that require extra attention by the following items:
 - a) WATER SYSTEM PLANS (VSSSD Section 4.1). All water system improvements shall be consistent with the latest Vallejo Water System Master Plan, prepared by Kennedy/Jenks Engineers. Prior to Improvement plan approval and building permit issuance, water system improvement plans shall be submitted to the Water Department for review and approval and shall contain at least:
 - i. Location and size of fire sprinkler service connection(s).
 - ii. Location and size of existing and proposed domestic service connection(s).
 - iii. Location and size of irrigation service connection(s), if any.
 - iv. Location of fire hydrants.
 - v. Location of structures with respect to existing public water system improvements, such as mains, meters, etc.
 - vi. Location and size of any new water mains.
 - vii. Location and size of backflow prevention devices (required on water service connections to irrigation systems, certain commercial water users, and to commercial fire sprinkler systems, per City Ordinance 922 N.C. (2d).
 - b) FIRE FLOW REQUIREMENTS (VSSSD Section 4.1). Fire flow requirements of the Fire department shall be complied with. Fire flow at no less than 25 psig residual pressure shall be available within 1,000 feet of any structure. One half of the fire flow shall be available within 300 feet of any structure.
 - i. For single family residential units, the fire flow is 1,500 gpm.

- ii. For other developments, see the Vallejo Water System Master Plan, 2015, prepared by Kennedy Jenks.
- c) FIRE PROTECTION SYSTEMS (VSSSD Section 4.1). Fire hydrant placement and fire sprinkler system installation, if any, shall meet the requirements of the Fire Department. For combined water and fire services, the requirements of both the Fire Department and the Vallejo Water System Master Plan, with latest revisions, shall be satisfied.
- d) WATER EASEMENTS (VSSSD Section 4.1). Easements shall be granted for all water system improvements installed outside the public right-of-way in the City's Standard Form for Grant of Water Line Easement with the following widths:
 - i. 15 ft. wide (minimum) for water mains.
 - ii. 10 ft. wide (minimum) for fire hydrants, water meters, backflow preventers, double detector check valves, etc.
 - iii. Other facilities will be reviewed by the Water Department.
- e) WATER METERS (VMC 11.04.110 and 11.16.090). Each parcel shall be metered separately and shall have a separate fire sprinkler service connection.
- f) WATER SERVICE BONDS AND FEES (VMC Sections 11.16, 11.18, 11.20 and 11.24). Water service shall be provided by the City of Vallejo following completion of the required water system improvements and payment of applicable fees. Performance and payment bonds shall be provided to the City of Vallejo prior to construction of water system improvements. Fees include those fees specified in the Vallejo Municipal Code including connection and elevated storage fees, etc., and fees for tapping, tie-ins, inspections, disinfection, construction water, and other services provided by the City with respect to the water system improvements. The Water Department may be contacted for a description of applicable fees. These fees have to be paid prior to issuance of the building permit.

E. Flood & Wastewater

Bill Ash | bash@vallejowastewater.org | (707) 558-3409

1. Sanitary Sewer Video Inspection. The Applicant must provide a drawing that shows the sanitary sewer system for the building (location and size of piping as it leaves the building) and from the building to the sanitary sewer main. Applicant is required to video inspect the sanitary sewer main from 1015 Walnut Avenue to the 27-inch sewer main in Railroad Avenue. Applicant must notify VFWD's inspector George Guorgui by phone at (707) 652-7811 at least 24 hours prior to the inspection and the video inspection recording must be provided to VFWD for review.
2. Storm Drain Video Inspection. The Applicant must provide a drawing that shows the drainage for the building, from the building to the storm drain system, and complete a video inspection of the storm drain system from the building to the outfall(s) to the Mare Island Strait. The Applicant must notify VFWD's inspector George Guorgui by phone at (707) 652-7811, at least 24 hours prior to the inspection, and the video inspection recording must be provided to VFWD for review.

3. Sewer Connection Fee. The estimated sewer connection fee for the property based on 8,690 square feet of commercial space is \$29,676.35 (\$3,415/1000 sq. ft).
4. Storm Drain Connection Fee. VFWD staff has determined that no additional impervious area will be added; therefore, no additional connection fee is required for storm drainage.
5. Additional Fees. Applicant must also pay design review fees and inspection fees, which fees will be determined based on the video inspections described above and associated work determined by VFWD to be required as a result of those inspections. There may be additional requirements to repair the existing sanitary sewer and storm drain system based on the video inspection and these issues will be coordinated with the Mare Island Company.

OFFICER'S QUARTERS N MARE ISLAND PROPOSED PROJECT IMPACT ANALYSIS

VALLEJO, CALIFORNIA
[22009]

PREPARED FOR MARE ISLAND COMPANY
December 21, 2022

FINAL



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I. INTRODUCTION

Mare Island Co. is submitting a proposal to adaptively reuse Officer's Quarters N, located at 1015 Walnut Avenue on Mare Island in Vallejo, for interim use as a café and marketplace. This report will analyze the proposed project for potential impacts pursuant to the California Environmental Quality Act (CEQA) and local project review requirements. Officer's Quarters N contributes to the Mare Island Historic District, and was classified in the Mare Island Specific Plan (Specific Plan; adopted in 1999, amended through August 2013) as a "Class 1 Historic Resource" to be retained. The building is located in Specific Plan Reuse Area 4, on the southwest side of Walnut Avenue between Kansas Street to the northwest, Azuar Drive (formerly Cedar Avenue) to the southwest, and 7th Street to the southeast.¹ Officer's Quarters N is a two-and-a-half-story wood frame residential building over a basement. The building is one of 12 Colonial Revival style Officers' Quarter buildings that were built along what is known as Officers' Row along Walnut Avenue in 1900.



Figure 1. Bird's-eye aerial view of subject building, Officer's Quarters N and associated landscape, indicated by dashed yellow outline. Source: Google Maps, 2022. Edited by Page & Turnbull.

¹ City of Vallejo, "Mare Island Specific Plan, Appendix B.1: Historic Project Guidelines" (Amended 2007), 41-42.

The Mare Island Historic District was listed in the National Register of Historic Places in 1997 and has a period of significance from 1854 to 1945. Four smaller areas within the historic district were previously collectively listed as a National Historic Landmark in 1975. The historic district was also designated a California State Historical Landmark, listed in the California Register of Historical Resources, and locally designated as a City of Vallejo Historic District with 42 individual City Landmarks, including Officer's Quarters N. Therefore, Officer's Quarters N is a historical resource for the purposes of CEQA.

Methodology

This report provides a summary of the historic status of the subject property, including its historic significance and character-defining features. Based on the historic resource status of Officer's Quarters N, the proposed project is evaluated using the *Secretary of the Interior's Standards for Rehabilitation* (the Standards) and the Mare Island Historic District Design Guidelines. The report provides an analysis of potential project-specific impacts to the individual historic resource pursuant to CEQA as well as cumulative impacts to the Mare Island Historic District.

To prepare this report, Page & Turnbull consulted the following documents:

- "Quarters N, Mare Island, AHLC Drawing Package" (dated December 16, 2022) prepared by RIM Architects
- Historic architectural drawings of the Officers' Quarters buildings (dated 1916-1976)
- "Mare Island Cultural Landscape Report: Overview" (March 2015) and "Mare Island Cultural Landscape Report: Officers' Row" (March 2014), both prepared by Denise Bradley
- Mare Island Specific Plan (adopted in 1999, amended through August 2013), including:
 - Appendix B.1 Historic Project Guidelines (adopted 2005, amended 2007)
 - Appendix B.3 Catalogue of Historic Resources (2007) prepared by Chattel Architecture, Planning & Preservation, Inc.
 - Appendix B. 4 Mare Island Historic District Design Guidelines (2005), prepared by Winter & Company

Photographs in this report were taken by Page & Turnbull during a site visit on November 2, 2022, unless otherwise noted.

II. BRIEF PROPERTY DESCRIPTION & SITE HISTORY

Property Description

REUSE AREA 4

Officer's Quarters N is located at the northwest end of Reuse Area 4, on the southwest side of Walnut Avenue between Kansas Street to the northwest, Azuar Drive to the southwest, and 7th Street to the southeast. The Historic Project Guidelines describe Reuse Area 4 as follows:

The 52-acre Historic Core is somewhat irregular in shape in order to include specific historic resources. The area is generally bounded by Azuar Drive (formerly Cedar Avenue) and Oak Street to the west, 7th Street and Reuse Area 3B to the north, Mare Island Strait to the east, and Reuse Area 5 (Dry Dock 2, 9th Street, and Walnut Avenue) to the south. At the south edge of the waterfront, the open area including and to the east of Railroad Avenue, which are planned for the public plaza and waterfront promenade end at a fence that separates these areas from the adjacent heavy industrial uses.

The Historic Core includes 87 contributing resources. [...] Distinctive examples of turn of the 20th century Classical Revival residences with common setbacks line Officer's Row on the upper western portion of Reuse Area 4. Manicured lawns encircle the residences, and mature shade trees line the street. The area slopes down to the waterfront through the planned gardens of Farragut Plaza and Alden Park, which now includes World War II additions of bomb shelters. The flatlands along the waterfront feature a collection of unique brick Classical Revival industrial buildings and Dry Dock 1, the first dry dock on the Pacific Ocean. Asphalt paving covers much of the open space between these shop and service buildings.²

OFFICER'S QUARTERS N

Officer's Quarters N is one of 12 similarly designed officers' residences along Walnut Street that make up Officers' Row. With the exception of the Admiral's Residence, the officers' residences have mirror-image designs that alternate between every other residence along the row. Like the other officers' residences, Officer's Quarters N is a two-and-a-half-story, wood-frame Colonial Revival-style building with a basement and a roughly rectangular plan (**Figure 3**). The building rests on a brick foundation that is covered with concrete and is capped by a hipped roof with broad overhanging eaves, finished soffits, and composition shingle cladding. Each roof features a molded wood cornice

² City of Vallejo, Mare Island Specific Plan, Appendix B.1, *Historic Project Guidelines* (Amended 2007), 45-47.

with ornamental dentils. Dormers with hipped roofs are centered over the front (northeast) and side (southeast and northwest) facades. Exterior cladding consists of painted, horizontal, flush wood siding. Typical windows have double-hung wood sashes with ogee lugs, and rectangular or pedimented hood molding.

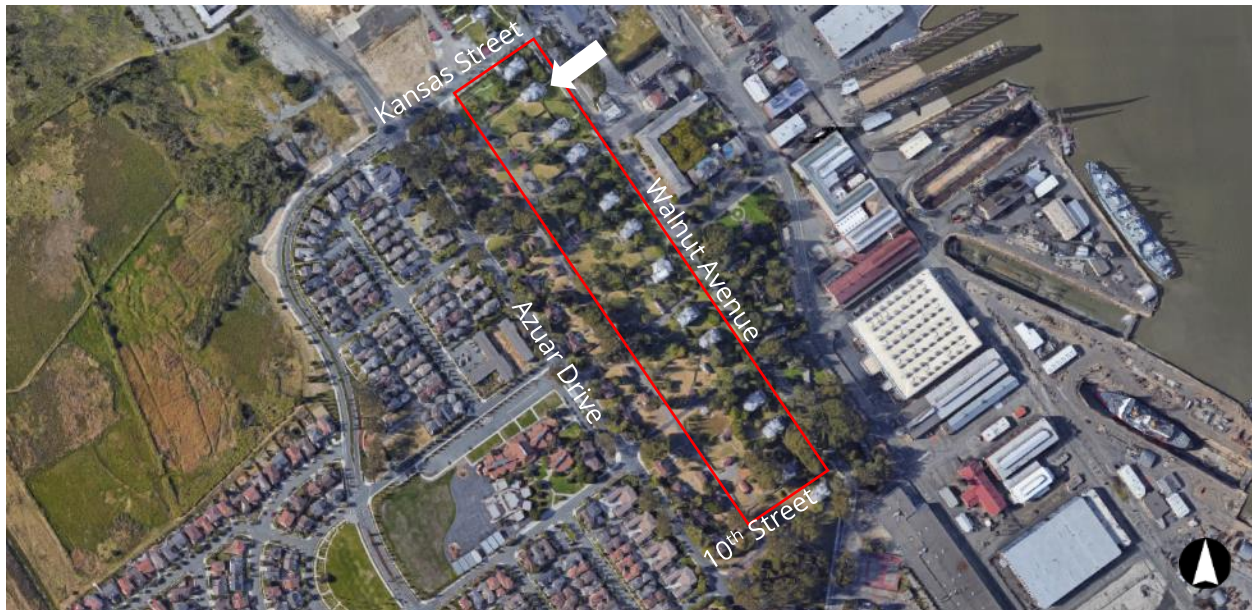


Figure 2. Aerial photograph of Officers' Row (outlined in red). Officer's Quarters N is indicated by a white arrow. Source: Google Maps, 2020. Edited by Page & Turnbull.



Figure 3. Officer's Quarters N, view west. Courtesy of Mare Island Co.

Exterior

Primary (Northeast) Façade

The primary façade faces northeast to front Walnut Street (**Figure 4**). A set of concrete steps leads up to a full-width front porch surrounded by paired cast iron Ionic columns and a turned wood railing (**Figure 5**). The porch has wood floors and ceiling soffits. The front door is located to the left of center and is flanked by two typical windows (Error! Reference source not found.). The front door is a large, stained wood panel door with integrated glazing set behind a wood screen door (**Figure 6**). Additional fenestration consists of one additional typical window to the left (southeast) of the front door and a tripartite group of typical windows on the right (northeast) side of the façade.

A recessed balcony with angled walls and two Ionic columns is located at the center of the second floor. The balcony extends to the front roof edge and is surrounded by a wood railing with turned stiles. Two typical windows flank the balcony. Centered on the roof above, there is a dormer with a hipped roof, tripartite wood windows, and a turned wood railing.



Figure 4. Primary (northeast) façade, view southwest. Courtesy of Mare Island Co.



Figure 5. The front porch, view northwest. Courtesy of Mare Island Co.



Figure 6. The front door, view southwest.

Southeast Façade

The southeast façade steps back at its far left (southeast) end from the main front volume of the building (**Figure 7**). A secondary entrance, consisting of a wood panel door with integrated glazing, is located at the first floor of this recessed portion and is accessed by a set of concrete steps (**Figure 8**). Window openings on the first and second floors of the recessed portion consist of two typical windows at each floor. A dormer with a hipped roof is located on the roof above.

The main volume of the building to the right (northeast) features a two-story, angled bay window with leaded and colored glazing at the second floor. A dormer with a hipped roof and angled balcony with turned wood railing is centered on the roof above the bay window. Walls to the right (northeast) of the bay window feature decorative applied wood ornaments with a floral design at both the first and second floors. Fenestration on either side of the bay window consists of two single typical windows on the first floor and a paired group of typical windows and single typical window on the second floor.



Figure 7. The southeast façade, view northwest. Courtesy of Mare Island Co.



Figure 8. The recessed portion of the southeast façade, view north. Courtesy of Mare Island Co.

Northwest Façade

The east end of the northwest façade contains an angled bay window at the first floor with decorative scrolled brackets and a denticulated cornice below a pair of typical windows (Error! Reference source not found. and **Figure 10**). To the right (southwest), a tripartite group of typical windows is located roughly at the center of the facade below a recessed balcony with two Ionic columns and a turned wood railing. A dormer with a hipped roof is located on the roof directly above the balcony. Fenestration at the west end of the façade consists of three typical windows at both the first and second floors (**Figure 11**). The middle of the three windows on the first floor has a pedimented hood.



Figure 9. The east end of the northwest facade, view south. Courtesy of Mare Island Co.



Figure 10. Scrolled brackets below the bay window, view south. Courtesy of Mare Island Co.



Figure 11. The rear (west) end of the northwest facade, view southeast. Courtesy of Mare Island Co.

Rear (Southwest) Facade

The rear (southwest) façade faces the backyard (**Figure 12**). The far left (northwest) end of the façade contains a multi-lite wood window at the basement level that is currently covered with plywood, one typical window at the first floor, and one smaller typical window at the second floor. To the right (southeast), the middle of the façade projects forward and contains an entrance to the basement that is accessed by a set of concrete steps and features a wood panel door with integrated glazing (Error! Reference source not found.). The steps and door are sheltered by a wood enclosure with a shed roof. To the right (southeast), the projecting middle section cuts away to reveal one typical window and a second set of concrete steps that lead up to rear entrance at the first floor. This entrance also contains a wood panel door with integrated glazing. A pair of typical windows are centered in the projecting volume above the entrance. To the right, the far southeast end of the façade contains one multi-lite wood window at the basement level that is currently covered with plywood and one typical window at the second floor.



Figure 12. The rear (southwest) façade, view northeast. Courtesy of Mare Island Co.

Site

The houses along Officers' Row, including the subject building, are set back a uniform distance from Walnut Street and feature broad front lawns. A walkway with octagonal concrete pavers leads to the main entrances and wraps around one side of each house. The rears of each residence contain long, open lawns and a variety of ancillary buildings and structures, including garages. The rear yard of the subject building slopes up to the southwest and is enclosed by a low chain link fence (**Figure 13**). Along the northwest and southeast sides of the subject property, the chain link fence contains wood slats. The rear yard contains a concrete walkway that extends to an asphalt paved parking lot and a small, wood-frame building with a shed roof, exposed eaves, wood channel rustic siding, and a single window opening with a shed awning that is supported by two wood brackets (**Figure 14**).



Figure 13. The rear yard of the subject property, view southwest.



Figure 14. Building N-H and chain link fence at the rear of the property, view southeast.

Interior

Layout & Circulation

The interior of Officer's Quarters N contains a basement and three upper floors (**Figure 16**). Utilitarian uses are concentrated in the basement, while the main living and sleeping areas are located on the first, second, and third floors above. Two staircases provide access from the first floor to the other floors. The main staircase is located in the front hall off the main entrance and provides access to the main sleeping quarters on the second floor (**Figure 17**). The staircase features high quality finishes, including square stained wood posts and flat railings with delicately turned stiles. The stair treads and risers are covered with modern carpeting. A rear service staircase provides access to the basement, second, and third floors (**Figure 18**). It has a more utilitarian design with painted plaster walls, simple wood handrails, and painted wood wainscoting composed of vertical wood boards with molded wood trim. The wood treads are covered with non-original rubber anti-slip mats.

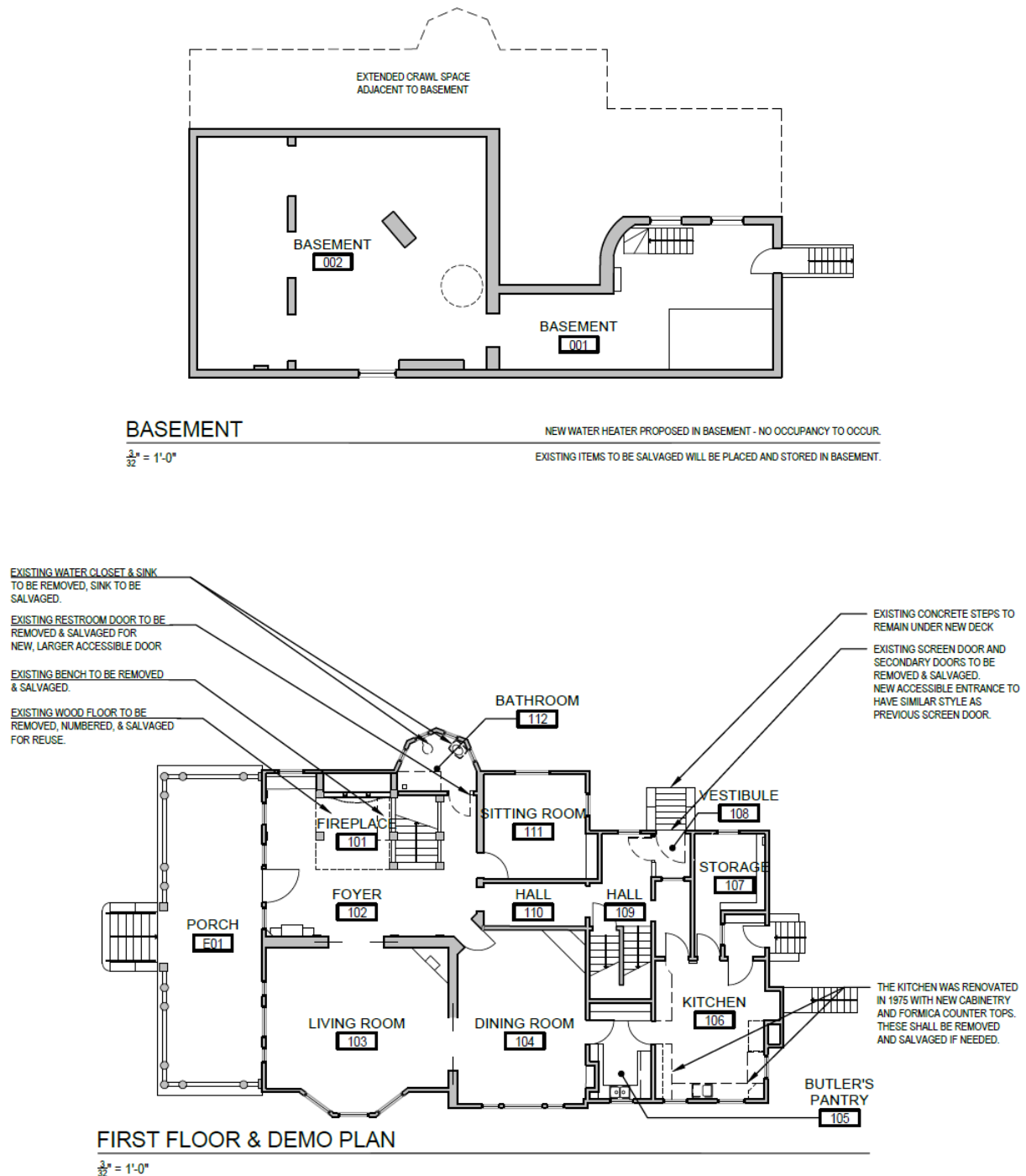
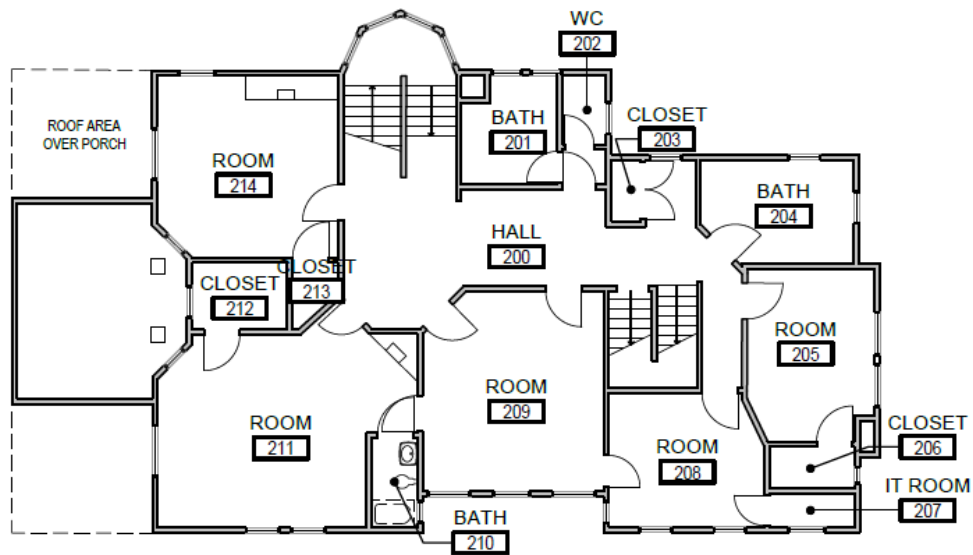


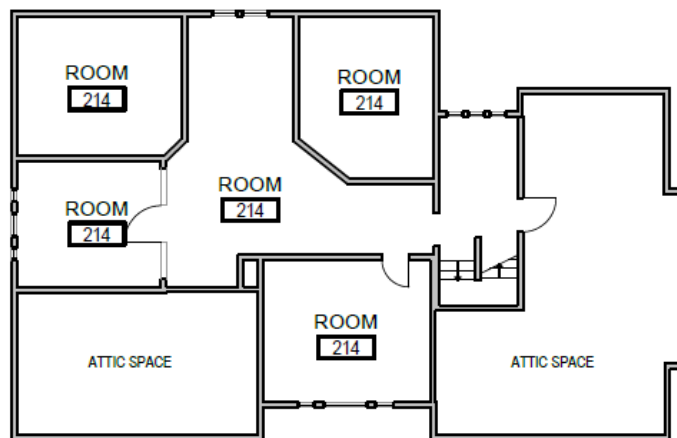
Figure 15. Existing floor plans of Officer's Quarters N. Source: RIM Architects, 2022.



SECOND FLOOR

NO CHANGES OR OCCUPANCY TO OCCUR ON THE SECOND FLOOR.

$\frac{3}{32}'' = 1'-0''$



THIRD FLOOR / ATTIC

NO CHANGES OR OCCUPANCY TO OCCUR ON THIRD FLOOR / ATTIC.

$\frac{3}{32}'' = 1'-0''$

Figure 16. Existing floor plans of Officer's Quarters N. Source: RIM Architects, 2022.



Figure 17. The first-floor landing of the main staircase.



Figure 18. The first-floor landing of the service staircase, with stairs leading up to the second floor (left) and basement (right).

Basement

The basement is accessed by the service staircase that leads down from the rear service hall off the kitchen on the first floor. The basement is divided into roughly two large areas by brick masonry walls. It features brick perimeter and dividing walls, concrete floors, and wood support beams and trusses. The ceilings are unfinished, revealing the wood joists of the floors above. A concrete platform is located at the southwest corner of the basement. Various mechanical, electrical, and plumbing equipment is installed throughout the basement.



Figure 19. View of the south end of the basement.



Figure 20. View of the north end of the basement.

First Floor

The first floor contains the main living and service spaces. The main living spaces—consisting of a foyer, living room, dining room, sitting room, and restroom—are concentrated at the front (northeast) end of the house, while the service spaces—including a rear hall, kitchen, butler's pantry, and storage room—are concentrated at the rear (southwest) end of the house. The main living spaces at the front of the house have high-quality decorative finishes. The foyer has a plaster ceiling with ornamental box beams supported by square Ionic columns (**Figure 21**). The box beams and columns feature stained wood veneer cladding with decorative molding. The walls are covered with stained and carved wood paneling, some of which has decorative, carved floral designs and built-in wood furniture (**Figure 22**). A large fireplace is located adjacent to the main staircase and features a brick masonry hearth, built-in wood bench, and decoratively carved stained wood mantle with scrolled brackets, wood columns, and three arched mirrors (**Figure 23**). Large, stained wood pocket doors separate and provide access between the main rooms of the first floor. The living room has a simpler design than the foyer and features plaster walls and stained wood base, window, ceiling, and trim and picture rails (**Figure 24**). A second fireplace with a carved wood mantle and a ceramic tiled hearth is located at the south corner (**Figure 25**). The dining room has stained wood paneled wainscoting cover two-thirds of the walls; stained wood paneled doors; and stained wood window and door trim, picture railing, and denticulated ceiling molding (**Figure 26**). The room contains two built-in carved, stained wood cabinets. An angled cabinet in the south corner has an arched mirror. The second cabinet in the southwest wall features decorative leaded glass. All of the main living spaces—the foyer, living room, and dining room—have stained wood floors and plaster ceilings. The first-floor restroom is located in the first-floor level of the multi-floor angled bay window (**Figure 27**). It has painted plaster walls and ceilings; painted wood base, window, and door trim; and vinyl tile floors.



Figure 21. The foyer, view southwest.



Figure 22. Wall paneling and built-in furniture in the foyer, looking northwest toward the living room.



Figure 23. The fireplace in the foyer.



Figure 24. The living room, view west.



Figure 25. Fireplace in the living room.



Figure 26. The dining room, view southwest.



Figure 27. The first-floor restroom, view east.

A corridor running down the center of the floor connects the main living spaces to the rear service rooms (**Figure 28**). The service rooms have plaster walls and ceilings and painted wood panel doors (**Figure 29**). Walls typically feature painted wood wainscoting composed of vertical wood boards and a border of molded wood trim. The corridor and rear hall have stained wood floors, while the kitchen, janitor's room, butler's pantry, and storage room have vinyl tile floors. The kitchen was remodeled around 1975 and contains modern built-in cabinets and counters (**Figure 30**). The butler's pantry, janitor's room, and storage room feature built-in wood cabinets (**Figure 31** and **Figure 32**).



Figure 28. The first-floor corridor, view southwest.



Figure 29. The rear hall and rear entrance foyer, view south.



Figure 30. The kitchen, view west.



Figure 31. The storage room, view south.



Figure 32. The butler's pantry, view west.

Second Floor

The main staircase leads up to a mid-stair landing at the second floor with tall leaded glass windows (**Figure 33**). The windows feature a mix of decorative clear and colored glass. The second floor contains the main residential sleeping quarters. The rooms are arranged around a central hall that is accessed by the main staircase at its north end and by the service staircase at its south end (**Figure 34**). The hall and bedrooms on the second floor typically feature stained wood floors; painted plaster walls and ceilings; and painted wood base, window, door, and ceiling trim (**Figure 35** and **Figure 36**). Some rooms contain fireplaces with painted wood mantels. The restrooms have been remodeled and feature contemporary vinyl flooring and modern fixtures and appliances (**Figure 37**).



Figure 33. Second-floor stair landing, view southeast.



Figure 34. Second-floor hall, view southwest.



Figure 35. A typical bedroom.



Figure 36. A typical bedroom.



Figure 37. One of the second-floor restrooms.

Third Floor

The third floor contains additional bedrooms and attic space, located within the rooftop dormers. The bedrooms are arranged around a central hall and have more utilitarian finishes than those on the second floor. The hall and all of the rooms feature painted plaster walls and ceilings, and simple painted wood base, window, and door trim (**Figure 38** and **Figure 39**). The hall and front (northeast) room feature stained wood floors, while the other rooms off the hall feature painted wood floors. Doors are typically wood panel doors, some of which are painted and some of which are stained. Unfinished attic space fills the rest of the



Figure 38. The central hall on the third floor, view northeast.



Figure 39. A typical room on the third floor.

Historic Development of Officers' Row

The subject building, Officer's Quarters N, was constructed as part of a row of residences for naval officers at the Mare Island Shipyards, known as Officers' Row. Officers' Row was one of the earliest areas developed as part of the naval installation on Mare Island. Planning for the installation began in 1852 when Commander John Sloat recommended to President Millard Fillmore that Mare Island should become the location for the United States' first naval installation on the West Coast. The base was formally established by Commander John Farragut two years later in 1854. The same year, William P. S. Sanger created the first plan for the naval base at Mare Island. The Sanger Plan created an orthogonal grid of five north-south streets oriented to the Mare Island Straight shoreline, including Dock Street (later renamed California Avenue), Railroad Avenue, Walnut Avenue, and Cedar Avenue (later renamed Azuar Drive). The streets provided a framework for creating a three-tier system of designating areas for specific uses, based on proximity to the waterfront. Tier 1 was closest to the water and was reserved for industrial uses. Tier 2 included the first administration building and two parks, Alden Park and Irwin Park.³ Tier 3 was set aside for residential uses, including a row of residences for naval officers laid out along the west side of Walnut Avenue on the high ground overlooking the Mare Island Straits.⁴

Construction on Officers' Row began in 1855. Each of the original residences was a three-story brick building designed in the Green Revival Style. The Commandant's Residence was located at the center of the row of residences and was the most elaborate. The officers' residences on either side of the Commandant's Residence to the north and south were duplexes. Housing assignments were organized by military rank, with the highest-ranking officers residing in the buildings closest to the

³ Winter & Company, Mare Island Specific Plan, Appendix B.4, *Mare Island Historic District Design Guidelines*, 2005, 1-3 – 1-4.

⁴ Winter & Company, 1-3 – 1-4; Denise Bradley, "Mare Island Cultural Landscape Report: Officers' Row," March 2014, 3-3.

Commandant's Residence. Construction on the Commandant's Residence was completed by early 1856, when Commander Farragut and his family moved in.

The officers' residences were sited at the east end of individual lots, close to Walnut Avenue. The houses were arranged with a uniform setback, creating an orderly row of houses along Walnut Street. A paved sidewalk with street lights and wood picket fencing ran in front of the houses. Each individual residence had a front yard and a larger rear yard, which residents could use to raise food for themselves and support their livelihoods. Common features included individually arranged and planned gardens, chicken coops, and livestock barns and enclosures, servants' quarters, and outhouses, among other uses.⁵

The original houses along Officers' Row were damaged by an earthquake that struck Mare Island in March 1898 and were torn down shortly after. Twelve new officers' residences were constructed around 1900 on the blocks bounded by Walnut Avenue to the west, Azuar Drive to the east, Kansas Street to the north, and Chapel Park (later, 10th Street) to the south.⁶ The new residences were designed by Mare Island Public Works Officer Richard Hallyday, as part of his work to rebuild the Mare Island Shipyard after the earthquake. The houses were designed in the then-fashionable Colonial Revival style, with some similarities to the Greek Revival type of the houses they replaced. However, they were constructed with brick foundations and redwood framing, rather than brick, to respond to concerns about the safety and durability of unreinforced masonry in future earthquakes. The new residences were arranged in a row and had broad front yards and expansive rear yards, similar to the earlier residences. New sidewalks with hexagonal concrete pavers and a planting strip between the sidewalk and the street were added in front of the residences. A row of street trees and streetlights were installed in the planting strip. Hedges replaced the wood picket fence between the front yards and front sidewalk. Until around World War II, many of the front yards were planted with designed parterres with elaborate, formal arrangements of annual and perennial flowers. The rear yards were enclosed with fencing.

Several changes to the landscaping and site around the Officers' Row residences have taken place since the early 1900s. Concrete curbs, gutters, and ramps were added to the sidewalk along Walnut Avenue at an unknown date after 1940. The rear yards evolved as the need for land to raise one's own food decreased. Most of the outbuildings, gardens, and livestock pens have since been removed. In 1942, the rear yards of the officers' residences were shortened to end at a newly

⁵ Bradley, "Mare Island Cultural Landscape Report: Officers' Row," 3-3.

⁶ According to the 1996 National Register of Historic Places registration form for Mare Island Historic District, prepared by JRP, the residences on Officers' Row were completed in 1900; however, the book *Sidewheelers to Nuclear Power* by Sue Lemmon and E.D. Wichels states that the new residences were completed in 1901, and that Rear Admiral W.H. McCalla moved into the Commandant's Residence in 1903 (Bradley, "Mare Island Cultural Landscape Report: Officers' Row," 3-5).

constructed street, Oak Avenue, so that the Navy could construct a row of ten duplexes on the portions of the lots facing Azuar Drive. Patios were added behind some of the houses, starting in the 1960s. The row of hedges in front of the residences was removed during the 1950s or 1960s. The exteriors of the houses appear to have been relatively unchanged outside of regular maintenance.

Alterations to the interiors of the residences that are documented in original architectural drawings include upgrades to the kitchens in 1975. New cabinets and counters and appliances were installed. Existing window and door trim was retained.⁷ Other alterations observed during the November 2022 site visit include the addition of concrete on over the exterior brick foundation walls; plywood coverings over basement windows; new flooring, plumbing, and light fixtures in the restrooms; mechanical, electrical, and plumbing upgrades; new interior light fixtures; ceiling fans; upholstery and carpets; electrical outlets and fixtures; and wood radiator covers. The exterior of Officer's Quarters N was being repainted at the time of the site visit.

The shipyard at Mare Island closed in 1996.⁸

⁷ Bradley, 3-3 - 3-10.

⁸ Winter & Company, *Mare Island Historic District Design Guidelines*, 1-2.

III. SUMMARY OF HISTORIC SIGNIFICANCE

This report provides a summary of historic significance based on the findings of the existing historic resource documentation. Page & Turnbull did not complete additional new research for this report or an individual historic evaluation of Officer's Quarters N as part of this scope of work. Thus, for the purposes of this report, the historic significance and period of significance of Officer's Quarters N are considered to reflect those identified for the Mare Island Historic District.

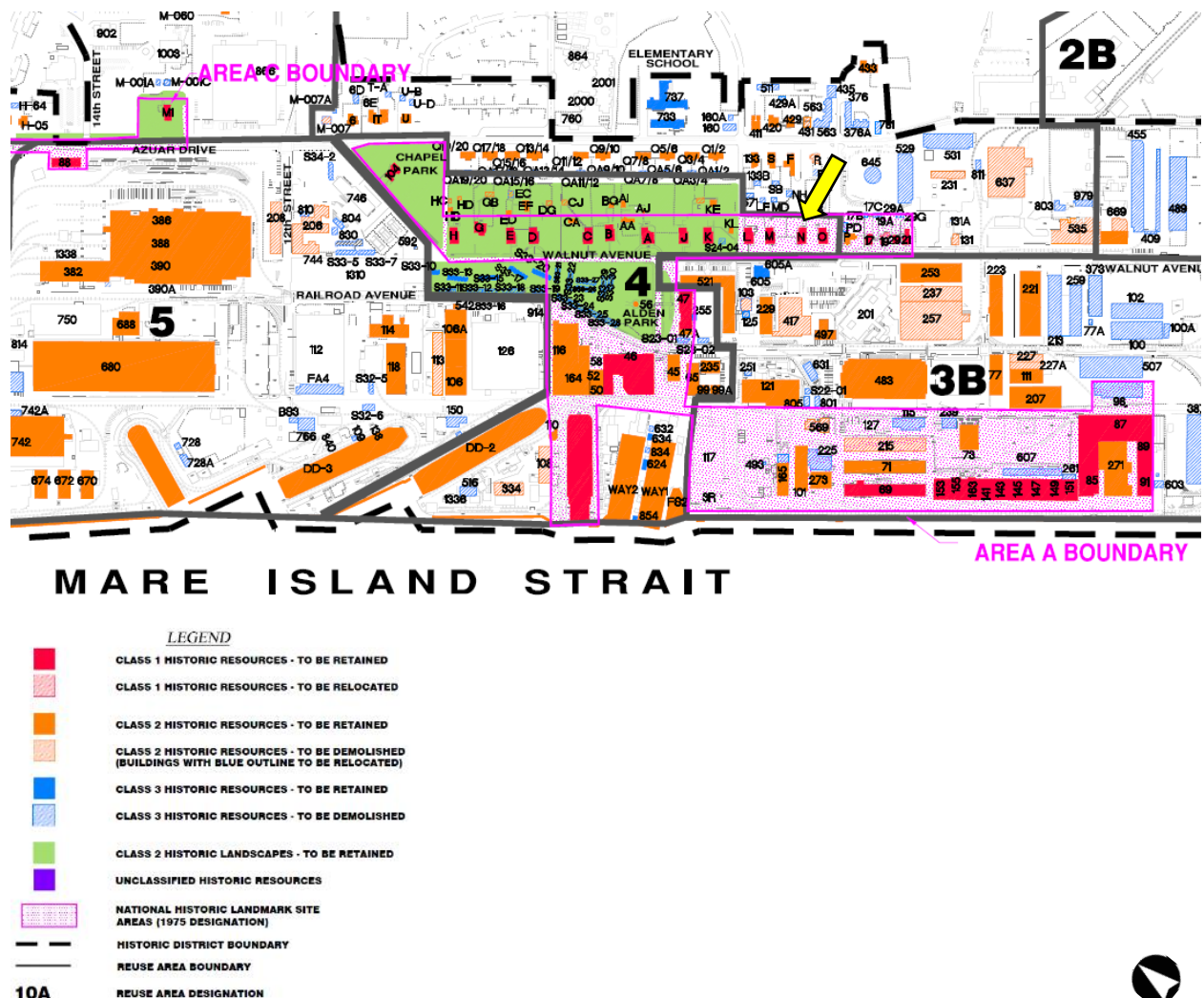


Figure 40. Excerpts from the "Historic Resources: Disposition" map, dated June 29, 2006, showing the layers of historic designations related to Officer's Quarters N (indicated by yellow arrow) and resources in the immediate vicinity. Source: SWA Group, "Historic Resources: Disposition," June 28, 2006.

National Historic Landmark

In 1975, a portion of the Mare Island Naval Shipyard was designated as a National Historic Landmark. As part of the designation, the shipyard was divided into four geographic areas. The Officers' Quarters are part of "Area A," which contains some of the most historically significant buildings and structures on Mare Island, including the main administration buildings, the oldest shops and residences on the island, the post chapel, and first dry-dock on the West Coast.⁹

National Register of Historic Places

Officers' Quarter N is a contributing resource to the Mare Island Historic District, which was listed in the National Register of Historic Places (National Register) in 1997. According to the National Register nomination form for the historic district:

The Mare Island Historic District is significant at the national level, with a period of significance extending from 1854 to 1945. It is significant under National Register criteria A, C, and D in the areas of: military history (Criterion A), relating to its role in defense of the nation during the Civil War, Spanish American War and World Wars I and II; industry (Criterion A), relating to its preeminence among shipyards on the West Coast during nearly the entirety of its period of significance; architecture (Criterion C), relating to its important collection of architectural specimens from many eras; engineering (Criterion C), relating to its inclusion of distinguished examples of structural engineering; and archeology—historic, nonaboriginal (Criterion D), relating to the known and predicted presence of subsurface deposits that contain information important to our understanding of the history of Mare Island shipyard, 1854-1920.¹⁰

Officers' Quarter N is also part of Officers' Row, one of 12 cultural landscapes identified as contributing resources to the Mare Island Historic District.¹¹ The period of significance for Officers' Row and Officers' Quarter N, specifically, have not been previously established. Thus, the period of significance of Officer's Quarters N is considered to be the same as that of the Mare Island Historic District (1854-1945) for the purposes of this report. Alterations that have taken place after this period of significance are not considered significant to the building.

⁹ Denise Bradley, "Mare Island Cultural Landscape Report: Overview," March 2015, 0-22.

¹⁰ JRP Historical Consulting Services, "Mare Island Historic District (Boundary Increase)," National Register of Historic Places Supplementary Listing Record, 1996, 8-1.

¹¹ Bradley, "Mare Island Cultural Landscape Report Final Overview," 0-23.

California State Historical Landmark

Mare Island was listed as California State Historical Landmark No. 751 in 1979 as the "First U.S. Naval Station in the Pacific."¹²

California Register of Historical Resources

The Mare Island Historic District is listed on the California Register of Historical Resources (California Register). The boundaries of the district mirror those of the National Register-listed district.¹³

City of Vallejo

In 1999, a larger Mare Island Historic District was designated as a local historic district by the City of Vallejo. All of the contributing resources and cultural landscapes identified in the National Register registration form are also considered contributing resources to the local historic district.

The Mare Island Specific Plan, which was adopted in 1999 and has been amended several times, most recently in August 2013, distinguishes between three categories of resources contributing to the Mare Island Historic District:

City Landmarks (Highly Significant) — this group consists of structures, buildings, or sites which have been determined by the City to be of outstanding historical or architectural significance. This group includes all 42 extant structures within the four National Historic Landmark groupings. If, in the future, additional City Landmarks were designated within the Historic District, they would be included in this group.

Notable Resources (Individually Significant) — this group consists of structures, buildings or sites identified as contributing resources in the National Register Registration Form which are not listed as City Landmarks, but which are of noteworthy historical or architectural significance.

Component Resources (Not Individually Significant) — this group consists of structures, buildings or sites identified as contributing resources in the Registration Form which are not listed as City Landmarks and lack individual historical, engineering, or architectural significance, do not individually add to the District's sense of time and place and historical development, are repetitive property types or

¹² City of Vallejo, Mare Island Specific Plan, Appendix B.1, Historic Project Guidelines, Amended 2007, 2.

¹³ City of Vallejo, Mare Island Specific Plan, Appendix B.1, Historic Project Guidelines, Amended 2007, 2.

small secondary structures, or lack overall integrity due to alteration or deterioration of location, design, setting, materials, workmanship, feeling or association

Officers' Quarters N is a City Landmark.

Character-Defining Features

The character-defining features of Officer's Quarters N date to the Mare Island Historic District's period of significance of 1854-1945, and contribute to the district's historic significance for its role in national defense during wars between the Civil War and World War II, for its preeminence among shipyards on the West Coast, and as an important collection of architectural specimens from many eras. Officer's Quarters N retains a high degree of historic integrity and remains eligible for listing as a City Landmark and a contributor to the Mare Island Historic District. Character-defining features of Officer's Quarters N include, but are not limited to:

Site

- Hexagonal concrete paving on the entry path and public sidewalks
- Open front lawn
- Rear lawn area with wood accessory buildings
- Setback and siting within Officers' Row

Exterior

- Three-story height over basement
- Rectangular plan and rectilinear massing
- Hipped roof and dormers clad with shingles
- Broad, finished overhanging eaves
- Full-width front porch and primary entrance, including paired cast iron Ionic columns, turned wood railing, molded cornice, wood floors and ceilings, and concrete steps
- Balconies at the second and third stories
- Painted, horizontal flush wood siding
- Brick foundation
- Colonial Revival details and ornamentation, such as denticulated cornices, scrolled brackets, floral cartouches, and Ionic columns
- Original fenestration pattern, including
 - Double-hung wood sash windows with ogee lugs, wood trim and molded or hooded surrounds
 - Multi-lite wood basement windows
 - Angled bay windows

- Leaded and colored glass at bay window on second-floor stair landing
- Stained and painted wood doors with integrated glazing
- Secondary entrances with concrete steps
- Brick masonry chimney

Interior

- First Floor
 - Stained wood columns and pilasters with Ionic capitals
 - Stained wood box beams with decorative dentils
 - Stained wood wall paneling, wainscots, picture railing and cornices, and carved floral decorations
 - Stained wood floors
 - Built-in wood benches, shelves, and cabinets
 - Stained wood main staircase with turned railing and square posts
 - Main fireplace with arched opening, brick surround and threshold, arched mirrors, and decorative stained wood columns, brackets, and shelf
 - Decorative metal wall vents
 - Secondary fireplaces with ceramic tile surrounds and hearths, iron covers, and stained wood mantles
 - Pocket doors with stained wood veneer cladding
 - Painted wood panel doors
 - Stained and painted wood window and door trim
 - Painted wood plank wainscots
 - Smooth painted plaster wall finishes
 - Service and basement staircases with wood treads and risers, wood plank wainscots, and plaster wall finishes
 - Call bell system
 - Built-in wood panel cabinets in kitchen storage rooms and Butler's pantry
- Second and Third Floors
 - Stained and painted wood floors
 - Painted, molded wood window, door, and base trim, picture railing, and cornices
 - Smooth plaster wall and ceiling finishes
 - Wood panel doors
 - Fireplaces with brick surrounds and hearths, and wood mantles
 - Built-in wood furniture
 - Closets with cedar veneer wall cladding
 - Call bell system.

The most significant interior spaces of the subject building are the main living spaces on the first floor, including the front hall, parlor/rec hall, dining room, and den.¹⁴

¹⁴ Room names are based on room labels used in historic architectural drawings.

IV. REGULATORY FRAMEWORK

California Environmental Quality Act (CEQA)

The California Environmental Quality Act (CEQA) is state legislation (Pub. Res. Code §21000 et seq.) that provides for the development and maintenance of a high-quality environment for the present-day and future through the identification of significant environmental effects.¹⁵ CEQA applies to "projects" proposed to be undertaken or requiring approval from state or local government agencies.¹⁶ "Projects" are defined as "activities which have the potential to have a physical impact on the environment and may include the enactment of zoning ordinances, the issuance of conditional use permits and the approval of tentative subdivision maps."¹⁷ Historic and cultural resources are considered to be part of the environment. In general, the lead agency must complete the environmental review process as required by CEQA. In the case of the proposed project at Officer's Quarters N, the City of Vallejo will act as the lead agency.

In general, a resource that meets any of the four criteria listed in CEQA Guidelines Section 15064.5(a)(2) is considered to be a historical resource unless "the preponderance of evidence demonstrates" that the resource "is not historically or culturally significant."¹⁸

Officer's Quarters N is a designated City Landmark and contributor to the Mare Island Historic District, which is listed on multiple local, state, and federal registers. It is, therefore, considered a historical resource under CEQA.

Threshold for Substantial Adverse Change & Categorical Exemptions

According to the California Environmental Quality Act (CEQA), a "project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment."¹⁹ Substantial adverse change is defined as: "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historic resource would be materially impaired."²⁰ The significance of a historical resource is materially impaired when a project "demolishes or materially alters in an

¹⁵ California Environmental Quality Act (CEQA), Public Resources Code (PRC), §21000 et seq., accessed online, December 20, 2022, https://leginfo.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=21000.

¹⁶ Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines), California Code of Regulations (CCR), Title 14 § 15000 et seq., Thomson Reuters Westlaw, accessed online December 20, 2022, [https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=IEB5FF9F0D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=IEB5FF9F0D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=(sc.Default)).

¹⁷ 14 CCR § 15378: Project.

¹⁸ 14 CCR § 15064.5(a)(2).

¹⁹ 14 CCR § 15064.5(b).

²⁰ 14 CCR § 15064.5(b)(1).

adverse manner those physical characteristics of an historical resource that convey its historical significance" and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register or a local register of historical resources.²¹

However, projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* have been determined not to have a significant effect on the environment. As such, they are categorically exempt from the provisions of CEQA.²²

Vallejo Municipal Code

SECTION 16.614.03 - MARE ISLAND HISTORIC DISTRICT.

Vallejo Municipal Code, Section 16.614.03 states the requirements for development review for projects located in the Mare Island Historic District.

Development Review. All new construction, demolition, alteration and relocation of contributing resources, including but not limited to landscaping, signage, and fencing within the Mare Island Historic District, as defined in the Mare Island Specific Plan, shall be subject to the standards, regulations and procedures contained in the Mare Island Specific Plan, and all of its appendices, particularly:

Appendix B.1 Mare Island Historic District Project Guidelines

Appendix B.4 Design Guidelines for the Mare Island Historic District²³

SECTION 16.614.09 – CERTIFICATE OF APPROPRIATENESS

Vallejo Municipal Code, Section 16.614.09(E) outlines the findings of approval required for certificates of appropriateness (CoA). The following findings are relevant to alterations to designated resources in the Mare Island Historic District, as quoted directly from Section 16.614.09(E):

²¹ 14 CCR § 15064.5(b)(2).

²² 14 CCR § 15300 and 15331.

²³ City of Vallejo Municipal Code, Chapter 16.614 Architectural Heritage and Historic Preservation, Section 16.614.03, Mare Island Historic District, accessed online November 23, 2022, https://library.municode.com/ca/vallejo/codes/municipal_code?nodeId=TIT16ZO_PTVIPRPE_CH16.614ARHEHIPR_16.614.09CEAP.

E. Findings for Approval. To approve an application for a certificate of appropriateness, the architectural heritage and landmarks commission or director shall find, as applicable:

1. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the historic district or landmark.
2. For projects located in a historic district, the proposed project is consistent with any conservation plan or specific plan adopted for the historic district.²⁴

Mare Island Specific Plan

URBAN DESIGN GUIDELINES

The Mare Island Specific Plan includes Urban Design Guidelines, which are intended to ensure that new construction preserves the feeling, setting, and association of the Mare Island Historic District. The Urban Design Guidelines contain general urban design policies, guidelines, and standards for Setting, Landscape, Architecture, and Site Furnishings that are relevant to all 13 Reuse Areas of Mare Island, as well as guidelines specific to each individual Reuse Area. The following guideline is the *most* relevant to the proposed project at Officer's Quarters N:

4.10.7 Historic Core

xiii. Where handicapped access ramps are necessary for existing buildings, such ramps should complement the architecture of each building served, to the extent feasible.

APPENDIX B.1: HISTORIC PROJECT GUIDELINES

The Mare Island Specific Plan, Appendix B.1: Historic Project Guidelines (Historic Project Guidelines; adopted December 2005, amended July 2007) outlines the types of projects that require a CoA. The following findings are relevant to alterations to designated resources in the Mare Island Historic District:

1. A COA is required for the following types of projects:
 - a. Construction of a new building or structure and addition to an existing building, structure, or site within the Historic District;

²⁴ City of Vallejo Municipal Code, Chapter 16.614 Architectural Heritage and Historic Preservation, Section 16.614.09, Certificate of Appropriateness, accessed online November 23, 2022, https://library.municode.com/ca/vallejo/codes/municipal_code?nodeId=TIT16ZO_PTVIPRPE_CH16.614ARHEHIPR_16.614.09CEAP.

- b. Alteration of a contributing resource in any manner which affects the exterior architectural appearance of a building or structure including installation or alteration of any exterior sign;
- c. Construction or alteration within the Project Site of a contributing resource or alteration of site features including, but not limited to, landscaping, fencing, walls, paving and grading;
- d. Interior alterations of a Landmark.²⁵

APPENDIX B.4 DESIGN GUIDELINES FOR THE MARE ISLAND HISTORIC DISTRICT

The Design Guidelines for the Mare Island Historic District contains chapters that outline guidelines for the preservation, restoration, reconstruction, and rehabilitation of historic properties as Mare Island. As the proposed project at Officer's Quarters N plans to rehabilitate the building for a new interim use, the guidelines for rehabilitation contained in "Chapter 7: Rehabilitation of Historic Properties" are most relevant to the proposed project.

The following is an excerpted list of the design guidelines that are *most* relevant to the proposed project at Officer's Quarters N:

Landscape Rehabilitation

- 7.1 Protect and maintain features, such as vegetation and structures, that define spatial organization.

Materials

- 7.7 Historic building materials should be preserved.
- 7.8 Protect historic materials surfaces.
- 7.10 All wood surfaces should be painted or stained.
- 7.15 If material replacement is necessary, use materials similar to those previously employed.
 - a. Substitute materials may be used if they match the original in appearance, finish and profile.
- 7.19 Historic building materials and features should not be covered.
 - a. No material should be applied as a covering to a historic one.

²⁵ City of Vallejo, Mare Island Specific Plan, Appendix B.1, *Historic Project Guidelines* (Amended 2007).

Windows

- 7.34 If it is damaged, repair an original window.

Doors

- 7.39 Maintain existing significant doors and entries.
- a. The proportions of an original door, as well as its material and trim details, are important characteristics that should be preserved. Avoid altering these features.
- 7.40 When replacement is necessary, use a door style that is similar to that employed originally, when feasible.
- a. The original doorway configuration should be preserved in any situation.
- 7.41 Installing a door in a new location may be considered where it does not substantially alter the character of a significant building wall.
- b. Installing a new door along a secondary elevation also is appropriate in most cases.

Special Features

- 7.59 Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site should be treated with sensitivity.
- a. Don't obscure significant features with coverings or signs.
- 7.60 Preserve character-defining features which are intact.
- a. Don't remove or damage character-defining features.
- 7.61 Avoid removing or altering historic material or significance architectural features.
- a. Original materials and details that contribute to the significance of the structure should be preserved whenever feasible.

Alterations

- 7.65 Design an alteration to be compatible with the historic character of the property.
- a. Avoid alterations that would hinder the ability to interpret the significance of the original building.
 - c. An alterations should be subordinate in scale and character to the property in general.
- 7.66 Avoid alterations that damage architectural features.

Residential Area Building Materials

- 12.24 Use building materials that are similar to those seen historically in the residential character areas.
- a. Appropriate materials are:
 - Painted wood siding
 - Stucco, detailed to give a sense of scale
 - Brick
 - Concrete
 - b. Synthetic, or substitute, materials may be considered on a case-by-case basis, but they must convey qualities similar to materials used historically and must have a proven durability in the Mare Island climate.²⁶

²⁶ Winter & Company, Mare Island Specific Plan, Appendix B.4, *Mare Island Historic District Design Guidelines*, 2005, 7-1 – 7-27.

V. PROJECT IMPACT ANALYSIS

This section analyzes the potential project-specific impacts of the proposed project at Officer's Quarter N on the environment, as required by CEQA and City of Vallejo regulations and guidelines. The following analysis describes the proposed project, assesses its compliance with the *Secretary of the Interior's Standards for Rehabilitation*, identifies whether the project will result in any project-specific impacts, and whether the project is in compliance with Vallejo Municipal Code Sections 16.614.03 and 16.614.09 and the Urban Design Guidelines, Historic Project Guidelines, and Design Guidelines for the Mare Island Historic District contained in the Mare Island Specific Plan.

Proposed Project Description

According to the drawing set prepared by RIM Architects, titled "Quarters N, AHLC Drawing Package" and dated December 16, 2022, the proposed project includes the following alterations:

Exterior

- Adding a new ADA-compliant parking area to the existing parking lot at the rear of the building.
- Installing a new five-foot-wide re-graded concrete path from the rear building entrance to the new rear ADA-accessible parking area.
- Modifications to the southeast entry to provide an ADA-accessible entry to the building. Exterior work will include constructing a new deck over the existing historic steps and installing an ADA-compliant lift. The deck will have a wood structure, floors, and handrails and a wood stud support wall and trim that aligns with the existing foundation wall. The existing wood screen door will be removed and replaced with a new lockable door of a similar style to the existing screen door.
- Adding an ADA-accessible landing and ramp from the front entrance to the front porch.

Interior

- Removing select areas of existing wood flooring and an existing built-in wood bench in the foyer and replacing the flooring with continuous vinyl flooring over a new substrate to meet Solano County Health Department code requirements. The wood flooring and the wood bench components will be numbered and salvaged for future reinstallation, after the end of the interim café use. The components will be stored on-site in the basement
- Installing new café counters, rod and cable shelving, and pendant light fixtures in front of the fireplace in the foyer. New counters will be anchored through the new vinyl flooring to the new substrate. New shelving and pendant light fixtures will be suspended through the plaster ceiling finishes.

- Installing clear plexiglass around the main staircase at the first floor to allow for protection and visibility of the architecture. The plexiglass will be mounted to the new countertop and seam adhered to wrap around the existing column.
- Blocking off the entrance to the main stairs with a condiment serving cabinet or display to prevent public access to the upper floors.
- Blocking off service stairs with a sign for "No Entry."
- Updating the kitchen. Proposed work includes removing existing kitchen cabinets, counters, and appliances that were added in 1975 (after the period of significance) and installing new cabinets, counters, and freestanding appliances. Historic wood wainscots will be protected in place with fiberglass reinforced plastic (FRP) panels. The existing, non-historic vinyl tile flooring will be replaced with continuous vinyl flooring with a coved base to meet health code requirements.
- Constructing a new partition wall in the employee room to house the janitor mop sink.
- Modifying the southeast entrance to provide ADA-accessible entry to the building. Interior work will include removing one existing door and widening the opening. A layer of plywood will be added over the existing painted wood decking at the entrance to bring it to the level of the interior finish floor, and new accessible grade walk off mats will be installed on top.
- Modifying the first-floor restroom to provide upgraded, ADA-compliant facilities. The existing door will be removed, salvaged, and stored in the basement. The door opening will be widened, and a wider wood door of a similar design to the existing door will be installed. Auto open/closure buttons will be installed in the corridor outside the restroom and inside the restroom. The existing sink and toilet will be replaced with new fixtures. The sink will be salvaged. Window sills that were cut to accommodate the existing sink will be replaced in-kind to match the existing unmodified sills. A new gypsum board wall will be installed at the northwest side of the room to provide a right-angled surface on which to install a grab bar next to the new toilet, necessary head height clearance around a sloped ceiling in this location, and a concealed cavity through which to route an exhaust fan. Existing non-historic vinyl tile flooring will be replaced with porcelain tiles, and new wainscots and wallpaper will be installed.

Analysis of Project-Specific Impacts Under CEQA

Secretary of the Interior's Standards for Rehabilitation Analysis

As stated previously, the project site includes an eligible historic resource for the purposes of CEQA and must meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the

Standards) in order to avoid significant adverse impacts to the historic resource.²⁷ The Standards provide guidance for reviewing proposed work on historic properties and are a useful analytic tool for understanding and describing the potential impacts of substantial changes to historic resources. Conformance with the Standards does not determine whether a project will cause a substantial adverse change in the significance of a historic resource. Rather, projects that comply with the Standards benefit from a regulatory presumption that they will have a less-than-significant adverse impact on a historic resource, and are categorically exempt. Projects that do not comply with the Standards may or may not cause a substantial adverse change in the significance of an historic resource.

The Secretary of the Interior offers four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. Typically, one set of Standards is chosen for a project based on the project scope. For the purposes of the proposed project at Officer's Quarters N, the Standards for Rehabilitation, which "acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character," are the appropriate Standards for the proposed project's scope.²⁸

The following analysis applies each of the Standards for Rehabilitation to the proposed project at Officer's Quarters N, based on the proposed project drawing set by RIM Architects, titled "Quarters N, AHLC Drawing Package" and dated December 16, 2022 (**Appendix**).

Rehabilitation Standard 1: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*²⁹

Discussion: The project proposes to reuse the historic residential building for commercial use. The change in use is intended to be temporary and is limited to spaces on the ground floor. Rooms on the second floor will not be altered. As such, the change in use will require minimal change to the subject building.

Therefore, the proposed project is consistent with Standard 1.

²⁷ Anne E. Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*, (U.S. Department of the Interior National Park Service Technical Preservation Services, Washington, D.C.: 2017).

²⁸ Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

²⁹ This and the following Standards are listed in Grimmer (2017) and also at National Park Service, U.S. Department of the Interior, "Technical Preservation Services: Rehabilitation as a Treatment," accessed March 11, 2022, <https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>.

Rehabilitation Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

Discussion: The proposed project retains and preserves nearly all of the character-defining features of Officer's Quarters N. The removal of historic features and materials is limited to a small interior section of stained wood flooring and a built-in wood bench in the foyer, both of which will be salvaged for potential future reinstallation, as well as two interior doors and one exterior screen door as part of ADA-compliance upgrades. The doors to be removed are located at a secondary rear entrance and at the first-floor bathroom under the stairs. The doors are not located in primary spaces of the building and are not highly visible or prominent features of the rooms in which they are located. The doors will be salvaged for potential future reinstallation either in the subject building after the end of the proposed café use or in other Officers' residences, as needed for repairs. New wood doors will be similar in appearance to the existing historic doors to minimize impacts on the visual quality of the building's character-defining interior spaces.

Other materials or features proposed for removal are not historic or character-defining, including counters, appliances, and cabinets that were installed in the kitchen in the 1970s, after the period of significance; non-original vinyl tile floors in the kitchen and first-floor restroom; and non-original toilet and lavatory fixtures in the first-floor bathroom. In the rear yard, modifications of existing features are limited to replacing the existing concrete path that leads from the rear of the house to the parking area at the rear of the property with a new re-graded ADA-compliant concrete path. The existing path is not considered a character-defining feature of the property, but the new path will be installed in roughly the same location and using the same material, preserving existing spatial relationships of the surrounding landscape. All other character-defining features, spaces, and spatial relationships will be retained. Thus, the proposed project will retain and preserve the distinctive historic features of the subject building and will not impact its overall historic character.

Therefore, the proposed project is in overall compliance with Standard 2.

Rehabilitation Standard 3: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

Discussion: The proposed project does not add conjectural features or elements from other historic properties. The proposed new entrance will not create a false sense of historical development. The new deck, lift, and doors installed to provide ADA-compliant access to the building will be compatible in material and scale but will have a minimal, contemporary design that will not be

confused with the more elaborate and decorative historic features of the building. Likewise, new continuous vinyl flooring and counters in the kitchen, new wallpaper and porcelain tile floors and wainscots in the restroom, and freestanding furniture provided throughout the first floor for the new café use will be easily identifiable as new features and materials.

Therefore, the proposed project is consistent with Standard 3.

Rehabilitation Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Discussion: The period of significance of Officer's Quarters N is considered to align with that of the Mare Island Historic District, which spans from 1854 to 1945. No features have been installed since 1945 that have acquired historic significance in their own right. Therefore, the proposed project is consistent with Standard 4.

Rehabilitation Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Discussion: As discussed with Rehabilitation Standard 2, the vast majority of the distinctive materials, features, finishes, and construction techniques that characterize Officer's Quarters N will be retained and preserved in place. All exterior features of the building will remain, with the exception of one existing screen door at a secondary, rear entrance, which will be replaced with a new ADA-compliant, lockable wood screen door. The existing concrete stairs at this rear entrance will be preserved in place below the new deck that is proposed to be constructed to provide ADA-compliant access to the building. Likewise, a new ADA-accessible landing and ramp proposed to be added at the front entrance will be installed over the existing deck and threshold.

Interior features that convey the building's high-quality craftsmanship include the wood columns and pilasters with Ionic capitals, wood floors, wainscots, veneered pocket and paneled wood doors, decorative box beam ceilings, fireplace mantles and surrounds, main staircase, built-in furniture, floor and window trim, base trim, and carved wood ornamentation. The proposed project will not remove or alter any of these distinctive features, with the exception of a small section of stained wood flooring and a built-in wood bench in the foyer, both of which will be salvaged for potential future reinstallation. To provide ADA-compliant access to the facilities on the first floor, two wood panel doors will be removed, one from the rear southeast entrance and a second from the first-floor bathroom. These doors are not individually notable, are similar to other doors in the building that will be preserved, and are located in discrete locations. Removing two interior doors will not impact the overall appearance and distinctive character that distinguish the design and craftsmanship of

the subject building. The majority of existing wood panel doors throughout the building will remain in place, including the main front door and wood veneered pocket doors. New auto open/closure buttons proposed to be installed to provide ADA accessible entry to the restroom will be installed into existing plaster finishes, rather than character-defining wood paneling or trim.

Elsewhere, where new features are being installed, existing historic fabric will be protected in place. In the foyer, plexiglass will be mounted to a newly installed countertop and seam wrapped around the existing historic column to protect the staircase from damage while allowing for the feature to remain visible. The main staircase will be blocked off with a freestanding counter, while the service stairs will be blocked off with a freestanding sign to avoid attachments to the historic features or finishes. At the southeast entrance, a layer of plywood and ADA-compliant walk-off mats will be placed over the existing wood flooring to prevent damage to the existing flooring and bring the entrance floor up to the level of the interior finish floor. In the kitchen, FRP panels will be added over existing historic wood wainscots to allow for new casework to be installed without causing permanent damage to this historic feature.

Therefore, the proposed project is in overall compliance with Standard 5.

Rehabilitation Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Discussion: Proposed repairs are limited to the replacement of interior window sills in the first-floor bathroom that were previously cut to accommodate a sink. After the existing sink is removed and a new sink is installed in a different location, the modified sills will be replaced in-kind with new wood sills that match the design of the existing, unmodified sills. The proposed project does not involve the replacement of any other deteriorated historic features. As such, the proposed project is consistent with Standard 6.

Rehabilitation Standard 7: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Discussion: As planned, the proposed project does not involve chemical or physical treatments of historic materials. Therefore, the proposed project will be consistent with Standard 7.

Rehabilitation Standard 8: *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Discussion: The proposed project will not include any excavation of previously undisturbed ground. Therefore, the proposed project will be consistent with Standard 8.

Rehabilitation Standard 9: *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Discussion: The proposed project involves the construction of a new deck for an ADA-compliant lift at the secondary entrance at the southeast corner of the building. The deck will feature wood construction and wood picket railings. The material and repeating vertical stiles visually relate to the historic turned wood railings at the front porch and balconies at the exterior facades while their more minimalistic, square detailing reflects a more contemporary style that appropriately differentiates them from the building's historic fabric. The new deck will align with the existing foundation wall and feature trim to match trim on the historic building to minimize visual impacts of the new feature. The new deck will be constructed over the existing concrete steps that lead up to the entrance, leaving the stairs intact. The new screen door installed at this rear entrance will be lockable, with an in-swinging configuration to allow room for the lift. It will have a similar design to the existing screen door but will have integrated glazing, rather than an open screen to provide a secure entrance. These details will distinguish the screen door from historic doors. The new door at the bathroom will be made of wood and have a similar design to the existing historic door but will be larger in width, subtly differentiating it from the historic doors.

In the foyer, new light fixtures and shelving suspended over the café counter will also feature an understated, contemporary design and will be suspended from the non-character-defining plaster ceiling finishes. Proposed new café furniture is designed to minimize permanent impacts as well. New furniture primarily consists of contemporary free-standing tables, chairs, and shelves that do not require anchoring or adhesion to historic features or finishes. New counters will be added in front of the fireplace in the foyer. To avoid damaging existing historic fabric in this location, the historic wood flooring and a built-in wood bench will be removed and salvaged for future reinstallation. A new floor substrate and continuous vinyl flooring that meets Solano County Health Department requirements, and clearly distinct from the surrounding historic wood floor finishes, will be installed in its place. The new café counters will be anchored to these new finishes to avoid damage to character-defining features. Plexiglass and a freestanding counter added around the main staircase will also be clearly identifiable as modern modifications while continuing to provide views of the historic feature and design of the space.

New construction and alterations in the kitchen will not impact any historic materials or features. As described in the discussion for Standard 5, FRP panels will be added over the historic wood wainscots to protect them from impacts resulting from the installation of new casework. Existing vinyl tile flooring to be replaced is a recent alteration and is not historic. New continuous vinyl flooring will be clearly identifiable as a modern alteration but consistent with the utilitarian nature of the space. The new partition wall added to the employee room for a janitor mop sink will not require the modification or removal of any historic features in the room, nor will it impact any important historic spatial relationships.

At the first-floor bathroom, a new gypsum board wall will be constructed to provide a right angle on which to install a new ADA-compliant grab bar, navigate around a sloped ceiling in the space, and provide a concealed cavity through which to route an exhaust fan. The wall will have a compatible design and be finished to look similar to existing plaster walls. Other new finishes and features in the restroom, including porcelain tile floors and wainscots, wallpaper, and new fixtures will be contemporary in design and easily distinguishable from historic features.

Lastly, site modifications will not destroy historic materials, features and spatial relationships that characterize the property. The existing rear concrete path to be replaced is not considered a character-defining feature. The new path will also be made of concrete, consistent with paths throughout Officer's Row, and will be installed in the same location, but will be wider and made of newly poured concrete, differentiating it from older, existing paths at the subject property and throughout the surrounding cultural landscape while retaining spatial relationships and the overall quality of the landscape design.

Overall, new elements proposed to be constructed as part of the project are designed to be compatible in appearance with the historic design of the building, while also clearly identifiable as modern alterations, and installed in such a way to eliminate or minimize damage to existing historic fabric.

Therefore, the proposed project is consistent with Standard 9.

Rehabilitation Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Discussion: All of the major proposed alterations are designed to be reversible so that the subject building can be returned to its existing appearance in the future, if desired. The ADA-compliant decks at the front and rear entrances will be constructed over existing stairs and flooring, so that if

they are removed in the future, these entrances can be reinstated to their existing appearances. Although two interior door openings will be widened and the existing doors removed, the existing doors will be salvaged and could be reinstalled in the future if needed. Similarly, wood flooring and a built-in wood bench that will be removed in the foyer will be salvaged with the intention of reinstalling them in the future when the temporary café use has ended. Plaster ceiling and wall finishes where new light fixtures and ADA-compliant auto open/closure buttons are installed can be patched and repainted, and the new wall in the bathroom could be removed to return these areas to their existing appearance. Overall, if the proposed alterations are removed or reversed, the essential form and integrity of the subject building would be unimpaired.

Therefore, the proposed project is consistent with Standard 10.

Standards for Rehabilitation Compliance Summary

As the above analysis illustrates, the proposed project at Officer's Quarter N, as currently designed, appears to be in compliance with all ten Standards for Rehabilitation. Thus, the historic building will continue to be able to express design, features, and historic context that makes it significant as a City of Vallejo Landmark and contributor to the Mare Island Historic District. According to CEQA Guidelines Section 15126.4(b)(1), if a project complies with the *Standards for Rehabilitation*, the project's impact "will generally be considered mitigated below a level of significance and thus is not significant."³⁰ As the proposed project is in compliance with the Secretary of the Interior's Standards and the property will retain historic integrity and eligibility for continued listing in the National Register and as a City of Vallejo Landmark, the proposed project will not cause a significant adverse impact under CEQA.

Analysis of Compliance with the City of Vallejo Municipal Code

As discussed above with regards to the Secretary of the Interior's Standards, the proposed project is compliant with the Standards for Rehabilitation and will not adversely affect the exterior of the building or its major interior architectural features, nor will it adversely affect the special character and architectural interest of the building. As such, the proposed project appears to be consistent with the City of Vallejo Municipal Code, in particular section 16.614.09 as it pertains to the certificates of appropriateness for projects in the Mare Island Historic District.³¹ As detailed in the discussions below, the project is also in compliance with the standards, regulations and procedures contained in the Mare Island Specific Plan, particularly the Mare Island Historic District Project Guidelines and Design Guidelines for the Mare Island Historic District, in accordance with section 16.614.03. Thus, the project complies with City of Vallejo Municipal Code.

³⁰ 14 CCR § 15126.4(b)(1).

³¹ City of Vallejo Municipal Code, Chapter 16.614 Architectural Heritage and Historic Preservation, Section 16.614.09.

Analysis of Compliance with the Mare Island Specific Plan

The proposed project is in compliance with the Mare Island Specific Plan, including all of the relevant guidelines contained in the Urban Design Guidelines, Mare Island Historic District Project Guidelines, and the Design Guidelines for the Mare Island Historic District.

As described in the discussion for Standard 9, the proposed new ADA-compatible access deck complements the architecture of the subject building, in compliance with Urban Design Guideline xiii, specific to the Historic Core area.

As described above, the project meets the requirements for a certificate of appropriateness, and therefore complies with the Mare Island Historic District Project Guidelines.

The Design Guidelines for the Mare Island Historic District generally correspond with the Secretary of the Interior's Standards. Therefore, as the project meets all ten of the Standards, it is also in compliance with the Design Guidelines for the Mare Island Historic District. The project preserves and retains the majority of the building's character-defining features, including landscape features and distinctive stylistic features or examples of skilled craftsmanship. Modifications to windows are limited to the repair of damaged interior window sills. Although three existing doors will be replaced, the vast majority of original doors will remain unchanged, and the proposed door modifications fall within the parameters of the design guidelines. The new doors will be similar to the design of the original doors and will be located in discrete locations where they do not substantially alter the character of a significant building wall. Although the existing stairs at the southeast corner of the building will be covered by the new ADA compliant lift deck, this alteration is located at a secondary location, where it is not highly visible from the street and does not hinder one's ability to interpret the significance of the original building. Furthermore, the stairs will remain intact and in place and could be restored to their current function in the future if desired.

Overall, the proposed alterations are designed to be compatible with the historic design and character of Officer's Quarters N, to be reversible, and to avoid permanent damage or removal of existing historic features and materials. As such, the proposed project appears to meet the spirit and intent of the Design Guidelines for the Mare Island Historic District.

Cumulative Impacts Analysis

The California Environmental Quality Act defines cumulative impacts as follows:

"Cumulative impacts" refers to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.

- a) The individual effects may be changes resulting from a single project or a number of separate projects.
- b) The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.³²

As the project meets the Secretary of the Interior's Standards, it will not have a significant effect on the environment and is, therefore, considered categorically exempt from CEQA. Thus, the project will not have any individual effects that contribute to cumulative impacts on the environment.

³² 14 CCR § 15355.

VI. CONCLUSION

As the proposed project is in overall compliance with the Standards for Rehabilitation, City of Vallejo Municipal Code, and guidelines contained in the Mare Island Specific Plan, Officer's Quarters N will retain historic integrity, and remain eligible as a City of Vallejo Landmark and as a contributor to the designated Mare Island Historic District. Therefore, the proposed project will have no significant adverse impacts to historic resources under CEQA.³³

³³ Assessment of other potential environmental impacts such as aesthetics, air quality, noise, pollution, etc. are outside the scope of this report.

VII. REFERENCES

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- Bradley, Denise. "Mare Island Cultural Landscape Report: Overview." March 2015.
- JRP Historical Consulting Services. "Mare Island Historic District (Boundary Increase)." National Register of Historic Places Supplementary Listing Record. 1996.
- Winter & Company. Mare Island Specific Plan. Appendix B.4, *Mare Island Historic District Design Guidelines*. 2005.

Public Records

- California Environmental Quality Act (CEQA). Public Resources Code (PRC), §21000 et seq. Accessed online, December 20, 2022,
https://leginfo.legislature.ca.gov/faces/codes_displaySection.xhtml?lawCode=PRC§ionNum=21000.
- Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines). California Code of Regulations (CCR), Title 14 § 15000 et seq., Thomson Reuters Westlaw. Accessed online December 20, 2022,
[https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=IEB5FF9F0D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Browse/Home/California/CaliforniaCodeofRegulations?guid=IEB5FF9F0D48811DEBC02831C6D6C108E&originationContext=documenttoc&transitionType=Default&contextData=(sc.Default))
- City of Vallejo. Mare Island Specific Plan. Amended 2007.
- City of Vallejo Municipal Code. Chapter 16.614. Architectural Heritage and Historic Preservation. Section 16.614.03, Mare Island Historic District. Accessed November 23, 2022,
https://library.municode.com/ca/vallejo/codes/municipal_code?nodeId=TIT16ZO_PTVIPRPE_CH16.614ARHEHIPR_16.614.09CEAP.

VIII. APPENDIX

Proposed Project Drawings

This appendix includes proposed project drawings by RIM Architects, dated December 16, 2022.

QUARTERS N, MARE ISLAND

1015 WALNUT AVENUE, VALLEJO, CA 94592

AHLC DRAWING PACKAGE
QUARTERS N - CAFE & MARKETPLACE

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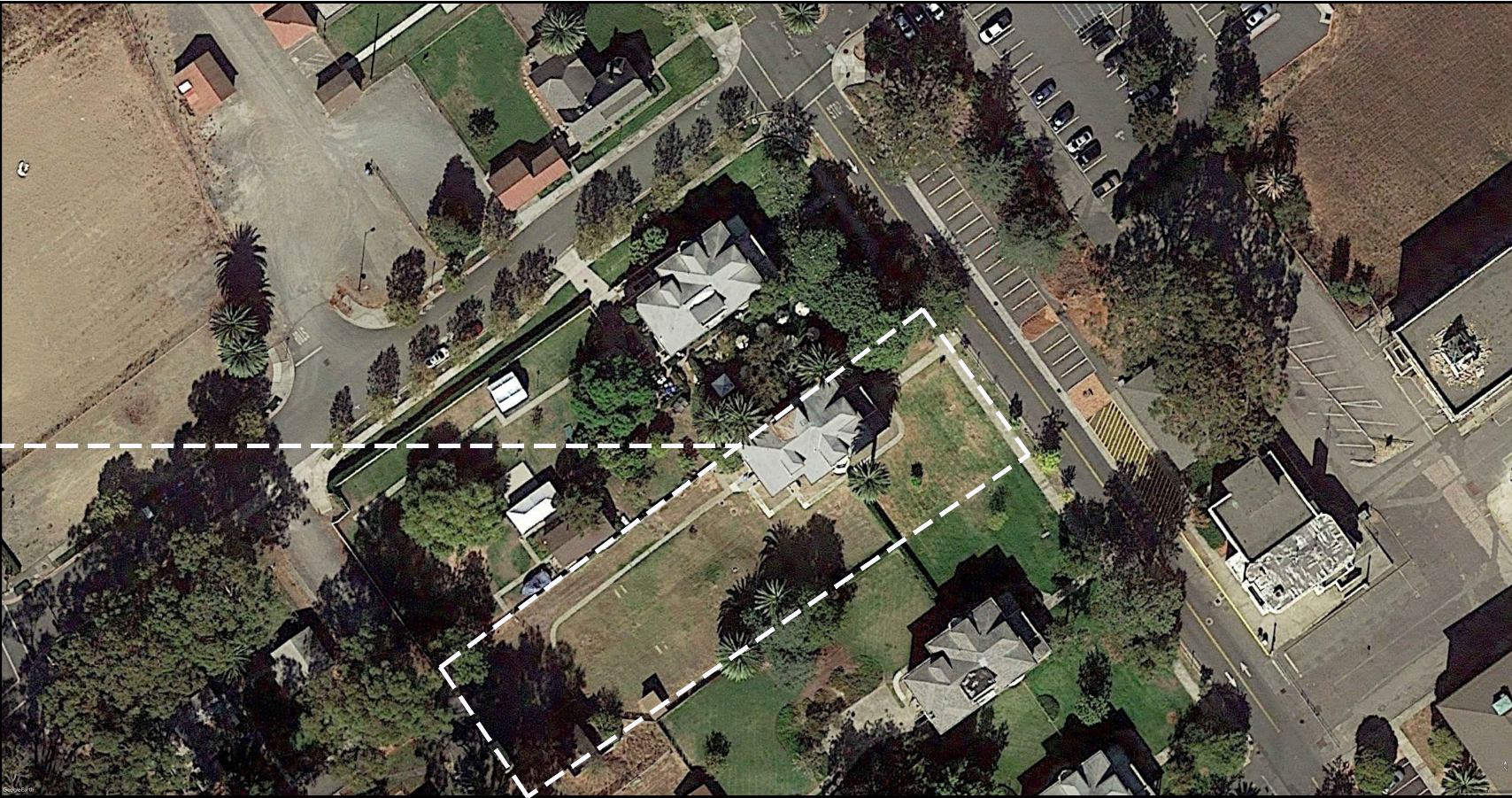
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 - 5. ENLARGED FLOOR PLAN - FIRST FLOOR
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 - 10. INTERIOR ELEVATIONS - RESTROOM
 - 11. INTERIOR ELEVATIONS - NON PERISHABLE SALES & RETAIL MERCHANDISE AREA

AERIAL VIEW



VICINITY MAP

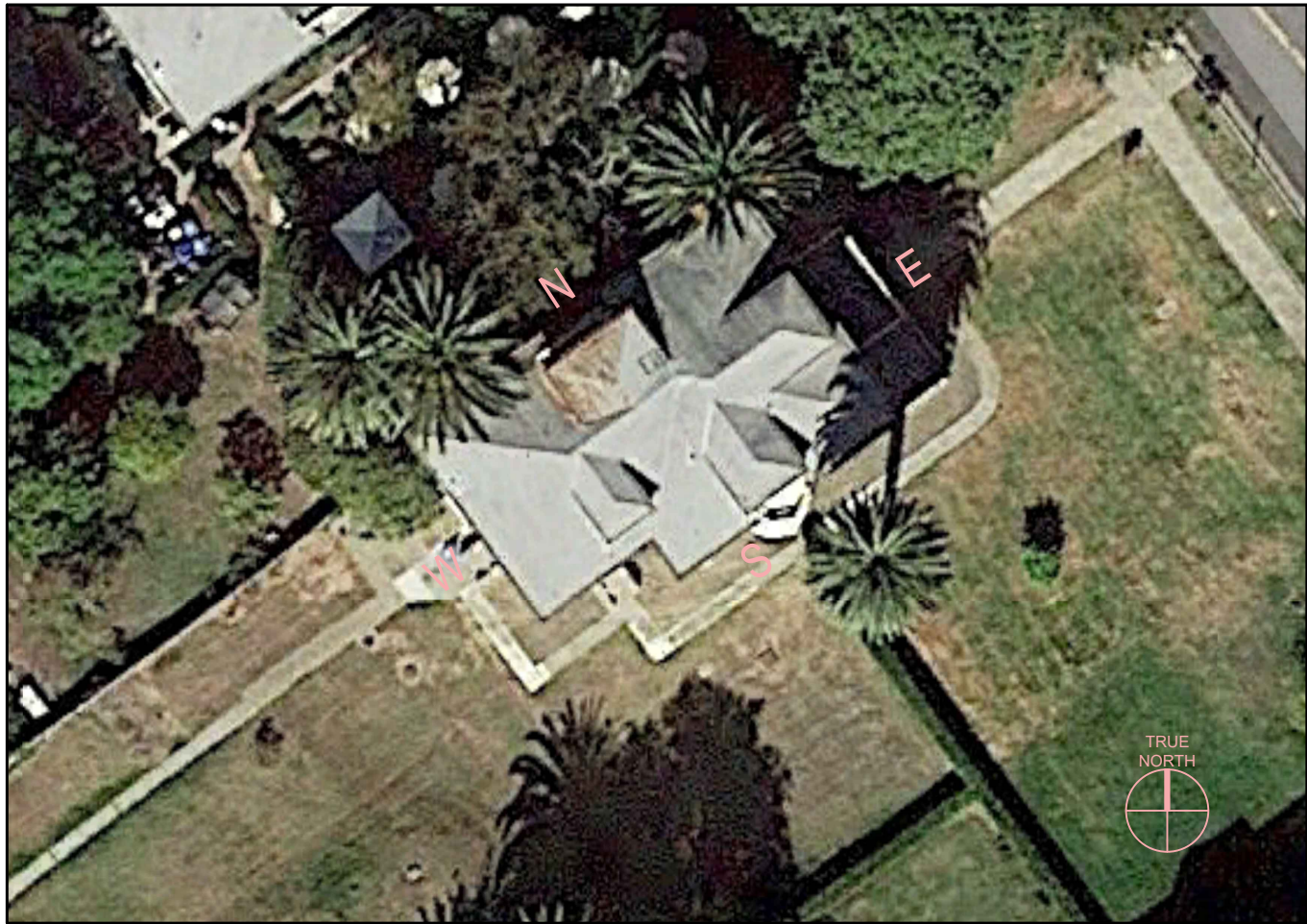


QUARTERS N





NORTH ELEVATION



AERIAL ROOF



EAST ELEVATION



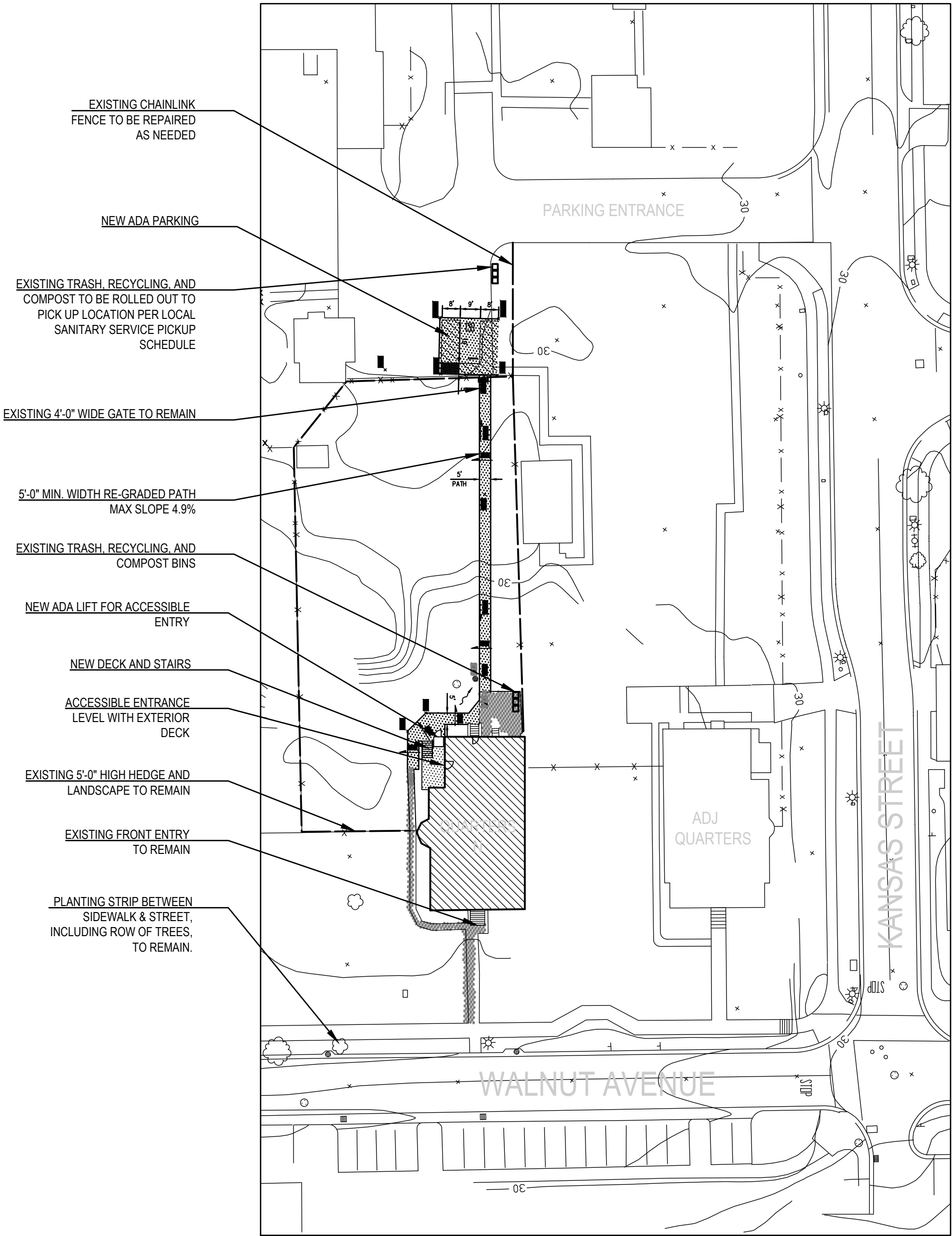
WEST ELEVATION

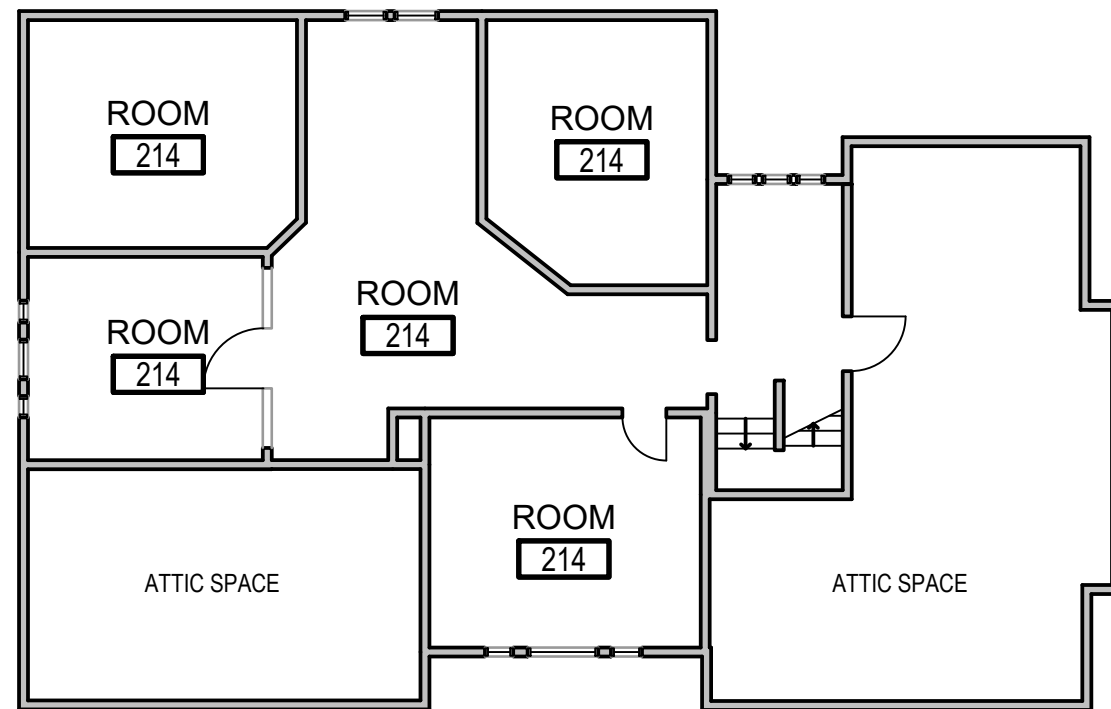


SOUTH ELEVATION

SITE PLAN NOTES

- 1. EXISTING HEXAGON CONCRETE PAVERS TO REMAIN.
- 2. EXISTING 5 FOOT HEDGE SEPARATING FRONT & REAR YARDS TO REMAIN.
- 3. LARGE FRONT YARD WITH GRASS & TREES TO REMAIN.
- 4. EXISTING MOUND ON SOUTH SIDE OF REAR YARD TO REMAIN.
- 5. EXISTING LOW SLOPING CONCRETE PATHWAY BE GRADED ACCOMMODATE LESS THAN 4.9% ACCESSIBLE PATHWAY FROM PARKING AT REAR OF YARD TO ACCESSIBLE SIDE ENTRANCE.
- 6. EXISTING PARKING AREA BEHIND SITE TO PROVIDE NEW ACCESSIBLE PARKING SPACES.





THIRD FLOOR / ATTIC

NO CHANGES OR OCCUPANCY TO OCCUR ON THIRD FLOOR / ATTIC.

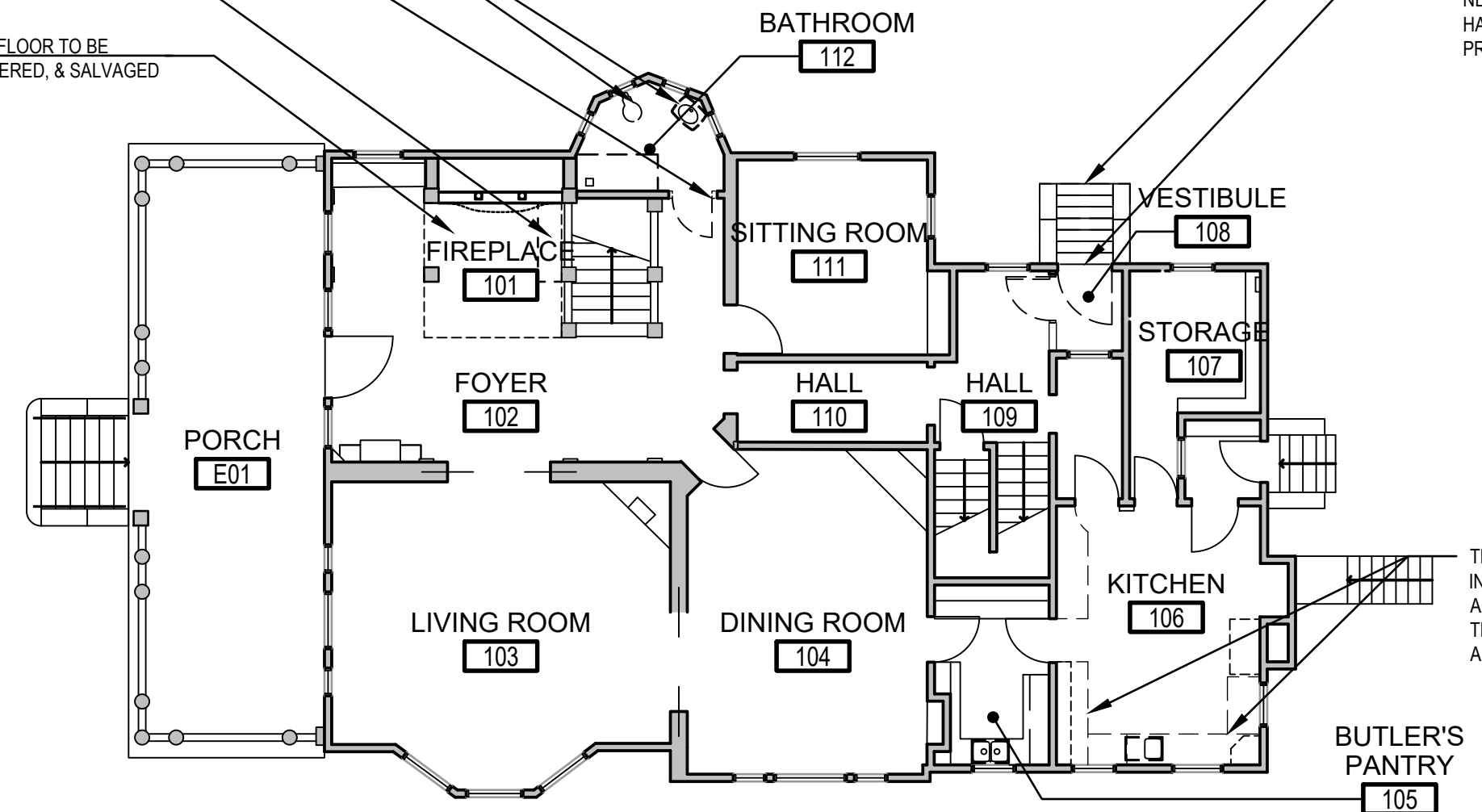
$\frac{3}{32}" = 1'-0"$

EXISTING WATER CLOSET & SINK TO BE REMOVED, SINK TO BE SALVAGED.

EXISTING RESTROOM DOOR TO BE REMOVED & SALVAGED FOR NEW, LARGER ACCESSIBLE DOOR

EXISTING BENCH TO BE REMOVED & SALVAGED.

EXISTING WOOD FLOOR TO BE REMOVED, NUMBERED, & SALVAGED FOR REUSE.

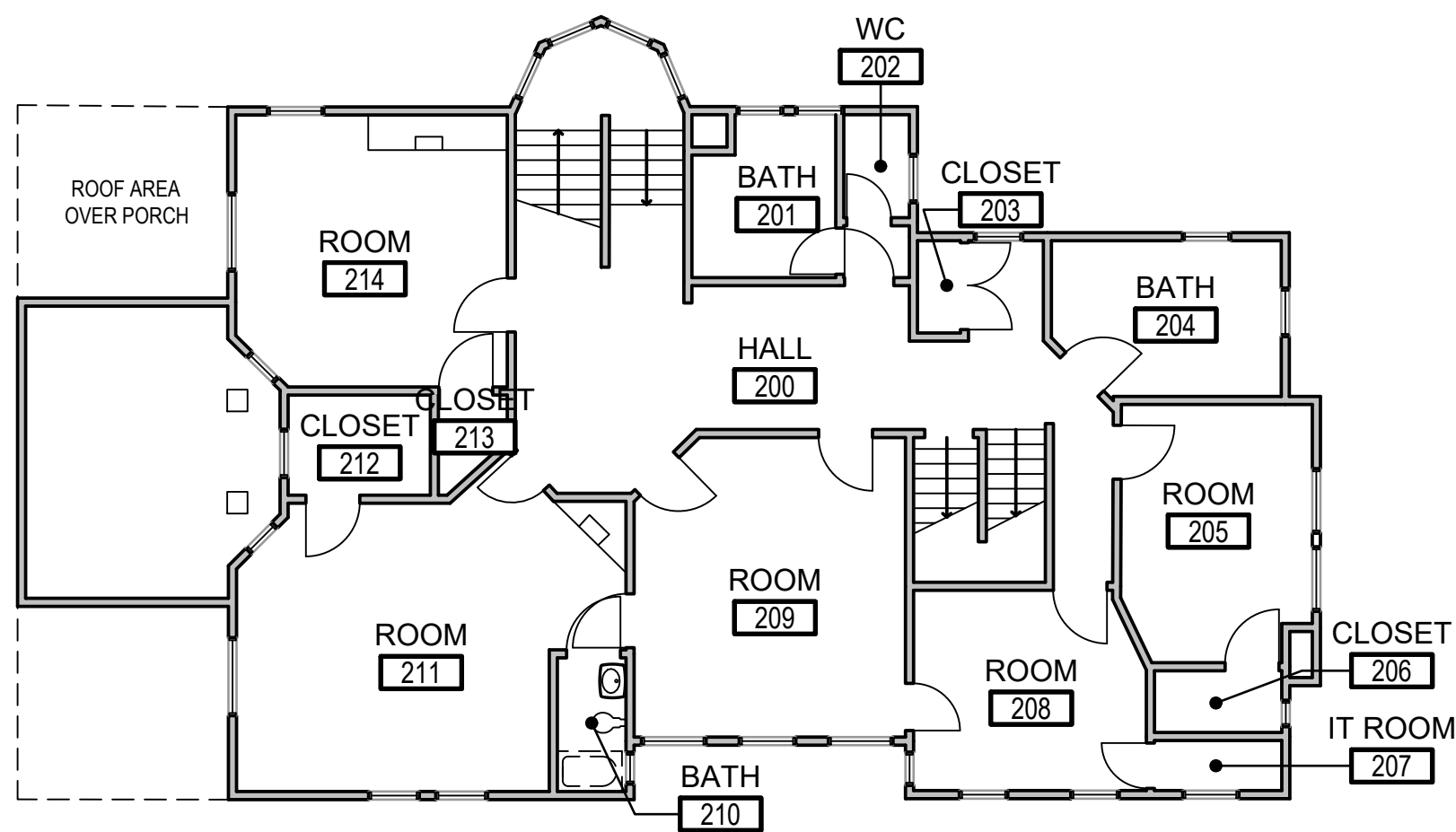


FIRST FLOOR & DEMO PLAN

$\frac{3}{32}" = 1'-0"$

EXISTING CONCRETE STEPS TO REMAIN UNDER NEW DECK
EXISTING SCREEN DOOR AND SECONDARY DOORS TO BE REMOVED & SALVAGED. NEW ACCESSIBLE ENTRANCE TO HAVE SIMILAR STYLE AS PREVIOUS SCREEN DOOR.

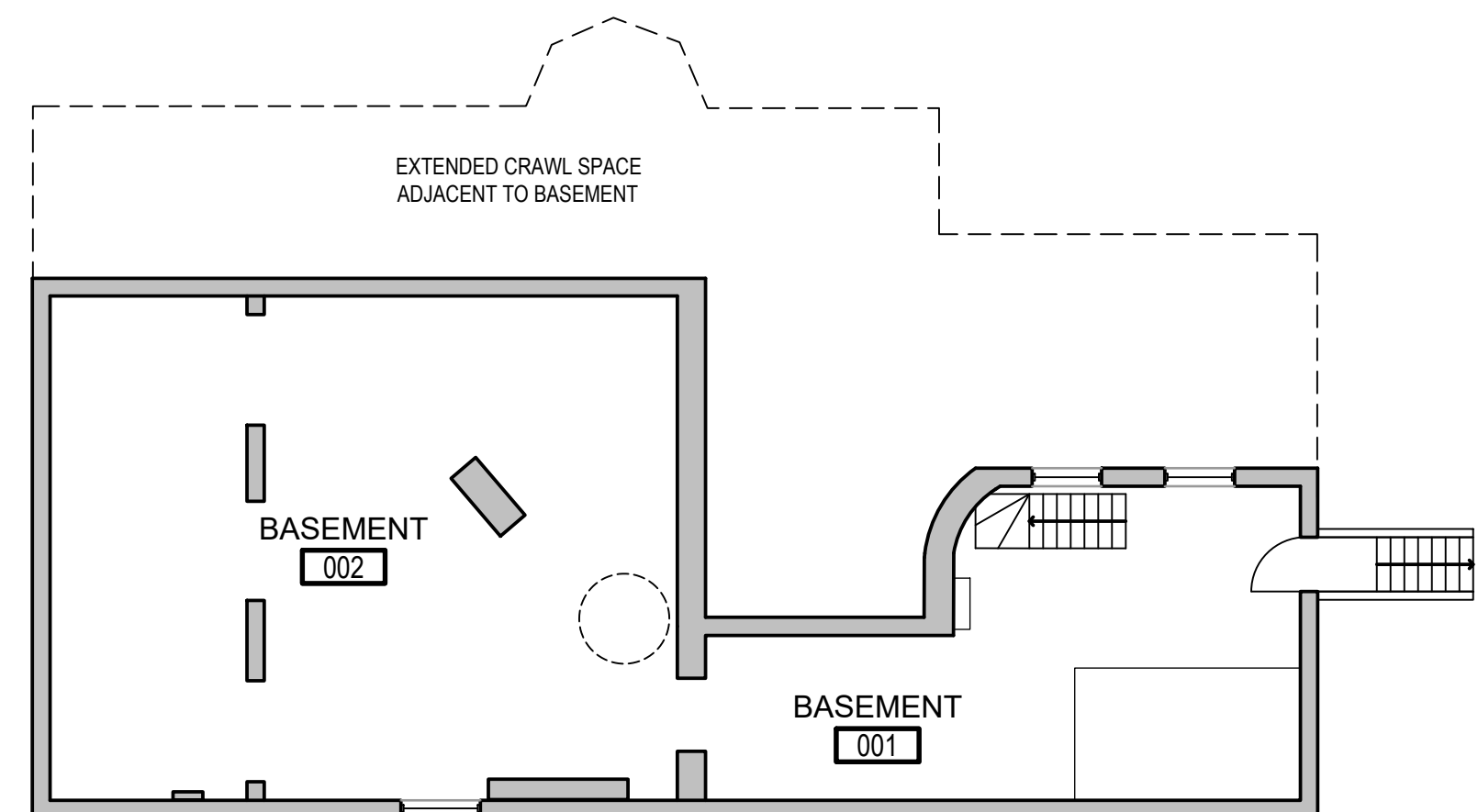
THE KITCHEN WAS RENOVATED IN 1975 WITH NEW CABINETRY AND FORMICA COUNTER TOPS. THESE SHALL BE REMOVED AND SALVAGED IF NEEDED.



SECOND FLOOR

NO CHANGES OR OCCUPANCY TO OCCUR ON THE SECOND FLOOR.

$\frac{3}{32}" = 1'-0"$



BASEMENT

NEW WATER HEATER PROPOSED IN BASEMENT - NO OCCUPANCY TO OCCUR.

EXISTING ITEMS TO BE SALVAGED WILL BE PLACED AND STORED IN BASEMENT.

$\frac{3}{32}" = 1'-0"$

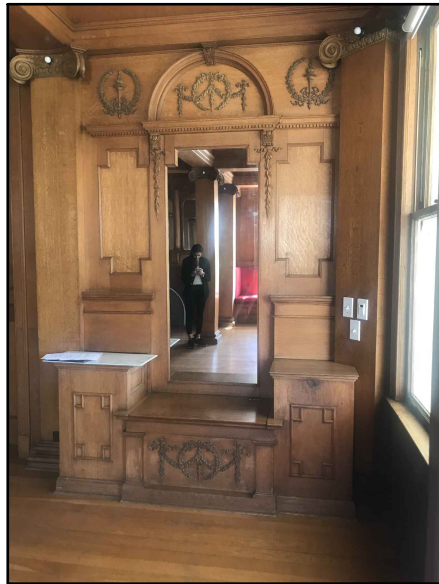


EXISTING 4'-0" WIDE FRONT
DOOR & SCREEN TO REMAIN



(A)

EXISTING ENTRY BENCH AND
ORNATE WALL DETAILS TO
REMAIN



(B)

EXISTING BENCH TO LEFT OF
FIREPLACE TO REMAIN



(C)

EXISTING STAINED WOOD WALL PANELING, PICTURE RAIL, WAINSCOT,
CORNICES, AND FLORAL DECORATIONS TO REMAIN

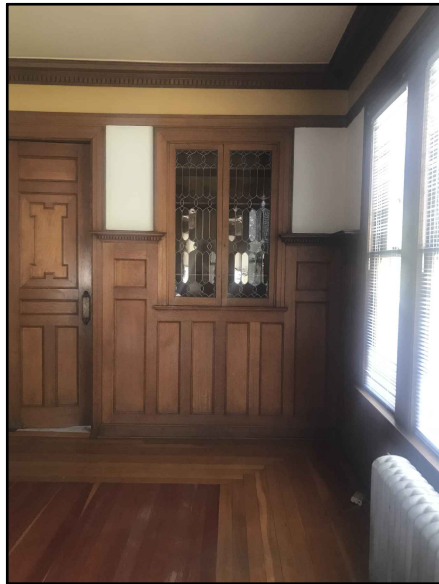


(D)



(E)

EXISTING BUILT-IN STAINED
GLASS CABINETS TO REMAIN



(F)

EXISTING CALL BELL SYSTEM
TO REMAIN



(G)

GENERAL NOTES

1. ALL CASEWORK, BUILT-IN WOOD, BENCHES, SHELVES, CABINETS, STAINED GLASS WINDOWS, AND EXISTING PANELING TO REMAIN.
2. ALL PROPOSED DISPLAY FURNISHINGS AND FIXTURES SHALL BE FREE-STANDING AND NOT AFFECT (E) WOOD PANELING. ANY NEEDED ATTACHMENTS SHALL PENETRATE THROUGH STUCCO INSTEAD OF PANELING, AS THEY CAN BE EASILY PATCHED & PAINTED TO RESTORE HISTORIC LOOK.
3. ALL EXISTING DOUBLE HUNG WINDOWS TO REMAIN.
4. ALL RADIANT HEATING TO REMAIN.
5. EXISTING CALL BELL SYSTEM MOUNTED IN KITCHEN SHALL REMAIN - SEE PHOTO OF ITEM "G".
6. WOOD BOX BEAM, DENTAL MOLDING, CORNICES, AND CARVED FLORAL DECORATIONS SHALL REMAIN.
7. MAIN STAIRCASE TO BE BLOCKED OFF WITH CONDIMENT SERVING CABINET / DISPLAY. THERE SHALL BE NO ACCESS TO THE UPPER LEVELS AT THIS TIME.
8. THE SERVICE STAIRS SHALL ALSO BE BLOCKED OFF WITH A SIGN FOR "NO ENTRY" AS THE UPPER LEVELS ARE TO REMAIN UNOCCUPIED OR USED.
9. NEW ADA AUTO OPEN / CLOSURE BUTTON TO BE INSTALLED IN CORRIDOR & IN RESTROOM TO ALLOW EQUITABLE ACCESS TO THE RESTROOM.

AREA OF PROPOSED COFFEE BAR
SEE SHEET 09

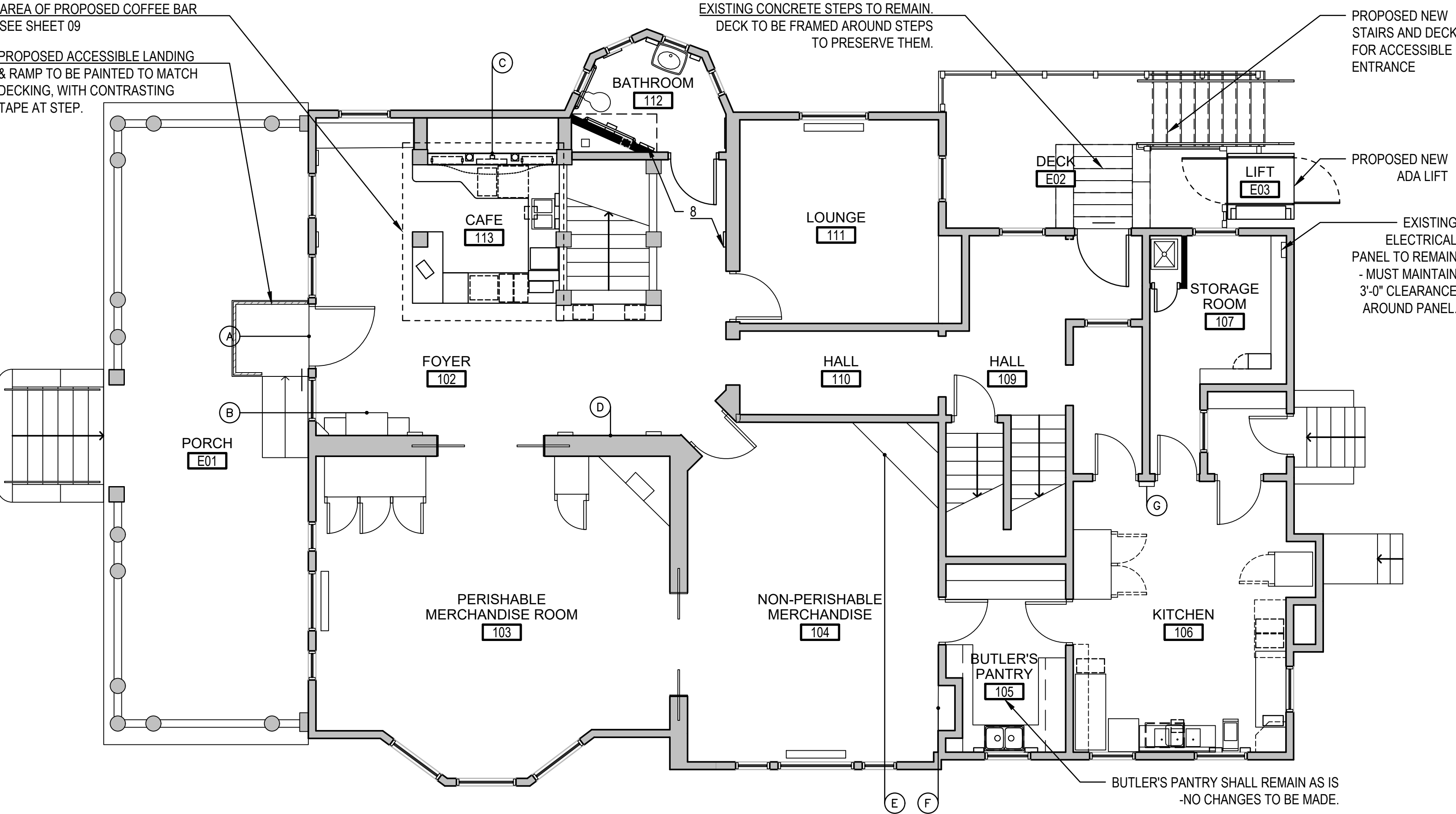
PROPOSED ACCESSIBLE LANDING
& RAMP TO BE PAINTED TO MATCH
DECKING, WITH CONTRASTING
TAPE AT STEP.

EXISTING CONCRETE STEPS TO REMAIN.
DECK TO BE FRAMED AROUND STEPS
TO PRESERVE THEM.

PROPOSED NEW
STAIRS AND DECK
FOR ACCESSIBLE
ENTRANCE

PROPOSED NEW
ADA LIFT

EXISTING
ELECTRICAL
PANEL TO REMAIN
- MUST MAINTAIN
3'-0" CLEARANCE
AROUND PANEL.



ENLARGED FIRST FLOOR PLAN

$\frac{3}{16}'' = 1'-0''$

KITCHEN STORAGE NOTES

1. (E) KITCHEN STORAGE CABINETS TO REMAIN.
2. (N) FREE-STANDING EMPLOYEE LOCKER TO BE ADDED.
3. (N) WALL TO BE CONSTRUCTED TO HOUSE JANITOR MOP SINK.
4. (E) LAUNDRY HOOKUPS TO BE USED FOR (N) MOP SINK.

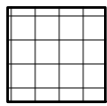
KITCHEN NOTES

1. (E) WAINSCOT TO REMAIN AND BE PROTECTED BY FRP PANELS. TRIM TO REMAIN INTACT ABOVE WAINSCOT & FRP. WALLS ABOVE TO REMAIN A SMOOTH STUCCO TEXTURE & BE REPAINTED WITH A SEMIGLOSS, WHITE FINISH.
2. CABINETS & COUNTER TOPS FROM 1975 RENOVATION TO BE REMOVED & SALVAGED IF NEEDED.
3. NEW 3-COMP SINK, HAND SINK, AND DISHWASHER SHALL BE INSTALLED PER HEALTH DEPARTMENT REQUIREMENTS.
4. NEW REFRIGERATOR & FREEZER UNITS SHALL BE FREE-STANDING AND NOT IMPACT (E) WALLS OR FLOORING.
5. (E) KITCHEN FLOORING, WHICH IS VINYL TILE, TO BE REPLACED WITH CONTINUOUS VINYL FLOORING PER HEALTH DEPARTMENT REQUIREMENTS WITH AN ADDED COVE BASE.

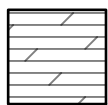
LEGEND



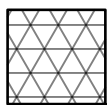
EXISTING HISTORIC WOOD FLOOR



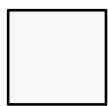
PORCELAIN TILE



EXTERIOR PAINTED WOODEN DECKING



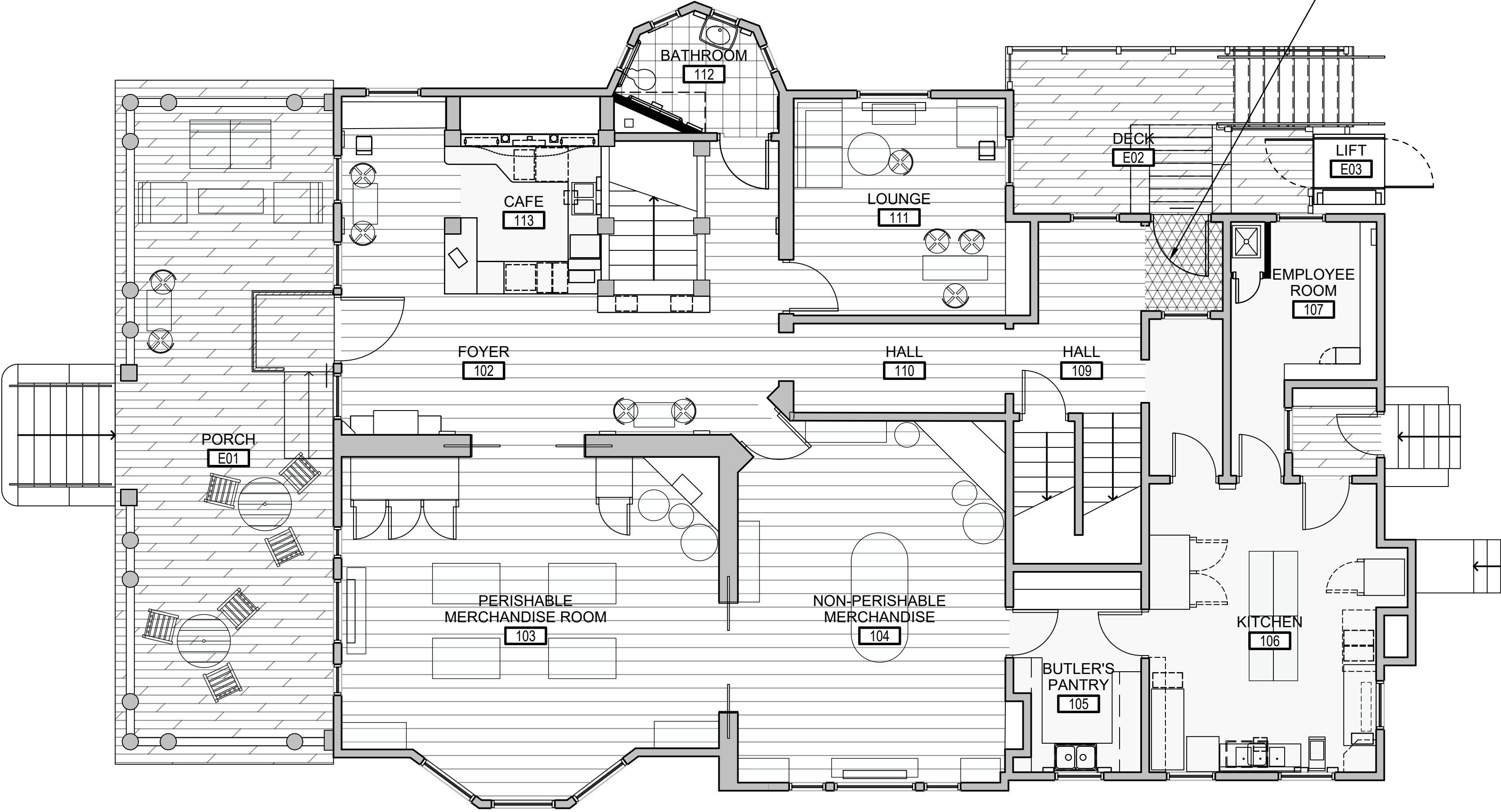
WALK OFF CARPET



SHEET VINYL

NOTE: EXISTING WOOD FLOOR TO REMAIN. EXISTING VINYL TILES TO BE REPLACED WITH SHEET VINYL

PROPOSED ACCESSIBLE SIDE ENTRY TO HAVE ACCESSIBLE GRADE WALK OFF MAT PROVIDED OVER NEW SUBSTRATE OVER EXISTING EXTERIOR PAINTED DECKING AT VESTIBULE. EXISTING THRESHOLD TO REMAIN AND TO BE EXTENDED TO PROVIDE TRANSITION FROM VESTIBULE TO EXISTING WOOD FLOORS.



NOTE: ALL FURNITURE, DISPLAY FIXTURES, AND SHELVEING TO BE FREE-STANDING IN MERCHANDISE ROOMS & KITCHEN. NO STRUCTURAL ANCHORING IS REQUIRED. SEVERAL EXISTING GIRDERS AND JOISTS SHALL BE DOUBLED UP TO PROVIDE THE CURRENT CODE'S DEAD LOAD REQUIREMENTS - THIS DESIGN LOAD SHALL ALLOW FOR ANY ADDITIONAL EQUIPMENT THAT HAS BEEN NOTED ON THE PLANS.

FIRST FLOOR FURNISHING & EQUIPMENT

$\frac{3}{16}'' = 1'-0''$

NEW WOOD HANDRAIL,
2X WOOD PICKETS
W/6X POST, AND
WOOD DECKING TO BE
PAINTED TO MATCH
BUILDING

NEW ACCESSIBLE LIFT

NEW STAIRS AND
DECK TO
ACCESSIBLE
ENTRANCE

NEW WOOD STUD
SUPPORT WALL FOR
DECK TO BE PAINTED
WITH ELASTOMERIC
PAINT TO MATCH
EXISTING TEXTURE &
COLOR.

NEW TRIM TO
MATCH EXISTING
TRIM WRAP AT
WALL TO DENOTE
CHANGE IN
MATERIALS. PAINT
TO MATCH
EXISTING



SOUTH ELEVATION

AREA OF PROPOSED
NEW WORK

NEW ACCESS PANEL

$\frac{3}{16}'' = 1'-0''$



WEST ELEVATION (REAR)

$\frac{3}{16}'' = 1'-0''$



EAST ELEVATION (FRONT)

$\frac{3}{16}'' = 1'-0''$

WATERFALL QUARTZ



(A)

PENDANT LIGHTS



(B)

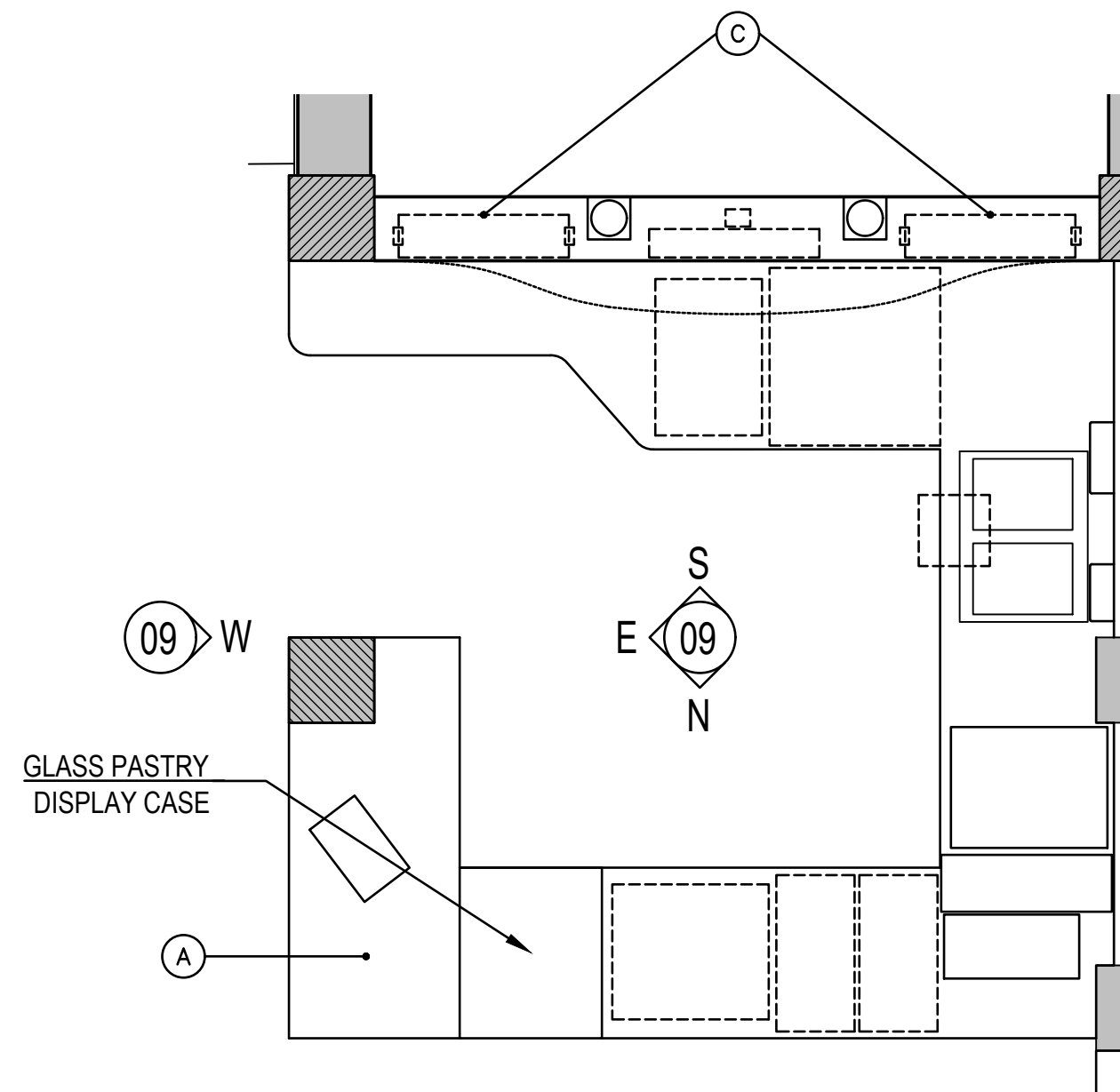
ROD & CABLE W/ GLASS SHELVE



(C)



COFFEE BAR CONCEPT SKETCH



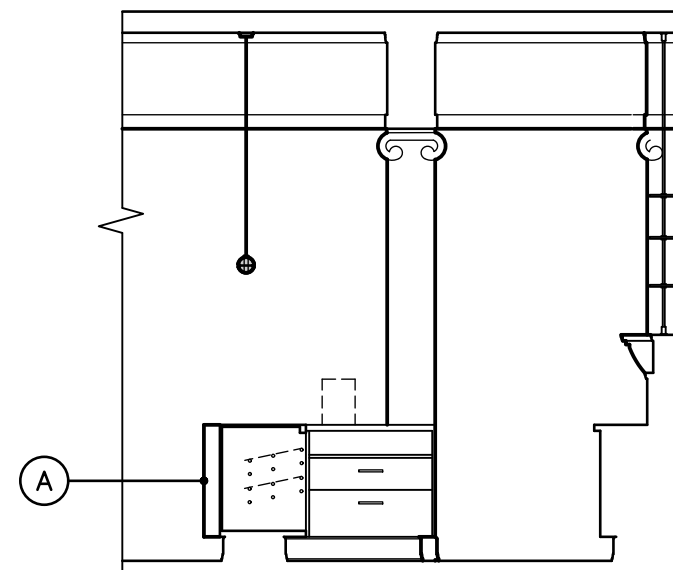
ENLARGED COFFEE BAR PLAN

$\frac{1}{2}" = 1'-0"$



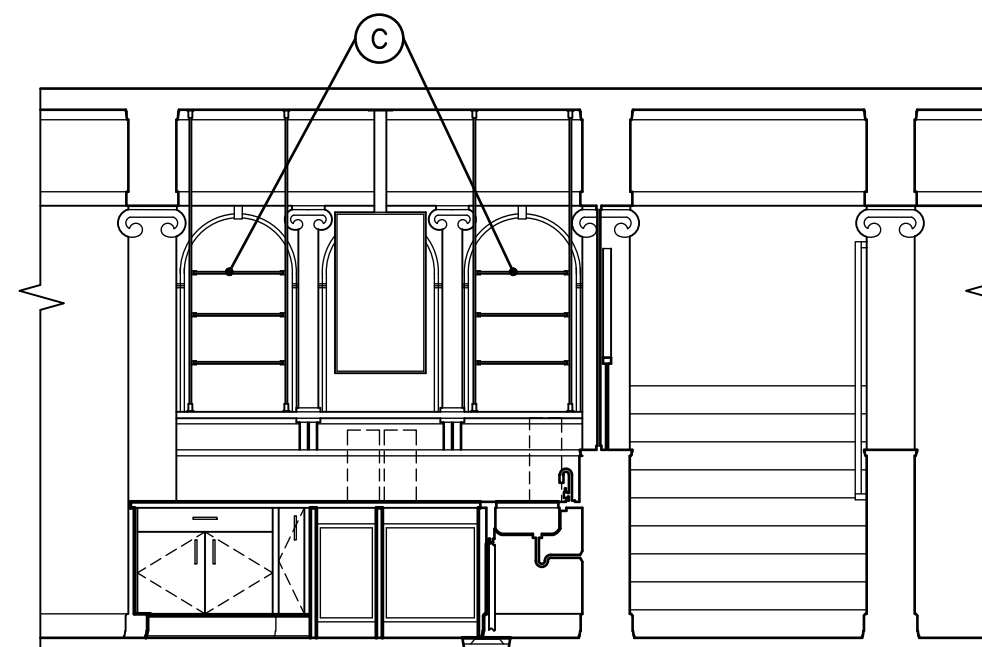
COFFEE BAR NOTES

1. (E) MANTLE & ARCHED MIRRORS WILL HAVE MINIMAL IMPACT FROM CEILING SUSPENDED SHELVEING AND MENU BOARD.
2. THE SHELVEING SYSTEM SHALL BE A ROD & CABLE WITH GLASS SHELVEIS TO UTILIZE THE MIRRORS AND OVERALL AESTHETIC OF THE ARCHITECTURE AS PART OF THE DISPLAY - SEE IMAGE C.
3. (N) PENDANT LIGHTS TO BE SUSPENDED FROM CEILING THROUGH (E) CEILING - SEE IMAGE B.
4. (E) WOOD FLOORING SHALL BE REMOVED, NUMBERED, AND SALVAGED. (N) SHEET VINYL FLOORING TO BE INSTALLED OVER NEW SUBSTRATE TO PROTECT (E) STRUCTURE.
5. (E) BENCH TO BE REMOVED AND SALVAGED.
6. (N) CLEAR PLEXIGLAS WILL BE MOUNTED TO STAIRCASE FOR PROTECTION WHILE ALLOWING FOR VISIBILITY OF THE ORIGINAL ARCHITECTURE. PLEXIGLAS TO BE MOUNTED TO NEW COUNTER TOP AND SEAMED ADHERE TO WRAP AROUND COLUMN.



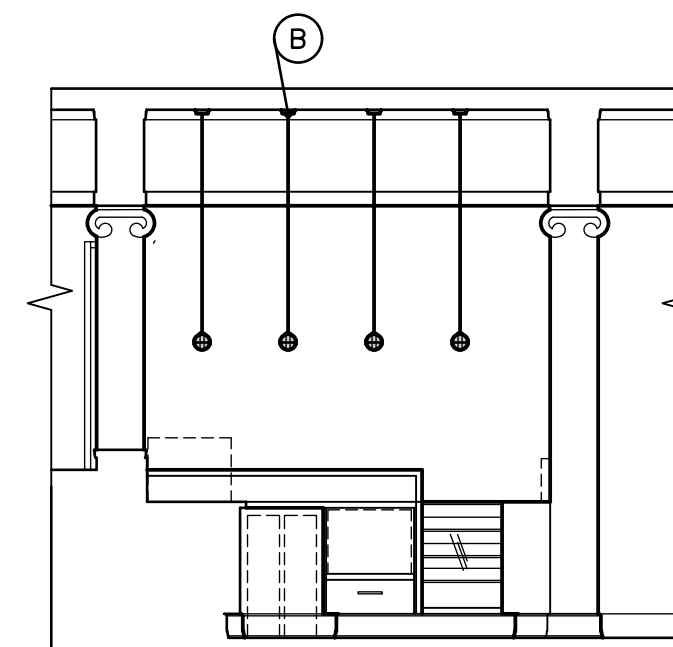
EAST ELEVATION

$\frac{1}{2}" = 1'-0"$



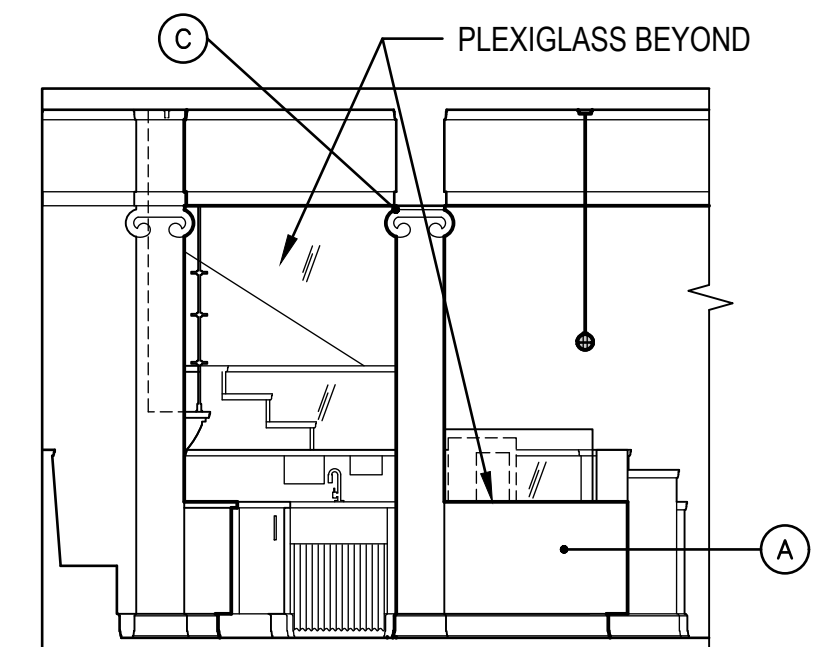
SOUTH ELEVATION

$\frac{1}{2}" = 1'-0"$



NORTH ELEVATION

$\frac{1}{2}" = 1'-0"$



WEST ELEVATION

$\frac{1}{2}" = 1'-0"$

WAINSCOT & FLOOR TILE



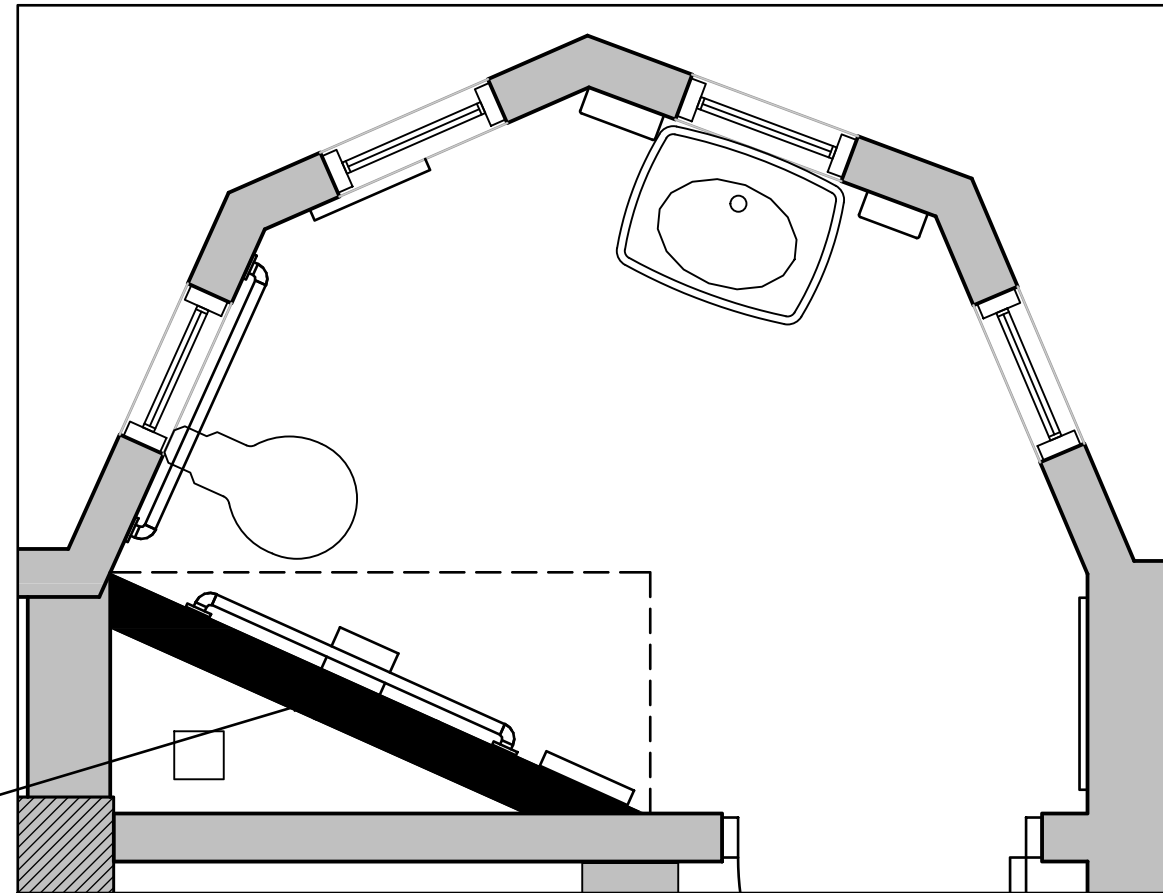
(A)

MARE ISLAND BRAND
WALLPAPER



(B)

NEW WALL TO SUPPORT
GRAB BAR & ALLOW
FOR EXHAUST FAN



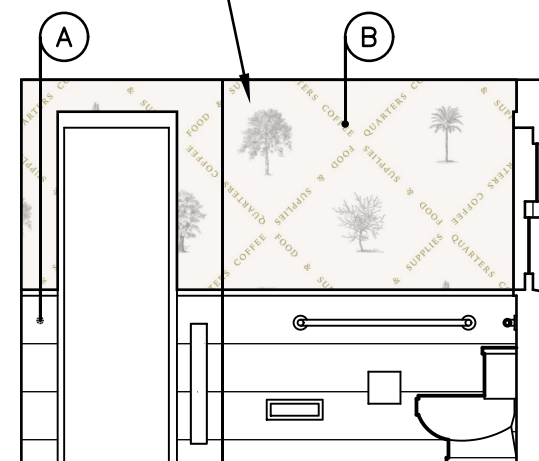
ENLARGED BATHROOM PLAN

$\frac{1}{2}" = 1'-0"$

BATHROOM NOTES

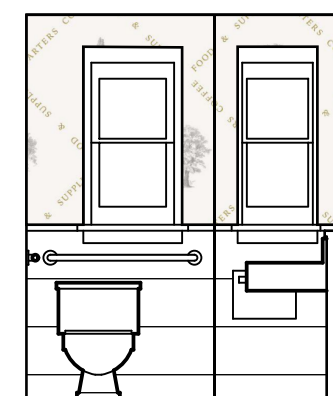
1. BATHROOM TO RECEIVE REFRESH & ADA UPGRADES.
2. THE CURRENT SINK LOCATION IS IN THE BEND OF THE WALL, WHERE TWO OF THE CURRENT SILL TRIMS HAVE BEEN MODIFIED FOR IT TO FIT. THE SINK IS BEING RELOCATED TO UNDER A WINDOW. THE EXISTING SILLS SHALL BE RESTORED / REPLACED AND PAINTED TO MATCH THE EXISTING SILLS.

WALL PAPER TO BE
APPLIED TO ALL
UPPER WALLS



NORTH ELEVATION

$\frac{1}{4}" = 1'-0"$



EAST ELEVATION

$\frac{1}{4}" = 1'-0"$

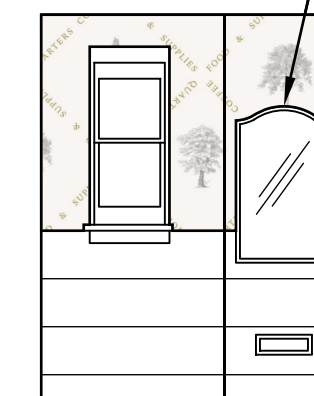
REPAIR EXISTING WINDOW SILL
& PAINT TO MATCH



SOUTH ELEVATION

$\frac{1}{4}" = 1'-0"$

EXISTING FRAMELESS MIRROR
TO BE LOWERED PER ADA
HEIGHT REQUIRED



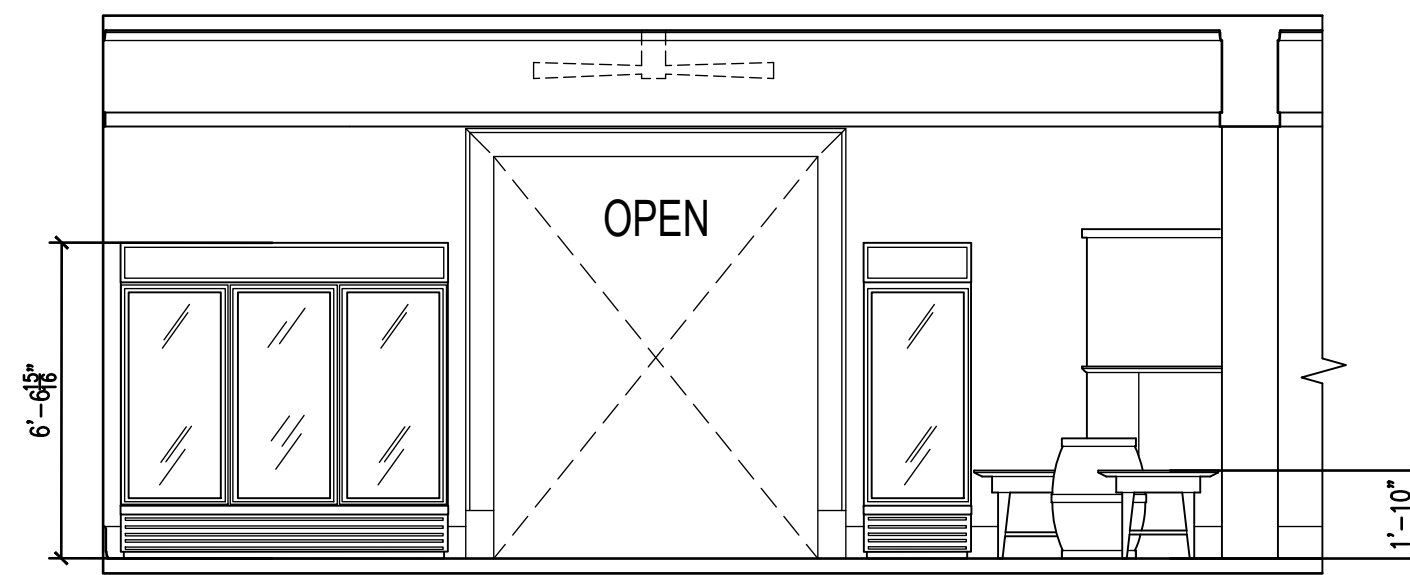
WEST ELEVATION

$\frac{1}{4}" = 1'-0"$



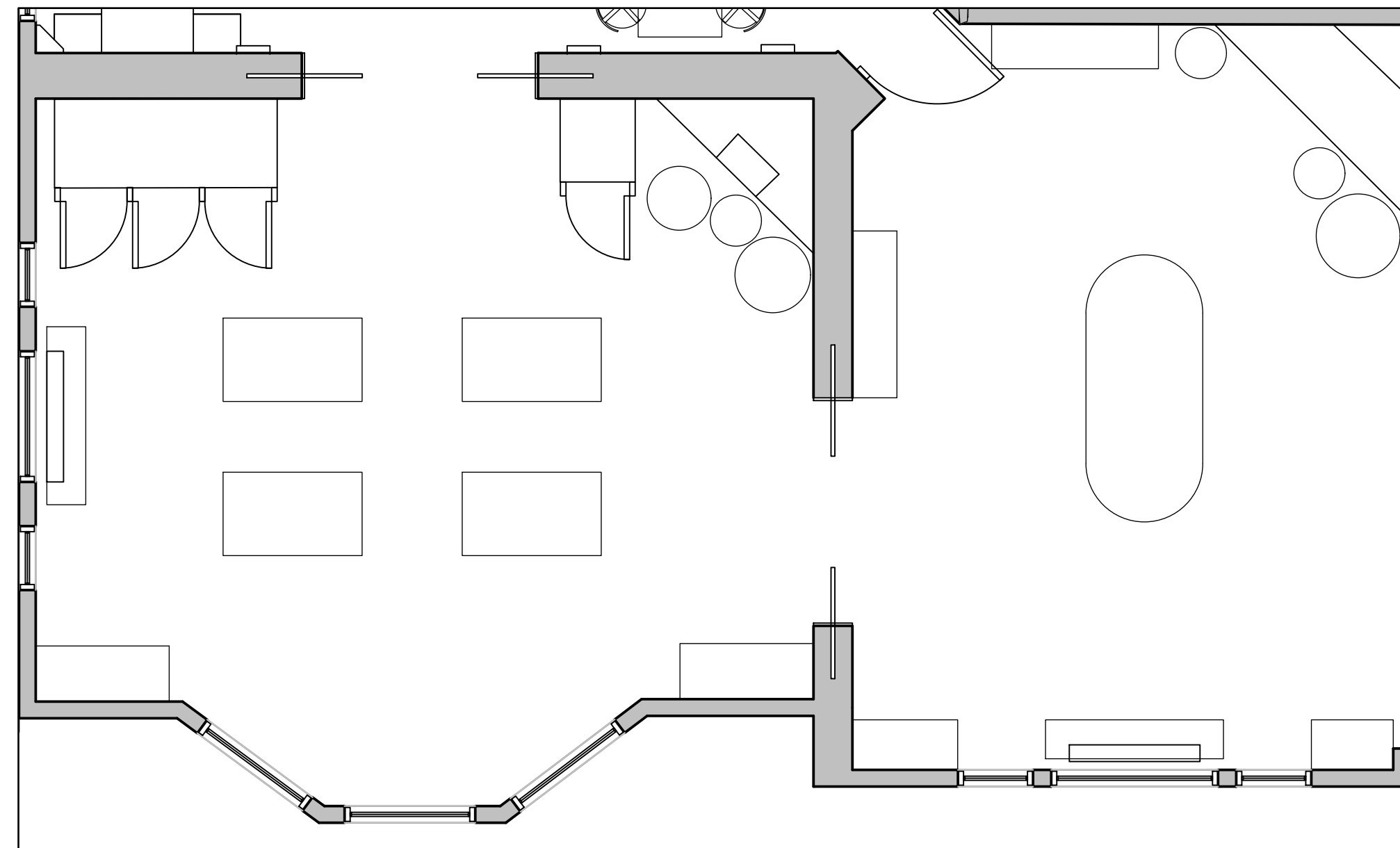
PERISHABLE MERCHANDISE - NORTH ELEVATION

$\frac{1}{4}'' = 1'-0''$



PERISHABLE MERCHANDISE - WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$



PERISHABLE MERCHANDISE ROOM

NON PERISHABLE MERCHANDISE

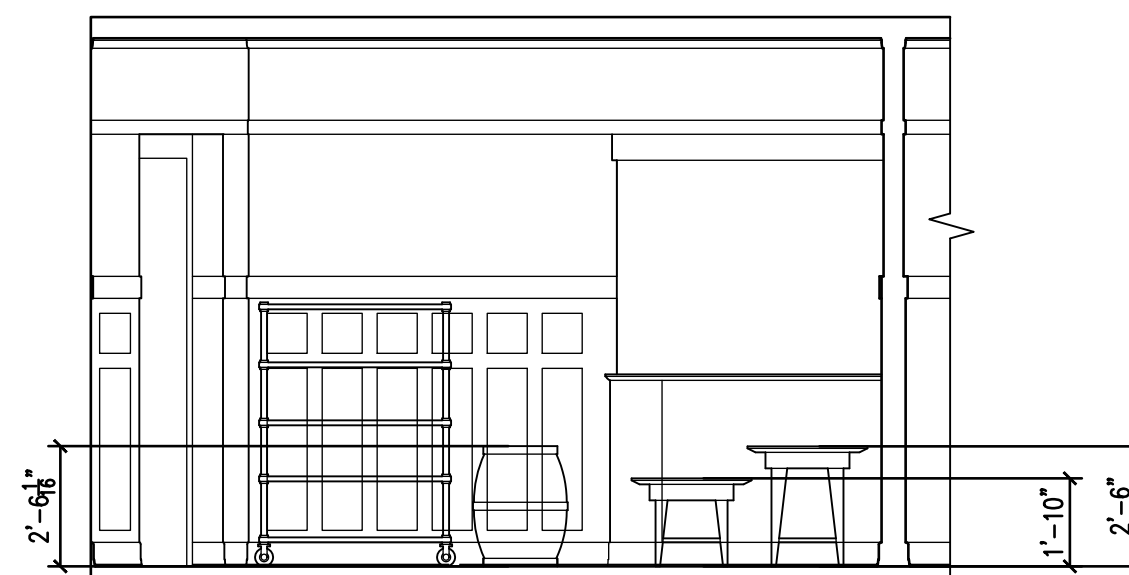
$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

NORTH ELEVATION

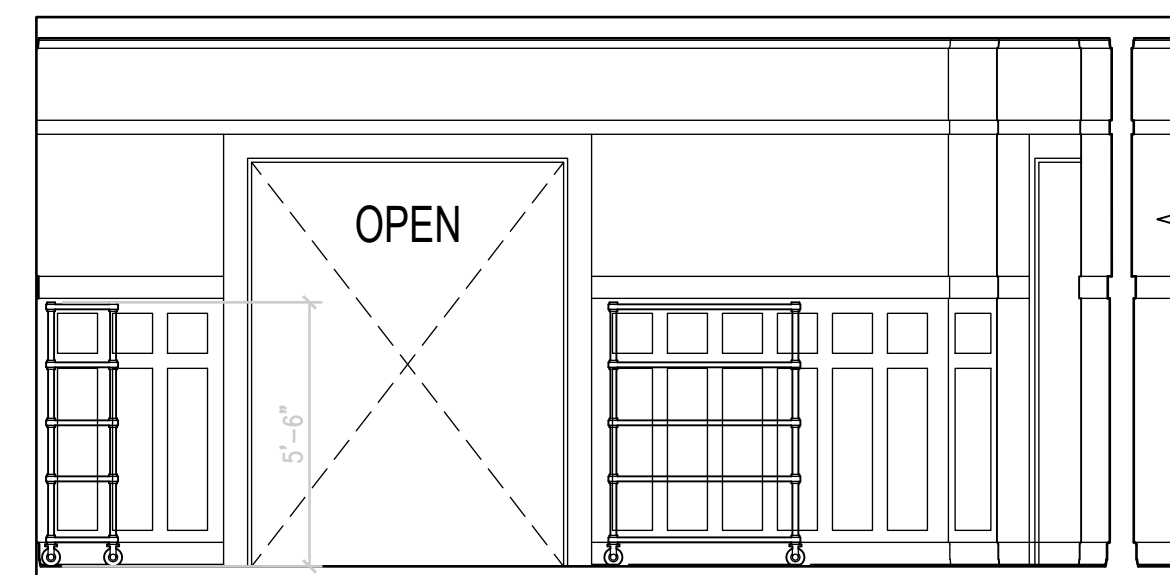
$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

EAST ELEVATION

$\frac{1}{4}'' = 1'-0''$



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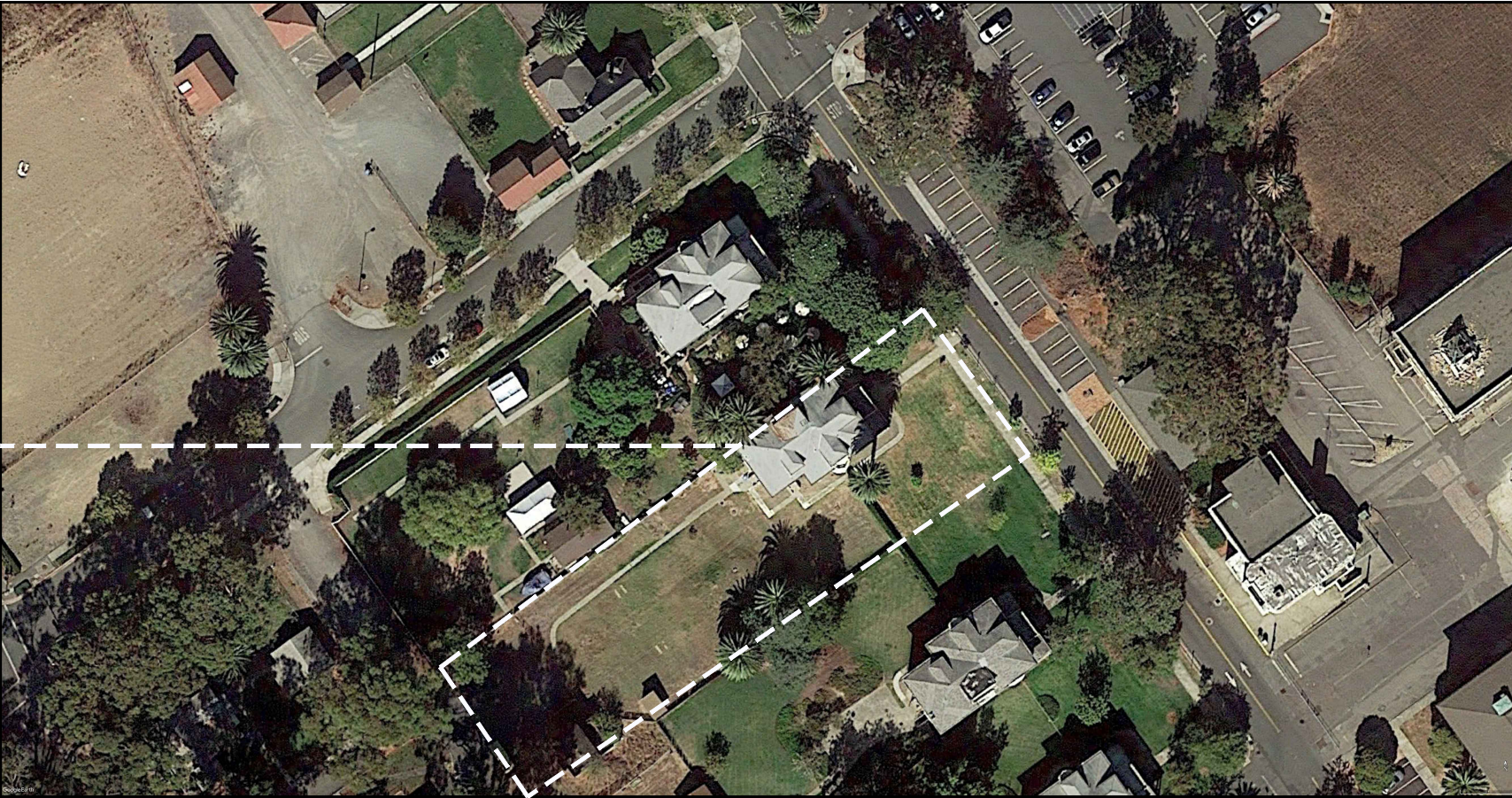
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AERIAL VIEW



VICINITY MAP

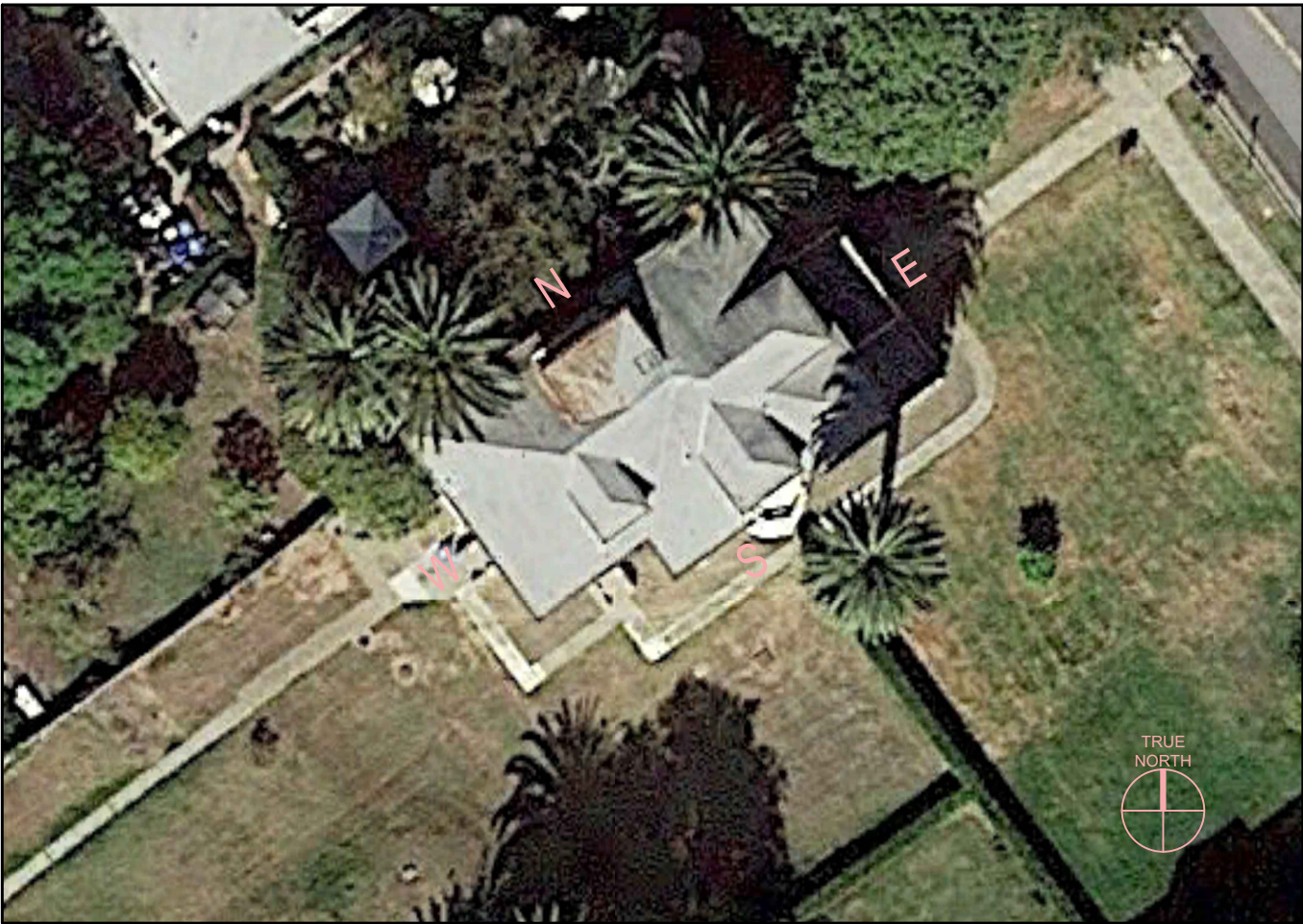


QUARTERS N





NORTH ELEVATION



AERIAL ROOF



EAST ELEVATION



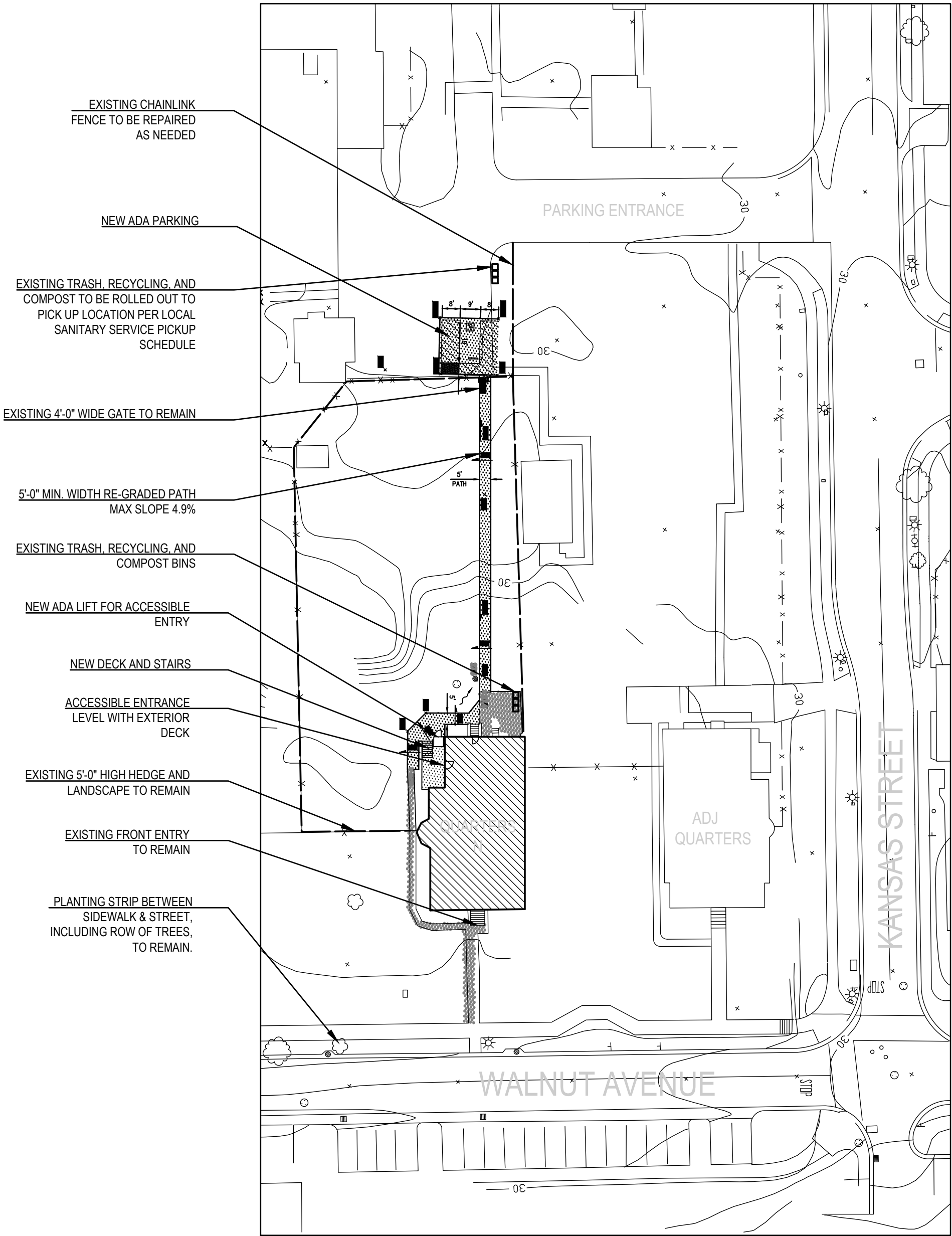
WEST ELEVATION

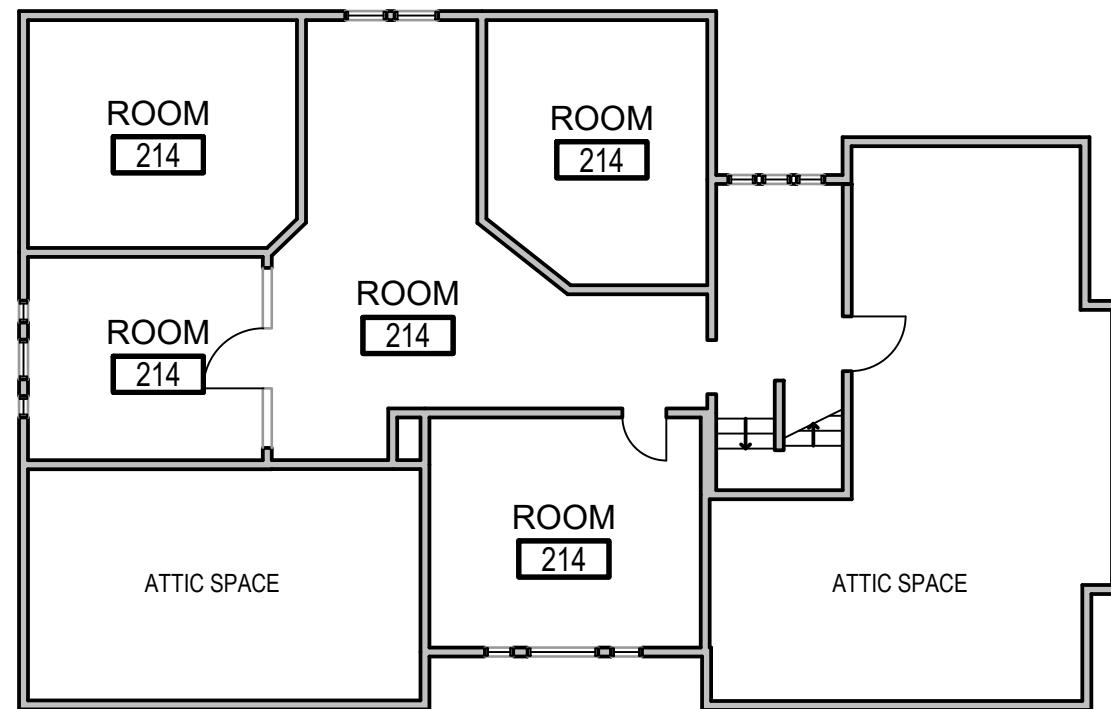


SOUTH ELEVATION

SITE PLAN NOTES

- 1. EXISTING HEXAGON CONCRETE PAVERS TO REMAIN.
- 2. EXISTING 5 FOOT HEDGE SEPARATING FRONT & REAR YARDS TO REMAIN.
- 3. LARGE FRONT YARD WITH GRASS & TREES TO REMAIN.
- 4. EXISTING MOUND ON SOUTH SIDE OF REAR YARD TO REMAIN.
- 5. EXISTING LOW SLOPING CONCRETE PATHWAY BE GRADED ACCOMMODATE LESS THAN 4.9% ACCESSIBLE PATHWAY FROM PARKING AT REAR OF YARD TO ACCESSIBLE SIDE ENTRANCE.
- 6. EXISTING PARKING AREA BEHIND SITE TO PROVIDE NEW ACCESSIBLE PARKING SPACES.





THIRD FLOOR / ATTIC

NO CHANGES OR OCCUPANCY TO OCCUR ON THIRD FLOOR / ATTIC.

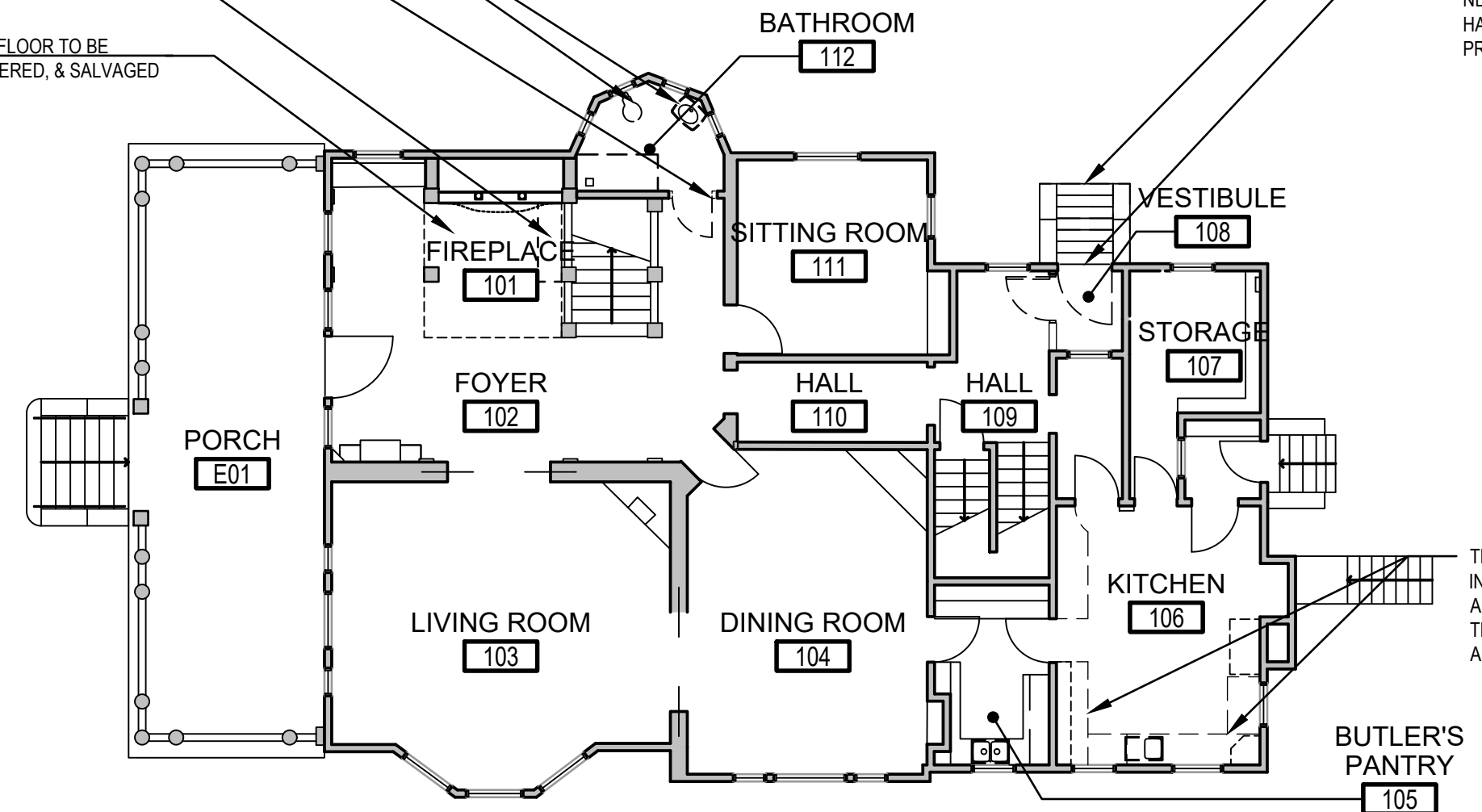
$\frac{3}{32}'' = 1'-0''$

EXISTING WATER CLOSET & SINK TO BE REMOVED, SINK TO BE SALVAGED.

EXISTING RESTROOM DOOR TO BE REMOVED & SALVAGED FOR NEW, LARGER ACCESSIBLE DOOR

EXISTING BENCH TO BE REMOVED & SALVAGED.

EXISTING WOOD FLOOR TO BE REMOVED, NUMBERED, & SALVAGED FOR REUSE.



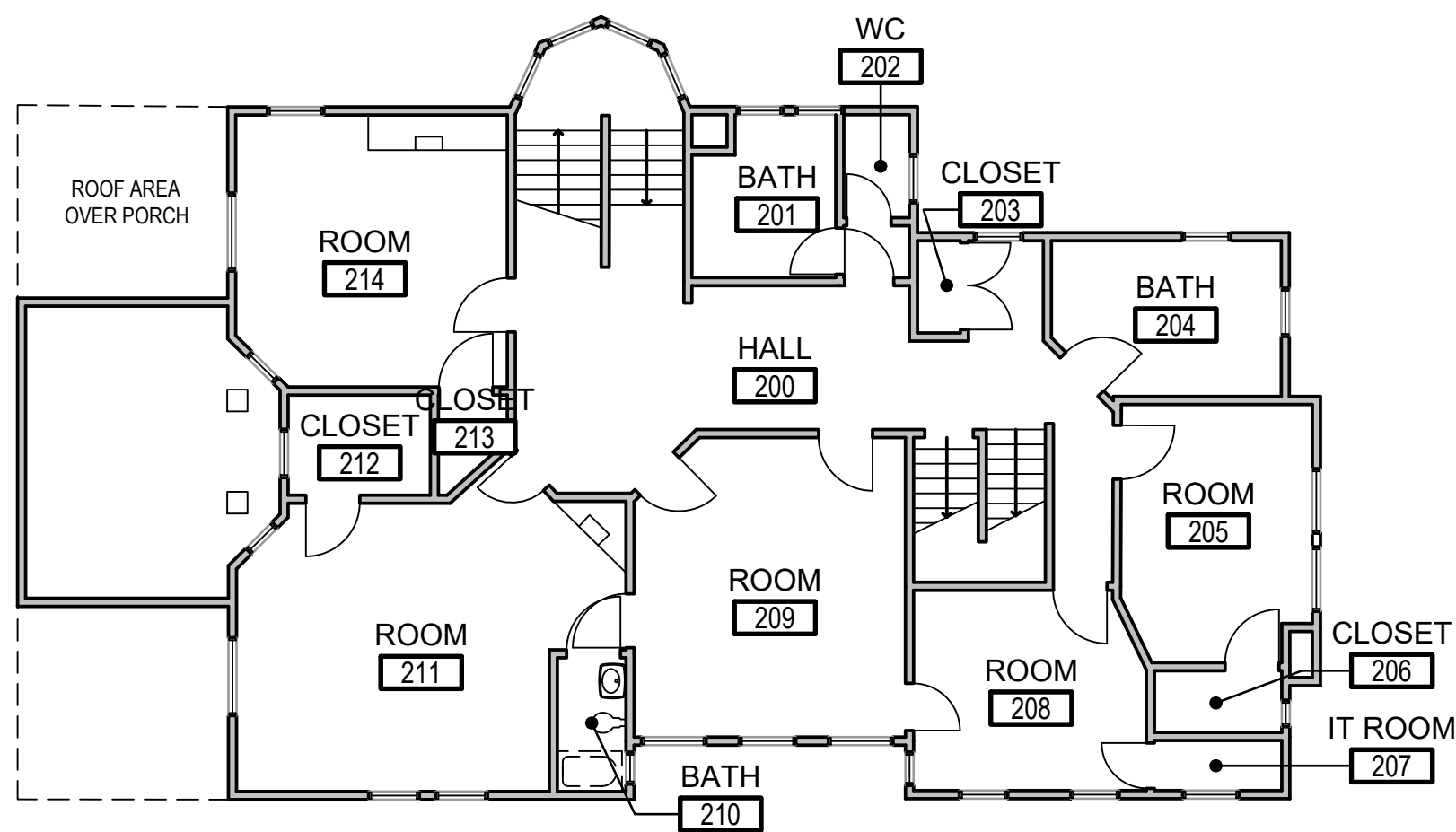
FIRST FLOOR & DEMO PLAN

$\frac{3}{32}'' = 1'-0''$

EXISTING CONCRETE STEPS TO REMAIN UNDER NEW DECK

EXISTING SCREEN DOOR AND SECONDARY DOORS TO BE REMOVED & SALVAGED. NEW ACCESSIBLE ENTRANCE TO HAVE SIMILAR STYLE AS PREVIOUS SCREEN DOOR.

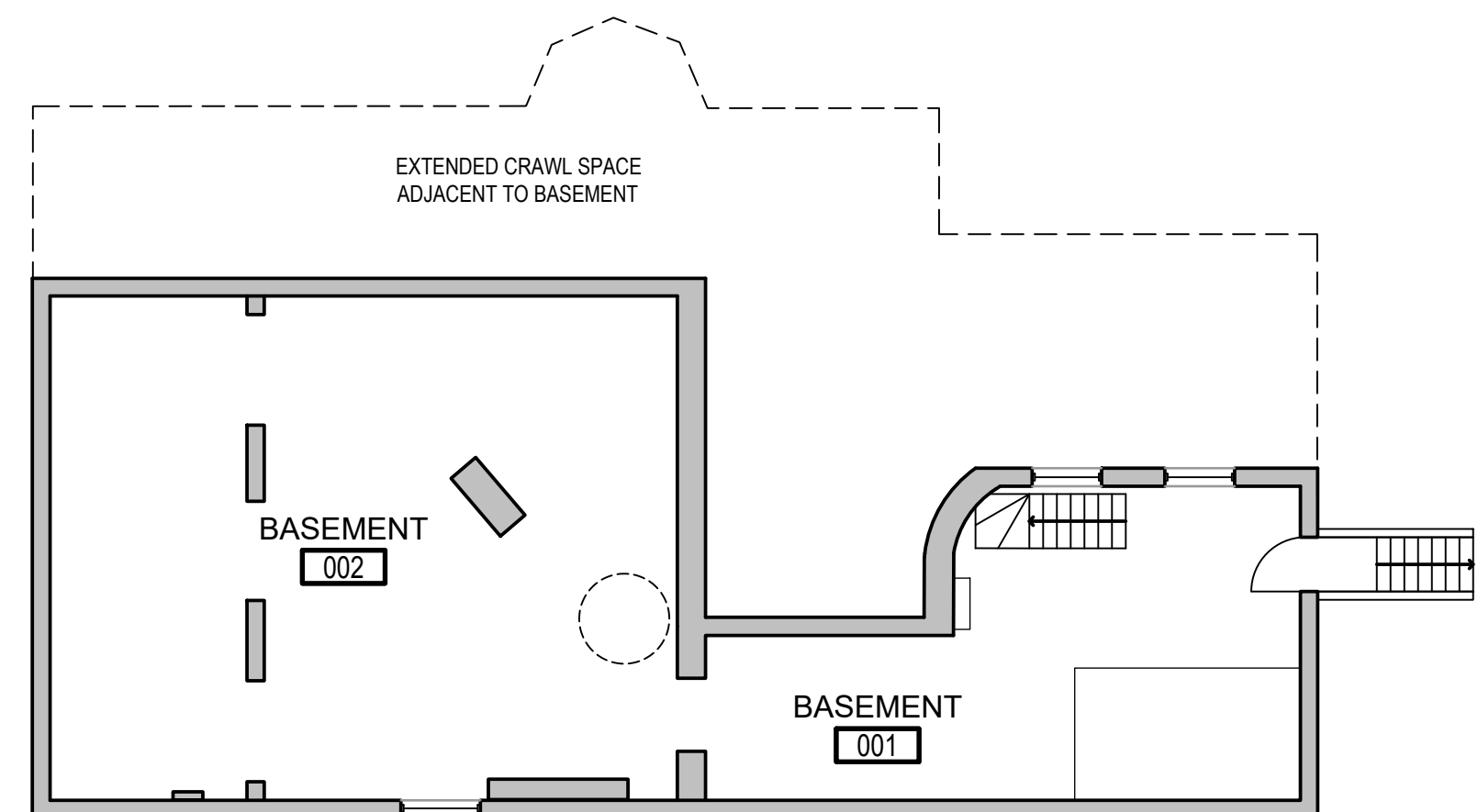
THE KITCHEN WAS RENOVATED IN 1975 WITH NEW CABINETRY AND FORMICA COUNTER TOPS. THESE SHALL BE REMOVED AND SALVAGED IF NEEDED.



SECOND FLOOR

NO CHANGES OR OCCUPANCY TO OCCUR ON THE SECOND FLOOR.

$\frac{3}{32}'' = 1'-0''$



BASEMENT

NEW WATER HEATER PROPOSED IN BASEMENT - NO OCCUPANCY TO OCCUR.

EXISTING ITEMS TO BE SALVAGED WILL BE PLACED AND STORED IN BASEMENT.

$\frac{3}{32}'' = 1'-0''$

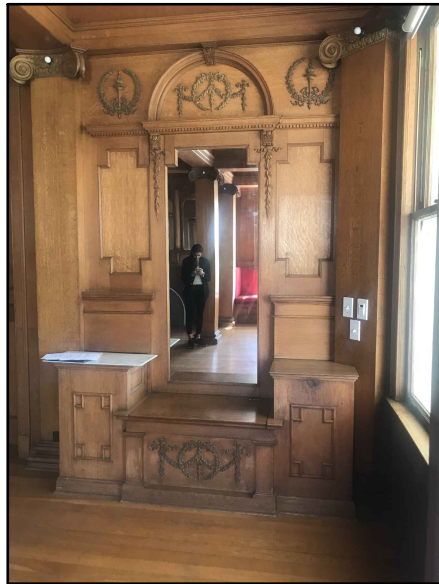


EXISTING 4'-0" WIDE FRONT
DOOR & SCREEN TO REMAIN



(A)

EXISTING ENTRY BENCH AND
ORNATE WALL DETAILS TO
REMAIN



(B)

EXISTING BENCH TO LEFT OF
FIREPLACE TO REMAIN



(C)

EXISTING STAINED WOOD WALL PANELING, PICTURE RAIL, WAINSCOT,
CORNICES, AND FLORAL DECORATIONS TO REMAIN



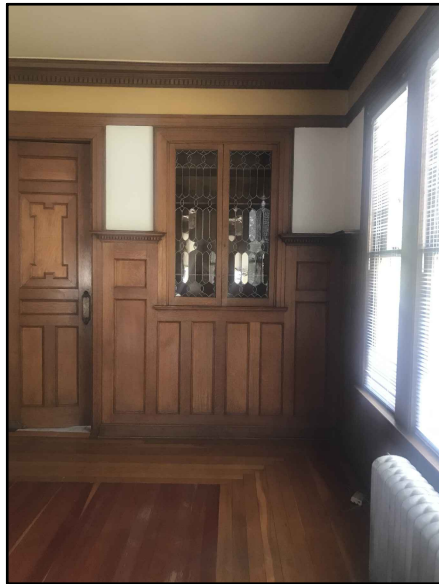
(D)

EXISTING BUILT-IN STAINED
GLASS CABINETS TO REMAIN



(E)

EXISTING CALL BELL SYSTEM
TO REMAIN



(F)



(G)

GENERAL NOTES

1. ALL CASEWORK, BUILT-IN WOOD, BENCHES, SHELVES, CABINETS, STAINED GLASS WINDOWS, AND EXISTING PANELING TO REMAIN.
2. ALL PROPOSED DISPLAY FURNISHINGS AND FIXTURES SHALL BE FREE-STANDING AND NOT AFFECT (E) WOOD PANELING. ANY NEEDED ATTACHMENTS SHALL PENETRATE THROUGH STUCCO INSTEAD OF PANELING, AS THEY CAN BE EASILY PATCHED & PAINTED TO RESTORE HISTORIC LOOK.
3. ALL EXISTING DOUBLE HUNG WINDOWS TO REMAIN.
4. ALL RADIANT HEATING TO REMAIN.
5. EXISTING CALL BELL SYSTEM MOUNTED IN KITCHEN SHALL REMAIN - SEE PHOTO OF ITEM "G".
6. WOOD BOX BEAM, DENTAL MOLDING, CORNICES, AND CARVED FLORAL DECORATIONS SHALL REMAIN.
7. MAIN STAIRCASE TO BE BLOCKED OFF WITH CONDIMENT SERVING CABINET / DISPLAY. THERE SHALL BE NO ACCESS TO THE UPPER LEVELS AT THIS TIME.
8. THE SERVICE STAIRS SHALL ALSO BE BLOCKED OFF WITH A SIGN FOR "NO ENTRY" AS THE UPPER LEVELS ARE TO REMAIN UNOCCUPIED OR USED.
9. NEW ADA AUTO OPEN / CLOSURE BUTTON TO BE INSTALLED IN CORRIDOR & IN RESTROOM TO ALLOW EQUITABLE ACCESS TO THE RESTROOM.

AREA OF PROPOSED COFFEE BAR
SEE SHEET 09

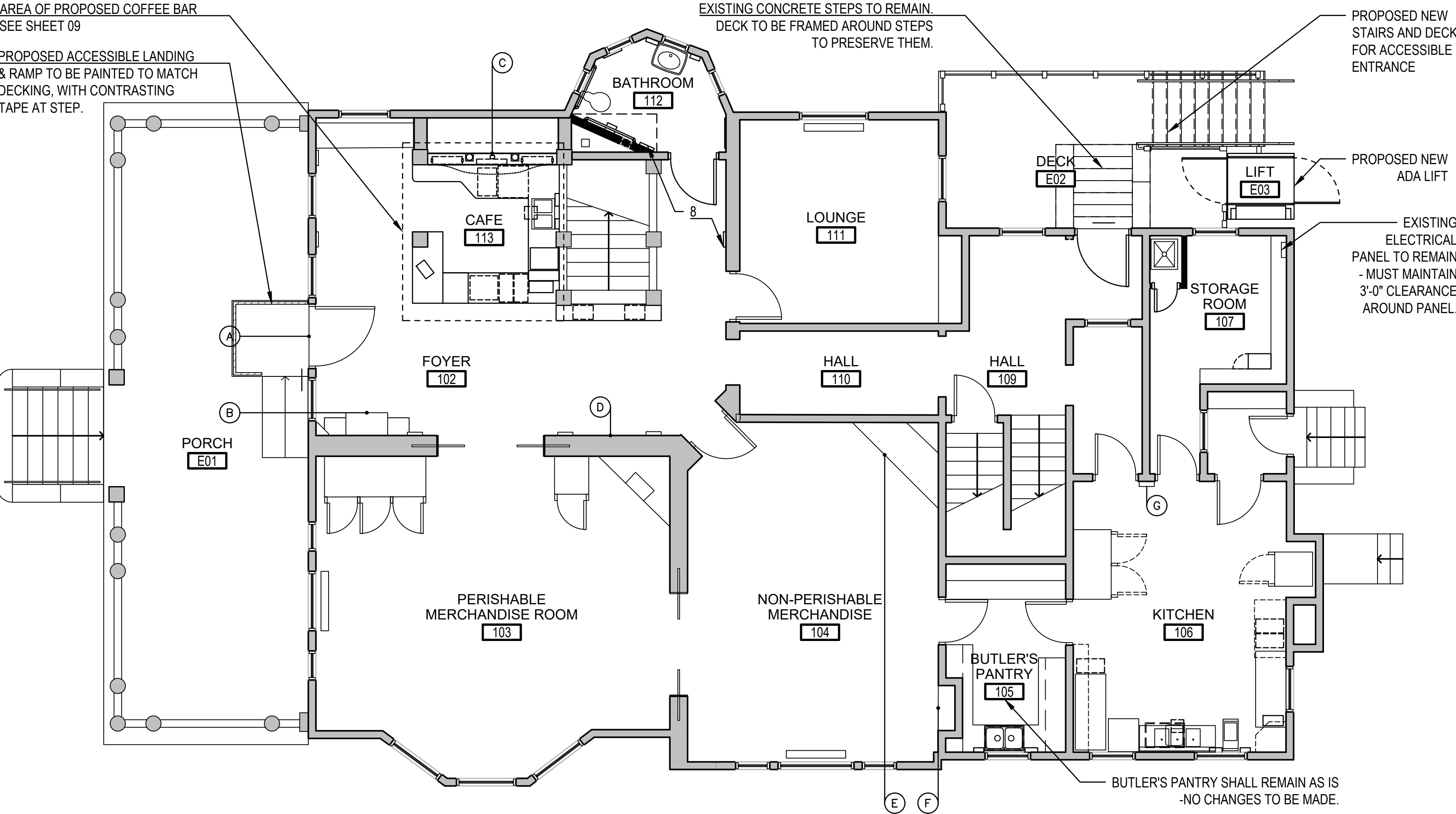
PROPOSED ACCESSIBLE LANDING
& RAMP TO BE PAINTED TO MATCH
DECKING, WITH CONTRASTING
TAPE AT STEP.

EXISTING CONCRETE STEPS TO REMAIN.
DECK TO BE FRAMED AROUND STEPS
TO PRESERVE THEM.

PROPOSED NEW
STAIRS AND DECK
FOR ACCESSIBLE
ENTRANCE

PROPOSED NEW
ADA LIFT

EXISTING
ELECTRICAL
PANEL TO REMAIN
- MUST MAINTAIN
3'-0" CLEARANCE
AROUND PANEL.



ENLARGED FIRST FLOOR PLAN

$\frac{3}{16}'' = 1'-0''$

KITCHEN STORAGE NOTES

1. (E) KITCHEN STORAGE CABINETS TO REMAIN.
2. (N) FREE-STANDING EMPLOYEE LOCKER TO BE ADDED.
3. (N) WALL TO BE CONSTRUCTED TO HOUSE JANITOR MOP SINK.
4. (E) LAUNDRY HOOKUPS TO BE USED FOR (N) MOP SINK.

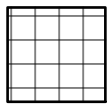
KITCHEN NOTES

1. (E) WAINSCOT TO REMAIN AND BE PROTECTED BY FRP PANELS. TRIM TO REMAIN INTACT ABOVE WAINSCOT & FRP. WALLS ABOVE TO REMAIN A SMOOTH STUCCO TEXTURE & BE REPAINTED WITH A SEMIGLOSS, WHITE FINISH.
2. CABINETS & COUNTER TOPS FROM 1975 RENOVATION TO BE REMOVED & SALVAGED IF NEEDED.
3. NEW 3-COMP SINK, HAND SINK, AND DISHWASHER SHALL BE INSTALLED PER HEALTH DEPARTMENT REQUIREMENTS.
4. NEW REFRIGERATOR & FREEZER UNITS SHALL BE FREE-STANDING AND NOT IMPACT (E) WALLS OR FLOORING.
5. (E) KITCHEN FLOORING, WHICH IS VINYL TILE, TO BE REPLACED WITH CONTINUOUS VINYL FLOORING PER HEALTH DEPARTMENT REQUIREMENTS WITH AN ADDED COVE BASE.

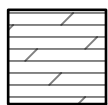
LEGEND



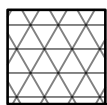
EXISTING HISTORIC WOOD FLOOR



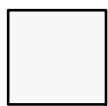
PORCELAIN TILE



EXTERIOR PAINTED WOODEN DECKING



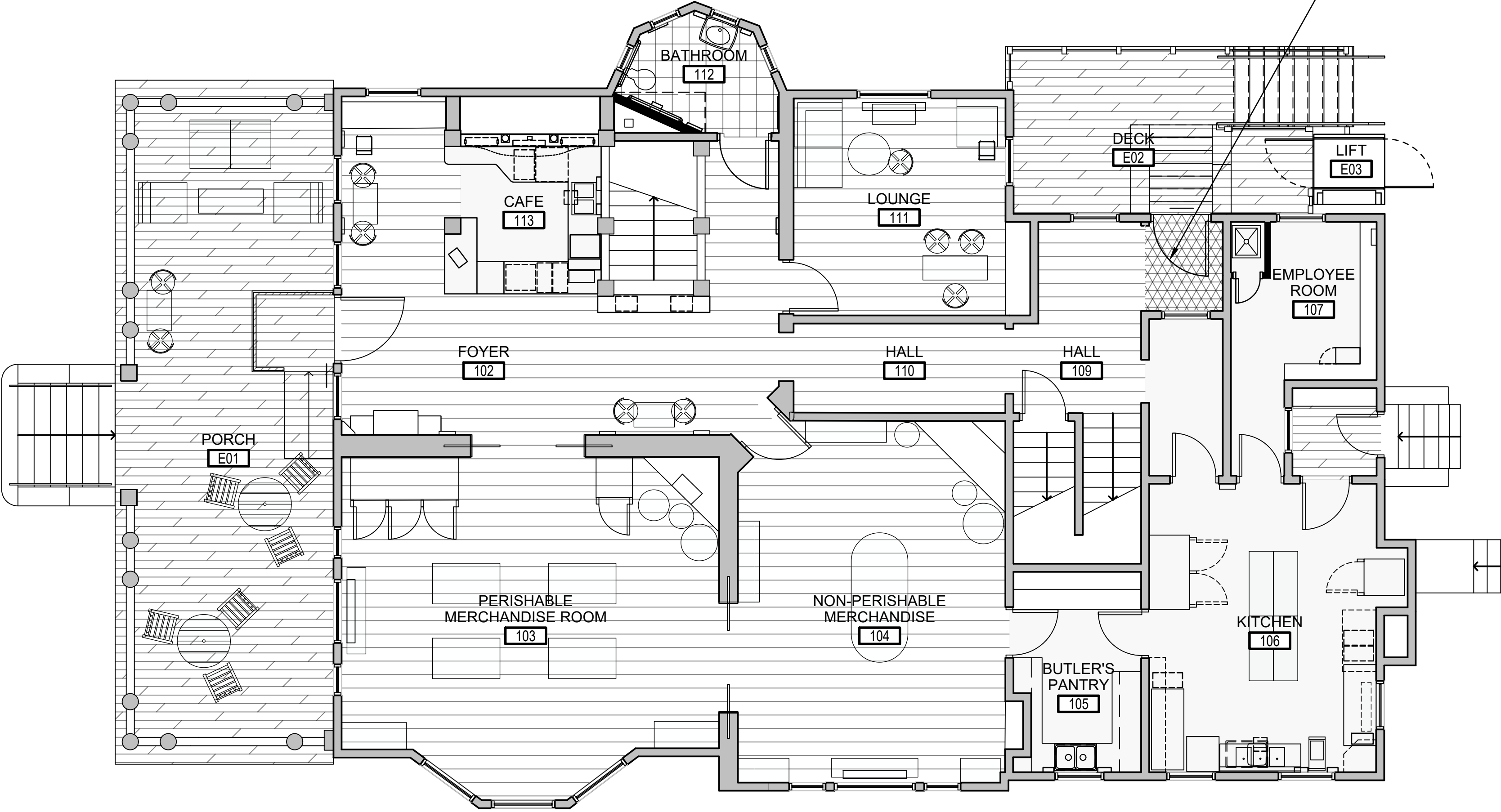
WALK OFF CARPET



SHEET VINYL

NOTE: EXISTING WOOD FLOOR TO REMAIN. EXISTING VINYL TILES TO BE REPLACED WITH SHEET VINYL

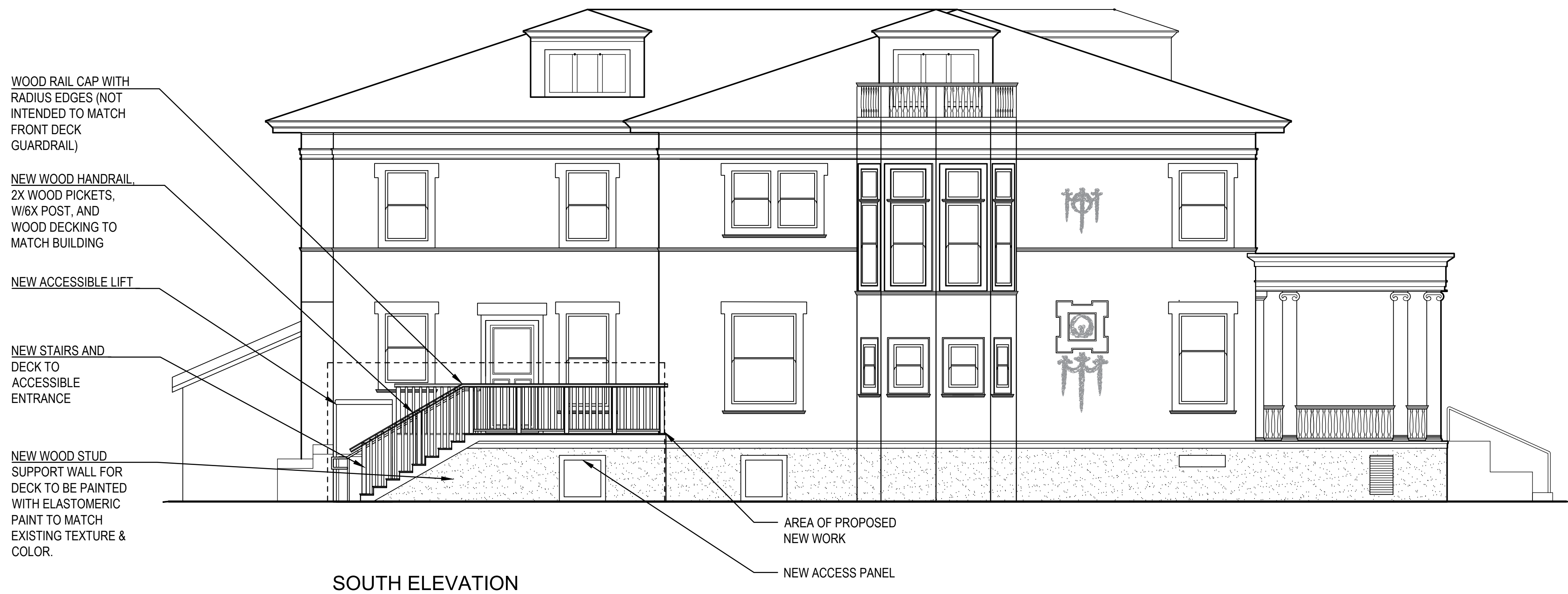
PROPOSED ACCESSIBLE SIDE ENTRY TO HAVE ACCESSIBLE GRADE WALK OFF MAT PROVIDED OVER NEW SUBSTRATE OVER EXISTING EXTERIOR PAINTED DECKING AT VESTIBULE. EXISTING THRESHOLD TO REMAIN AND TO BE EXTENDED TO PROVIDE TRANSITION FROM VESTIBULE TO EXISTING WOOD FLOORS.



NOTE: ALL FURNITURE, DISPLAY FIXTURES, AND SHELVEING TO BE FREE-STANDING IN MERCHANDISE ROOMS & KITCHEN. NO STRUCTURAL ANCHORING IS REQUIRED. SEVERAL EXISTING GIRDERS AND JOISTS SHALL BE DOUBLED UP TO PROVIDE THE CURRENT CODE'S DEAD LOAD REQUIREMENTS - THIS DESIGN LOAD SHALL ALLOW FOR ANY ADDITIONAL EQUIPMENT THAT HAS BEEN NOTED ON THE PLANS.

FIRST FLOOR FURNISHING & EQUIPMENT

$\frac{3}{16}'' = 1'-0''$



$\frac{3}{16}" = 1'-0"$



WEST ELEVATION (REAR)

$\frac{3}{16}'' = 1'-0''$



EAST ELEVATION (FRONT)

$\frac{3}{16}'' = 1'-0''$

WATERFALL QUARTZ



(A)

PENDANT LIGHTS



(B)

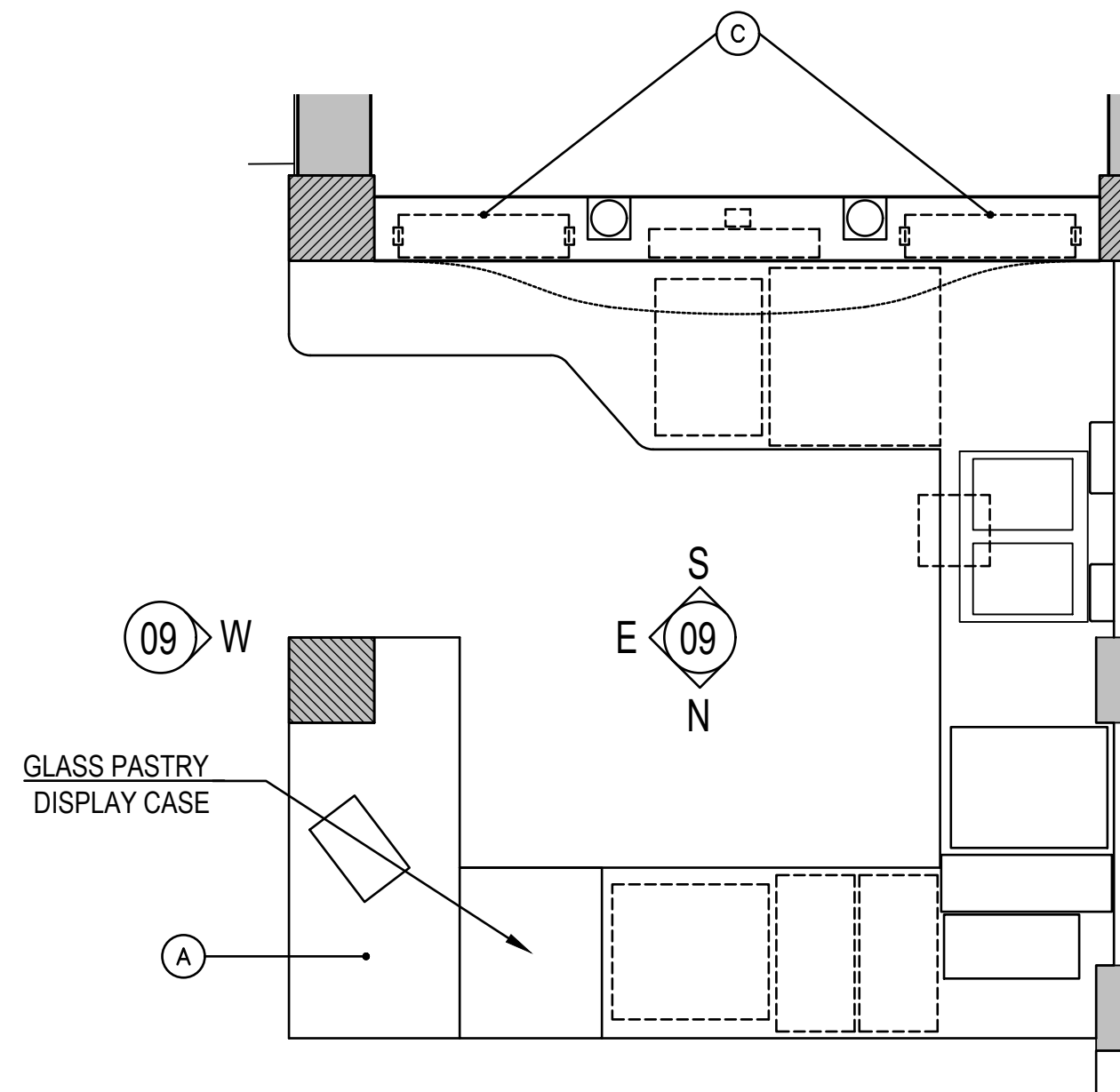
ROD & CABLE W/ GLASS SHELVE



(C)



COFFEE BAR CONCEPT SKETCH



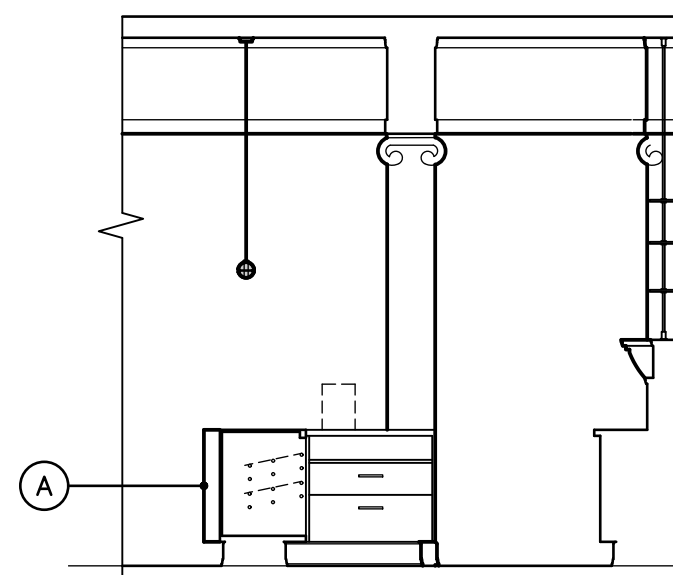
ENLARGED COFFEE BAR PLAN

$\frac{1}{2}'' = 1'-0''$



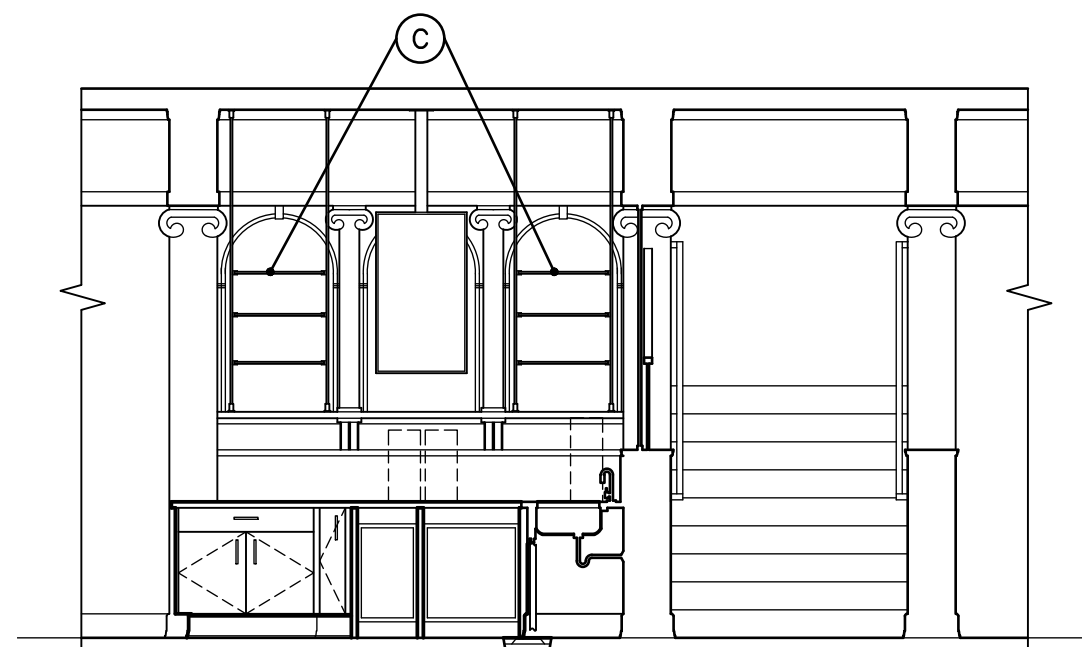
COFFEE BAR NOTES

1. (E) MANTLE & ARCHED MIRRORS WILL HAVE MINIMAL IMPACT FROM CEILING SUSPENDED SHELVEING AND MENU BOARD.
2. THE SHELVEING SYSTEM SHALL BE A ROD & CABLE WITH GLASS SHELVEIS TO UTILIZE THE MIRRORS AND OVERALL AESTHETIC OF THE ARCHITECTURE AS PART OF THE DISPLAY - SEE IMAGE C.
3. (N) PENDANT LIGHTS TO BE SUSPENDED FROM CEILING THROUGH (E) CEILING - SEE IMAGE B.
4. (E) WOOD FLOORING SHALL BE REMOVED, NUMBERED, AND SALVAGED. (N) SHEET VINYL FLOORING TO BE INSTALLED OVER NEW SUBSTRATE TO PROTECT (E) STRUCTURE.
5. (E) BENCH TO BE REMOVED AND SALVAGED.
6. (N) CLEAR PLEXIGLAS WILL BE MOUNTED TO STAIRCASE FOR PROTECTION WHILE ALLOWING FOR VISIBILITY OF THE ORIGINAL ARCHITECTURE. PLEXIGLAS TO BE MOUNTED TO NEW COUNTER TOP AND SEAMED ADHERE TO WRAP AROUND COLUMN.



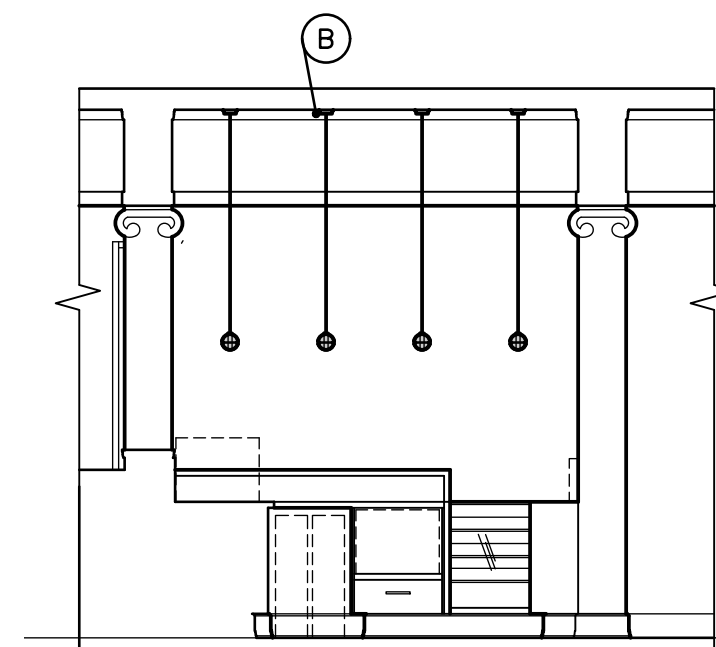
EAST ELEVATION

$\frac{1}{2}'' = 1'-0''$



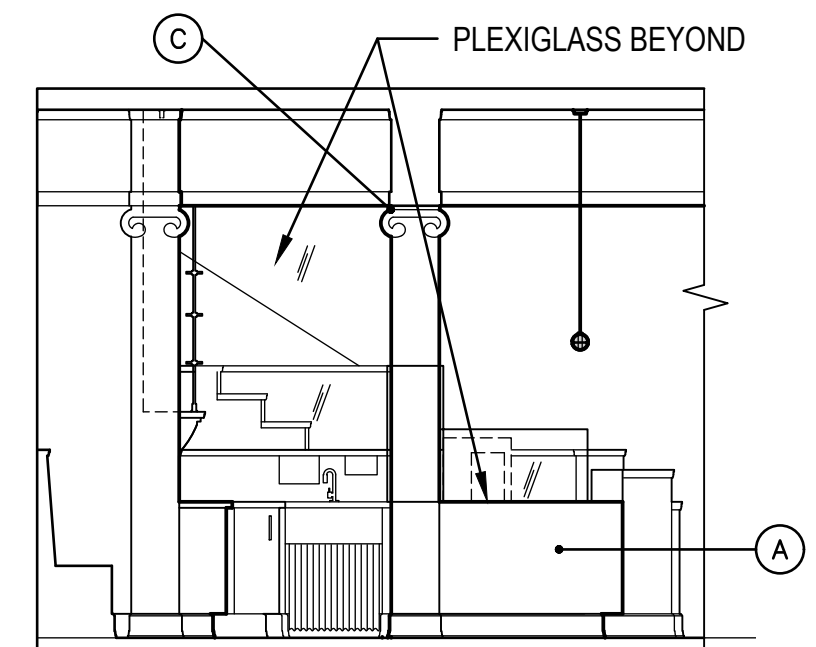
SOUTH ELEVATION

$\frac{1}{2}'' = 1'-0''$



NORTH ELEVATION

$\frac{1}{2}'' = 1'-0''$



WEST ELEVATION

$\frac{1}{2}'' = 1'-0''$

WAINSCOT & FLOOR TILE



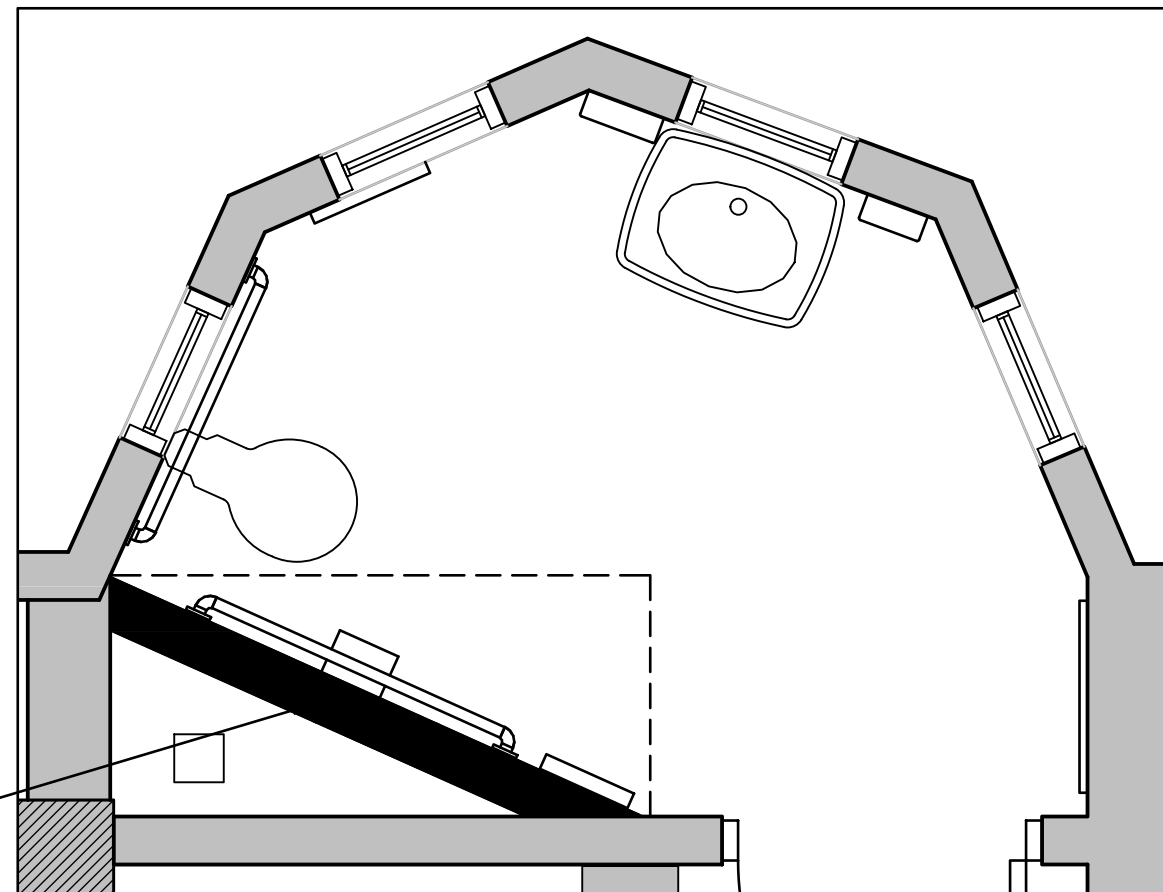
(A)

MARE ISLAND BRAND
WALLPAPER



(B)

NEW WALL TO SUPPORT
GRAB BAR & ALLOW
FOR EXHAUST FAN



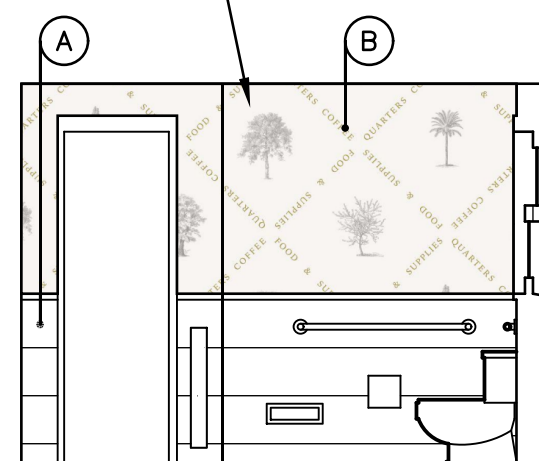
ENLARGED BATHROOM PLAN

$\frac{1}{2}" = 1'-0"$

BATHROOM NOTES

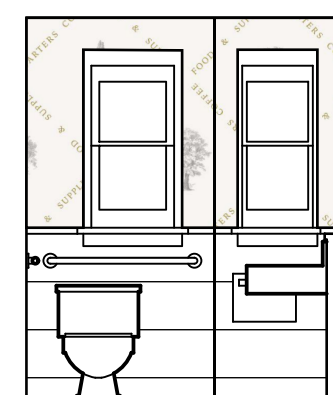
1. BATHROOM TO RECEIVE REFRESH & ADA UPGRADES.
2. THE CURRENT SINK LOCATION IS IN THE BEND OF THE WALL, WHERE TWO OF THE CURRENT SILL TRIMS HAVE BEEN MODIFIED FOR IT TO FIT. THE SINK IS BEING RELOCATED TO UNDER A WINDOW. THE EXISTING SILLS SHALL BE RESTORED / REPLACED AND PAINTED TO MATCH THE EXISTING SILLS.

WALL PAPER TO BE
APPLIED TO ALL
UPPER WALLS



NORTH ELEVATION

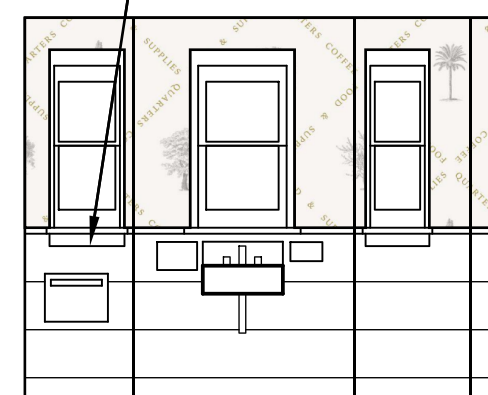
$\frac{1}{4}" = 1'-0"$



EAST ELEVATION

$\frac{1}{4}" = 1'-0"$

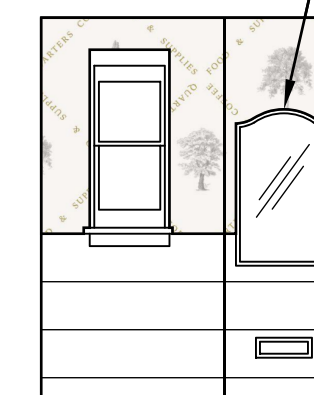
REPAIR EXISTING WINDOW SILL
& PAINT TO MATCH



SOUTH ELEVATION

$\frac{1}{4}" = 1'-0"$

EXISTING FRAMELESS MIRROR
TO BE LOWERED PER ADA
HEIGHT REQUIRED



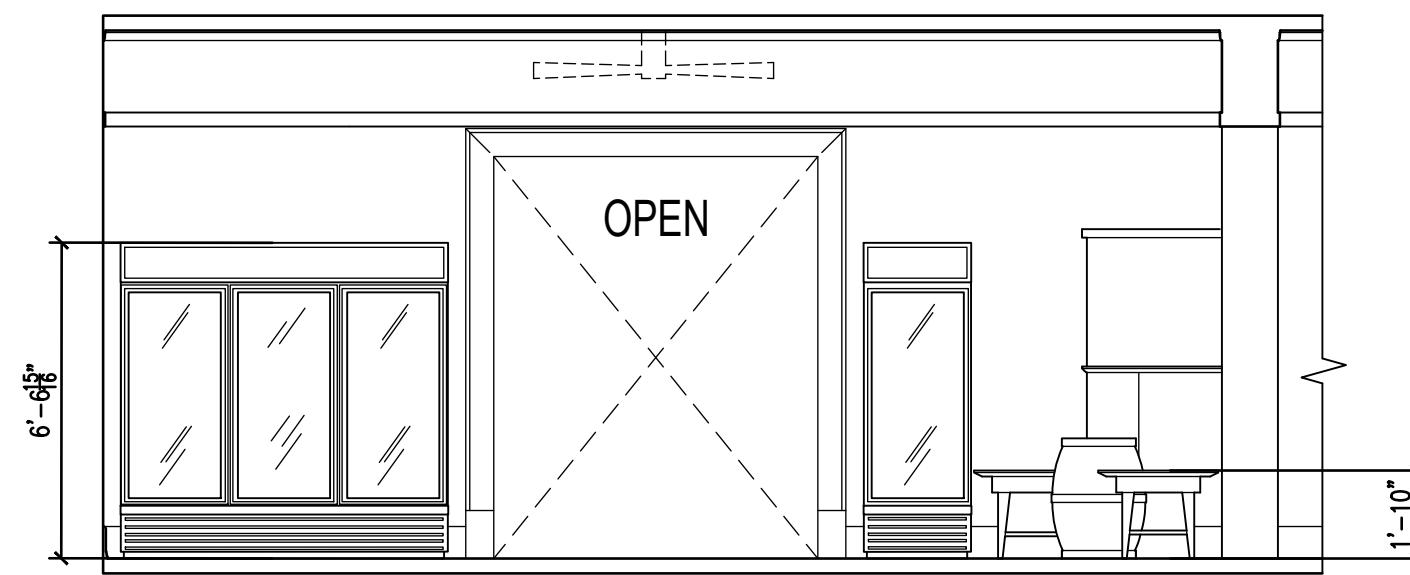
WEST ELEVATION

$\frac{1}{4}" = 1'-0"$



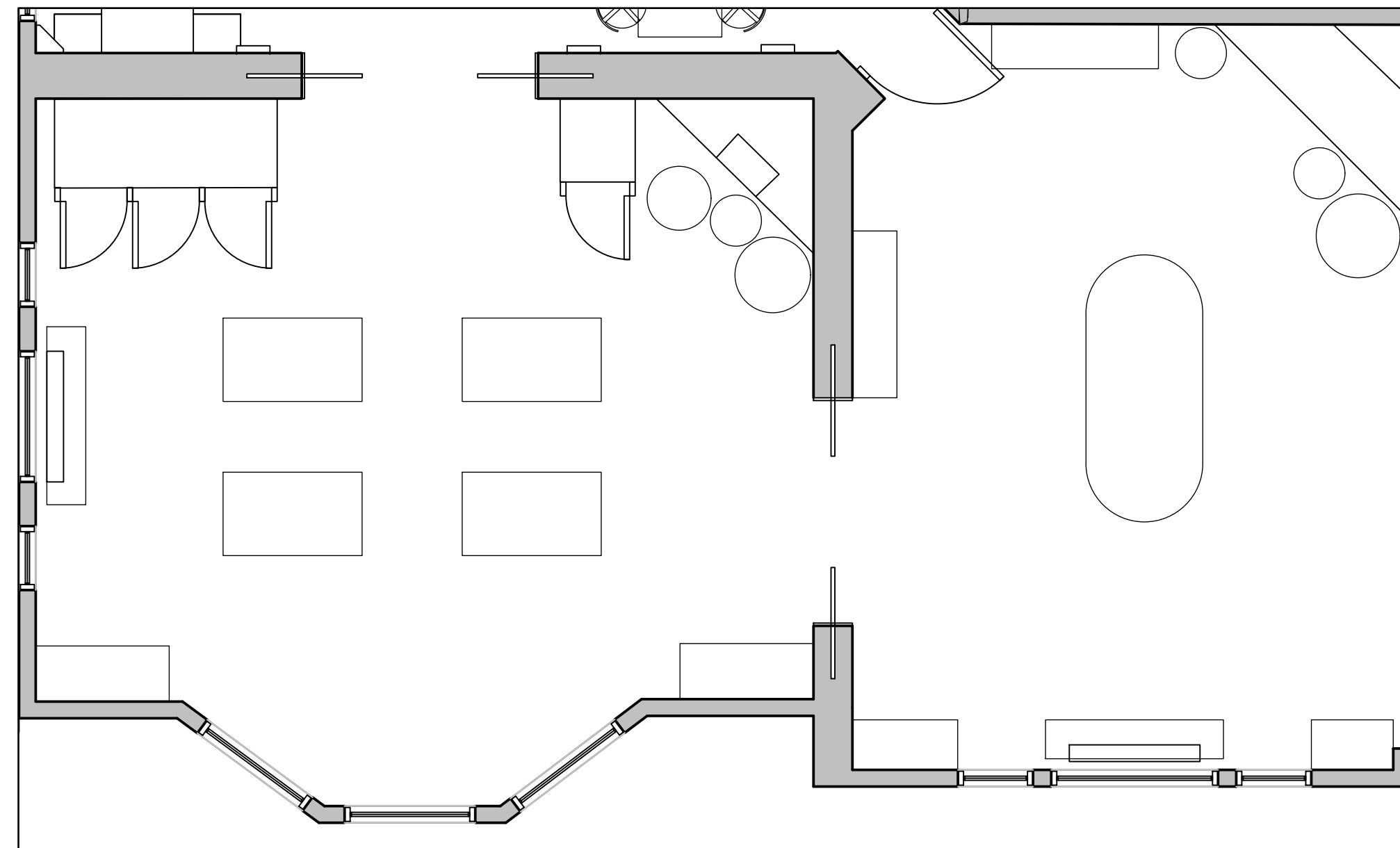
PERISHABLE MERCHANDISE - NORTH ELEVATION

$\frac{1}{4}'' = 1'-0''$



PERISHABLE MERCHANDISE - WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$



PERISHABLE MERCHANDISE ROOM

NON PERISHABLE MERCHANDISE

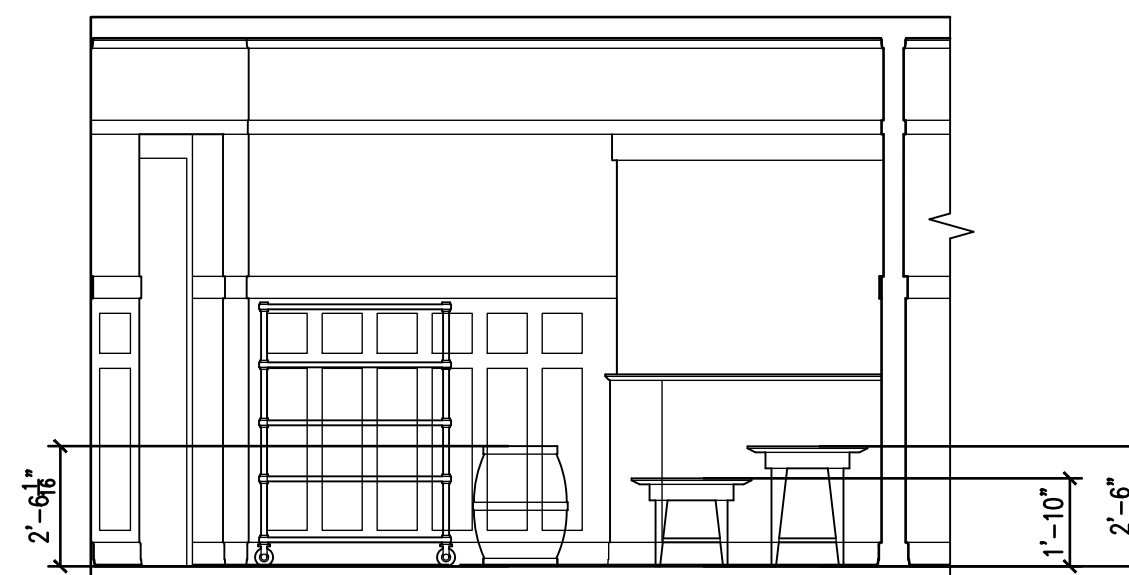
$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

NORTH ELEVATION

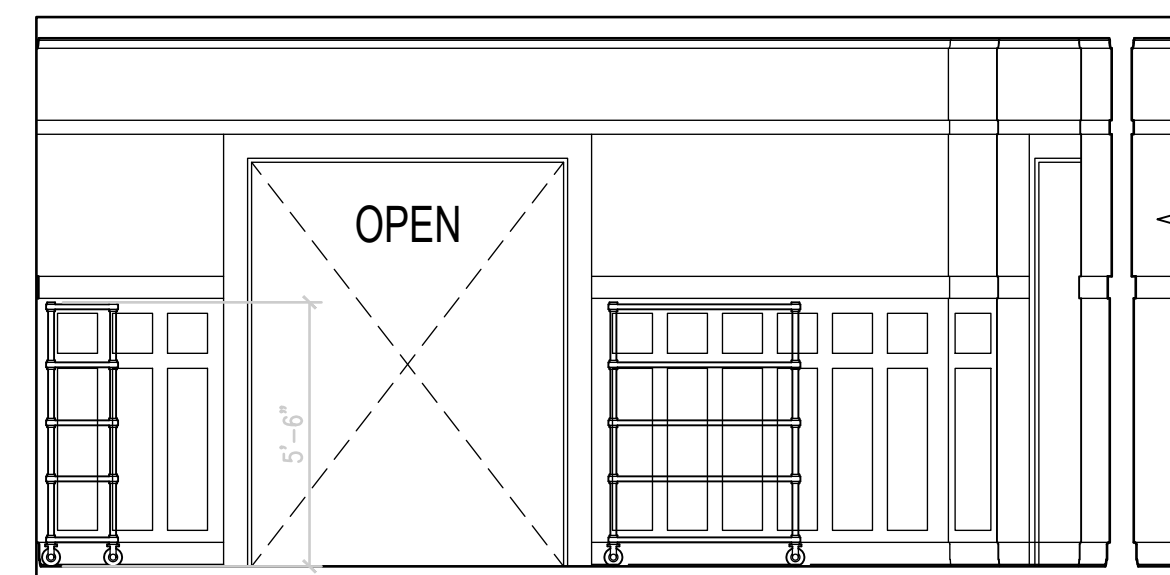
$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

WEST ELEVATION

$\frac{1}{4}'' = 1'-0''$



NON-PERISHABLE MERCHANDISE

EAST ELEVATION

$\frac{1}{4}'' = 1'-0''$