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AGENDA

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION REGULAR MEETING – 6:30 P.M. CITY COUNCIL CHAMBERS May 18, 2023

Angela McDonald, Chair
Brian Harkins, Vice Chair
Brendan Riley
Tanya Hall
Ann Adams
Annalissa Quismorio

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom. City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.

IMPORTANT NOTICE

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice for an item not listed on the AGENDA, no specific answers or responses should be expected at this meeting per State law.

Pursuant to Government Code Section 54954.3 of the Brown Act, members of the public shall be afforded the opportunity to speak on any agenda item of interest to them after being recognized by the presiding officer. Members of the public wishing to be so recognized are requested to submit a completed speaker card to the Secretary of the Architectural Heritage and Landmarks Commission prior to the consideration of the item or raise their hand via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>) or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. In person speakers will be recognized first.

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Architectural Heritage and Landmarks Commission will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Architectural Heritage and Landmarks Commission may, within ten days after the rendition of the decision of the Architectural Heritage and Landmarks Commission, by filing a written appeal with the Director of Planning and Development Services. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Architectural Heritage and Landmarks Commission. Such appeal shall not be timely filed unless it is actually received by Director of Planning and Development Services or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Architectural Heritage and Landmarks Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. WRITTEN COMMUNICATIONS
5. REPORT OF THE SECRETARY
 - A. 1 Kentucky Update
 - B. The Steps to set up a Sub- Committee
 - C. Council Priorities Update
 - D. How to set up a Priority Setting Session for the AHLC
6. CITY ATTORNEY REPORT
7. REPORT OF THE CITY COUNCIL LIAISON
8. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION
9. COMMITTEE REPORTS
10. COMMUNITY FORUM

*Any interested members of the public desiring to communicate with the Architectural Heritage and Landmarks Commission for which another opportunity to speak is not provided on the agenda and which is in the jurisdiction of the Architectural Heritage and Landmarks Commission to resolve may do so in person by submitting a completed speaker's card to the Secretary or via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment. In person speakers will be recognized first. When called upon, each speaker should step to the podium, state his/her name for the record. The conduct of the community forum shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to a maximum of three minutes pursuant to Vallejo Municipal Code Section 2.02.300.*

11. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF MINUTES

1. April 20, 2023

B. APPROVAL OF THE AGENDA

12. PUBLIC HEARINGS

- A. PROJECT NUMBER:** Certificate of Appropriateness (COA) #22-0005
- PREPARED BY:** Cesar Orozco, Principal Planner
- PROJECT LOCATION:** 717 - 719 Sacramento Street / APN: 0055-126-110
- APPLICABLE ZONING** Residential Low Density

CODE SECTION(S): Certificate of Appropriateness (Vallejo Municipal Code Section 16.614.09)

PROJECT SUMMARY: The project involves exterior alterations to an existing multi-family residential building as part of a conversion to a single-family residence with an accessory dwelling unit (ADU) and a junior accessory dwelling unit (JADU), all within the existing building envelope. The proposed ADU and JADU are subject to ministerial approval under Government Code Section 65852.2(a)(3)(A). To accommodate the proposed interior floor plan changes, exterior work includes: substitution of three non-original aluminum sash windows for wood casement windows on the north elevation, replacement of two original wood windows on the east elevation, replacement of exterior stairs at the south elevation, replacement of an existing door for a new door at the east elevation, alteration of existing window openings on the south and east elevations, modification of the existing basement door for a window opening, and infilling an existing exterior door opening on the east elevation and the removal of exterior stairs at the west elevation.

CEQA DETERMINATION: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15331 (Class 31 "Historic Resource Restoration /Rehabilitation").

RECOMMENDATION: Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #22-0005 based on the findings and analysis contained herein.

13. OTHER AGENDA ITEMS

A. Future Agenda Items.

1. Ministerial Help
2. Mills Act Compliance
3. Sub-Committees
4. Historic District Notifications

14. ADJOURNMENT

I, Jasmine Thibeaux, Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Architectural Heritage and Landmarks Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m., Friday, May 12, 2023

Jasmine Thibeaux

Dated: May 12, 2023

Executive Secretary



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MINUTES

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION

April 20, 2023

Angela McDonald, Chair
Brian Harkins, Vice Chair
Brendan Riley
Tanya Hall
Ann Adams
Annalissa Quismorio

1. CALL TO ORDER

The meeting was called to order by Chair McDonald at 6:32pm.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

Absent: None

Staff present: Laura Solomon, Assistant Planner, Cesar Orozco, Principal Planner, Margaret Kavanaugh-Lynch, Planning Manager

4. WRITTEN COMMUNICATIONS - None

5. REPORT OF THE SECRETARY

Planning Manager Kavanaugh-Lynch gave an update on the following items:

- A. Certified Local Government status and training requirements. A handout listing the training requirements was distributed to the Commission. The Chair noted that she and staff would create a list of training opportunities and workshops.
- B. Alden Park Flagpole Report The report. "MARE ISLAND MAST, CONDITIONS ASSESSMENT AND ANALYSIS" January 26, 2023 was distributed to the Commission.
- C. 1 Kentucky Update. A verbal update on the status of staff efforts to secure the house and address the recent vandalism was given. The Chair asked to have this item to be kept as a standing item as part of the Secretary's report.

6. CITY ATTORNEY REPORT - None

7. REPORT OF THE CITY COUNCIL LIAISON – None

8. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

9. COMMITTEE REPORTS

- A. Vice Chair Harkins noted that he had concerns regarding using the Department of Interior Standards on new construction within a historic district.

10. COMMUNITY FORUM

- A. Anne Car – shared concerns about 1 Kentucky
- B. Jim Genn- shared concerns about 1 Kentucky
- C. Amy Herbert Labowich- shared concerns about 1 Kentucky
- D. Paula Conley – shared concerns about 1 Kentucky
- E. Gavin - shared concerns about 1 Kentucky

11. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF MINUTES

1. February 16, 2023

Motion: Commissioner Riley made a motion to approve the minutes

Second: Commissioner Adams

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: Vice-Chair Harkins

2. November 17, 2022

Motion: Commissioner Riley made a motion to approve the minutes

Second: Commissioner Hall

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: Vice-Chair Harkins

B. APPROVAL OF THE AGENDA

Motion: Commissioner Riley made a motion to approve the Agenda.

Second: Commissioner Hall

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

12. PUBLIC HEARINGS

A. PROJECT NUMBER: Mills Act Contract #23-0001

ADDRESS: 816 Capitol Street (APN 0056-173-170)

SUMMARY: Request by the property owner to enter into a Historic Property Preservation Agreement (Mills Act contract) with the City of Vallejo pursuant to California Government Code Sections 50280-50290.

Planning Manager Kavanaugh-Lynch introduced Ms. Solomon, Assistant Planner. Ms. Solomon gave an overview of the proposed project.

The Chair opened the public hearing.

After the presentation, the applicant answered questions of the Commission.

As there were no other requests to speak from the public, the Chair closed the public hearing. The Commission deliberated the merits of the project and a motion was made:

Motion: Commissioner Riley made a motion recommending that the City Council APPROVE Mills Act Contract #23-0001.

Second: Commissioner Adams

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Chair McDonald

NOES: Vice-Chair Harkins

ABSENT: None

ABSTAIN: None

B. PROJECT NUMBER: Mills Act Contract #22-0005

ADDRESS: 514 El Dorado Street (APN 0056-206-190)

SUMMARY: Request by the property owner to enter into a Historic Property Preservation Agreement (Mills Act contract) with the City of Vallejo pursuant to California Government Code Sections 50280-50290.

Planning Manager Kavanaugh-Lynch introduced Ms. Solomon, Assistant Planner. Ms. Solomon gave an overview of the proposed project.

The Chair opened the public hearing.

As there were no requests to speak from the public, the Chair closed the public hearing. The Commission deliberated the merits of the project and a motion was made:

Motion: Commissioner Adams made a motion recommending that the City Council APPROVE Mills Act Contract #22-0005.

Second: Commissioner Hall

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Chair McDonald

NOES: Vice-Chair Harkins

ABSENT: None

ABSTAIN: Commissioner Riley

C. PROJECT NUMBER: Mills Act Contract #22-0006

ADDRESS: 228 Ohio Street (APN 0055-082-140)

SUMMARY: Request by the property owner to enter into a Historic Property Preservation Agreement (Mills Act contract) with the City of Vallejo pursuant to California Government Code Sections 50280-50290.

Planning Manager Kavanaugh-Lynch introduced Ms. Solomon, Assistant Planner. Ms. Solomon gave an overview of the proposed project.

The Chair opened the public hearing.

After the presentation, the applicant answered questions of the Commission.

As there were no requests to speak from the public, the Chair closed the public hearing. The Commission deliberated the merits of the project and a motion was made:

Motion: Commissioner Riley made a motion recommending that the City Council APPROVE Mills Act Contract #22-0006.

Second: Commissioner Adams

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: Commissioner Riley

13. OTHER AGENDA ITEMS

A. Future Agenda Items.

- Ministerial Help?
- Mills Act Compliance
- Sub-Committees
- Historic District Notifications

14. ADJOURNMENT

Motion: Vice Chair Harkins made a motion to adjourn the meeting.

Second: Commissioner Riley

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

Chair McDonald adjourned the meeting at 9:00 pm.

ANGELA MCDONALD, CHAIR

ATTEST:

CESAR OROZCO, SECRETARY



**STAFF REPORT
CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND
LANDMARKS COMMISSION**

I. PROJECT INFORMATION

Item No. 12-A

DATE OF MEETING:	May 18, 2023
PROJECT NUMBER:	Certificate of Appropriateness (COA) #22-0005
PREPARED BY:	Cesar Orozco, Principal Planner
PROJECT LOCATION:	717 - 719 Sacramento Street / APN: 0055-126-110
APPLICABLE ZONING CODE SECTION(S):	Certificate of Appropriateness (Vallejo Municipal Code (VMC) Section 16.614.09)
PROJECT SUMMARY:	The project involves exterior alterations to an existing single-family residence converted to a duplex unlawfully without permits. The project proposes to bring the single-family residence into compliance with the building code and add an accessory dwelling unit (ADU) and a junior accessory dwelling unit (JADU), all within the existing building envelope. The proposed ADU and JADU are subject to ministerial approval under Government Code Section 65852.2. To accommodate the proposed interior floor plan changes, exterior work includes; replacement of three non-original aluminum sash windows for wood casement windows on the north elevation, replacement of two original wood windows on the east elevation, replacement of exterior stairs at the south elevation, replacement an existing door for a new door at the east elevation, alteration of existing window openings on the south and east elevations, modification of the existing basement door for a window opening, and infilling an existing exterior door opening on the east elevation and the removal of exterior stairs at the west elevation.
CEQA DETERMINATION:	The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15331 (Class 31 "Historic Resource Restoration /Rehabilitation"). Therefore, no further environmental

analysis is required beyond that which is contained herein this staff report.

RECOMMENDATION:

Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #22-0005 based on the findings and analysis contained herein.

PROJECT DATA SUMMARY

APPLICANT/PROPERTY OWNER:

Joanna Lei
P.O. Box 320570
San Francisco, CA 94132

GENERAL PLAN DESIGNATION:

P-SF – Primarily Single-family

ZONING DISTRICT:

Low Density Residential (LDR)

HISTORIC DISTRICT:

St. Vincent's Historic District

II. BACKGROUND

A. Site Location and Context

The project site is located on Sacramento Street and Kissel Alley. It is surrounded by existing residential uses, as described in Table 3, below, and as shown in Figure 1.

Saint Vincent's Ferrer Catholic Church is located approximately 495 feet to the north and Sonoma Boulevard is located approximately a quarter mile to the east. The immediate vicinity of the project site is characterized by existing residential land uses. The site's General Plan land use designation is Primarily Single-Family (R-SF) and it has a zoning district of Residential Low Density (RLD).

Figure 1 – Vicinity Map



717 – 719 Sacramento Street is a two-story, single-family residence converted to a duplex unlawfully without permits, that was constructed between 1911 and 1915. The building was included in the Saint Vincent's Hill Historic District for its Mediterranean Revival and Craftsman architectural design. Alterations since its original construction include:

- a. Replacement of original windows on the north and south elevations
- b. Replacement of original doors.
- c. Addition of exterior metal stairs on the west elevation.
- d. Construction of a detached garage between 1948 and 1950.
- e. Unpermitted interior and exterior alterations to add an extra unit begun in 2022.

St. Vincent's Historic District

The subject property is located within the St. Vincent's Historic District. In 2003, the St. Vincent's Historic District was added to the National Register list. The St. Vincent's Historic District is a residential neighborhood constructed mostly from the 1850s to the end of World War II. During the past 130 years, 714 primary buildings were constructed on a regular grid pattern across hilly terrain. The district includes approximately 575 parcels, about 95 percent of which have a residential use. About 542 of the dwellings within the district are single-family residences, including alley residences or second units, and 131 buildings are multi-unit or mixed-use buildings. Of the 714 primary buildings, 545 contribute to the historic character of the district. Most of the other ancillary buildings are garages or sheds.

The predominant use of single-family residences accounts for the visual characteristics of the district. Many of the primary buildings are clearly separated from neighboring buildings. The parcels within the district have side yards, often quite narrow, and back yards. Building setbacks vary by construction date causing the street face to be irregular on some blocks. Many residences were constructed on the property line, while others were constructed towards the rear of the property away from the street.

Additionally, the variety of building heights, massing and scale has created a diverse visual character within the St. Vincent's Historic District. Throughout the district, different types of residences from different eras are seen, with gable, hip or flat roofs, one- or two-story heights, Hardie board or shingle siding, and double-hung or slider windows. The St. Vincent's Historic District was created with different historical styles represented throughout the district.

B. Required Approvals

Vallejo Municipal Code (VMC) Section 16.614.09 – Certificate of Appropriateness, provides in relevant part: *A certificate of appropriateness shall be required prior to the construction, demolition, alteration, or relocation of, or addition to, any main or accessory structure or other designated feature in a historic district, or on the property of a designated landmark.* Additionally, VMC Table 16.614-A: Review Authority and Public Notice provides that all other alterations to a building within a historic district shall be reviewed by the Architectural Heritage and Landmark Commission's (AHLC) secretary, unless any alteration, including windows, is visible from the street in which case it shall be reviewed by the AHLC and require a 14-calendar day public notice.

C. Project Description

The project involves exterior alterations to an existing single-family residential building with an illegal unit constructed without permits, to a single-family residence with an Accessory Dwelling Unit (ADU) and a Junior Accessory Dwelling Unit (JADU), all within the existing building envelope. The proposed ADU and JADU are subject to ministerial approval under Government Code Section 6582.22 and may

not be appealed. However, to accommodate the proposed interior floor plan changes, the following list of exterior work includes; replacing existing features with new features, exterior opening modifications, and exterior circulation changes.

A. Proposed material replacement includes:

1. Replacement of three non-original aluminum sash windows for wood casement windows on the north elevation
2. Replacement of two original wood windows on the east elevation,
3. Replacement of exterior stairs at the south elevation, and
4. Replacement of an existing door for a new door at the east elevation.

B. Proposed exterior opening modifications include:

1. Alteration of existing window openings on the south and east elevations,
2. Modification of the existing basement door for a window opening, and
3. Infilling an existing exterior door opening on the east elevation.

C. Proposed circulation changes include the removal of exterior stairs at the west elevation.

Staff notes that the previous property owner began exterior modifications in 2021 without the benefit of permit, specifically stucco and original wood windows were removed from the south facing elevation. The previous property owner sold the property and the new (current) current property owner contacted and has been working with City staff since that time to address the scope of work described in this report.

III. STAFF ANALYSIS

In order to analyze the project, staff worked with Rincon Consultants to prepare a Historical Resources Impact Assessment (HRIA) (attachment 2) for 717-719 Sacramento Street. Staff has commissioned and relied upon the HRIA for two aspects of the analysis:

1. Consistency with the Department of Interior standards for Historic Rehabilitation (standards) is a necessary finding for COA applications found in the attached resolution (attachment 1).
2. To determine the project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15331 (Class 31 "Historic Resource Restoration/Rehabilitation).

The report describes the Saint Vincent's Hill Historic District, the property background, the character defining features of the building, project impact analysis and Secretary of the Interior's Standards review. As detailed in the report, most of the proposed work is generally in conformance to the applicable Standards of Rehabilitation, with the exception of proposed modifications to the two windows on the Sacramento Street elevation. This issue is discussed in detail, below.

On the primary elevation that faces Sacramento Street (see Figure 2) , two first-floor level windows are proposed to be removed and have their opening altered. The original wood frame windows on the east elevation include a small, wood sash window and one fixed pane window with divided lite transom. The architectural historian found that these elements are character-defining features of the building on a primary elevation and the modifications to the openings and the removal of the windows would impair the property's historic character (see Figure 3).

Figure 2 – East Elevation



As noted in the report, *original materials particularly those on primary elevations, should be retained as these elevations are visible to the public right-of-way. The proposed modification for the two windows on the east (primary) elevation is inconsistent with Standard No. 2 of the Standards of Rehabilitation. In order to conform to the Standards, removal of the windows should be avoided or should be replaced in-kind with retention of the divided lite transom. If replacement is needed to meet compliance for egress, the original openings and transom should be maintained, and sash windows installed.*

Figure 3 – Character Defining Windows



After speaking with the applicant, the property owner has agreed to follow the consultant's recommendation of retaining the fixed pane window with the divided lite transom and replacing the smaller wood sash window with a sash window. The existing window openings will not be enlarged. With that modification, the scope of the project is consistent with the Department of Interior Standard No 2. as required in the Findings attached in Attachment 1. This agreement has been reflected in the conditions of approval.

A. General Plan Consistency

The project is consistent with the following General Plan 2040 policy (the policy is listed in Bold, follow by staff's analysis in italics):

- **Policy NBE-1.10 Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.**

The project will allow exterior alterations to an existing single-family residential building with an illegal unit to a single-family residence with an ADU and a JADU while completing its rehabilitation consistent with the Department of Interior Standards for Historic Preservation.

B. Certificate of Appropriateness

The Certificate of Appropriateness findings are intended to ensure that the architectural and historical integrity of historic structures and general character of historic districts are preserved. Certificate of Appropriateness applications are subject to the required findings under VMC Section 16.614.09.E. These findings are included in the Draft Resolution – Attachment 1.

IV. Environmental Review

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates a historic resource, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no environmental review is required.

V. NOTICING AND PUBLIC COMMENTS

On March 2, 2023, pursuant to VMC Section 16.602.08 – Noticing, A 14-calendar day notice of this hearing was published in the Times Herald, mailed to all active neighborhood groups and all property owners within 500 feet of the subject property, and any other local agency expected to provide water, wastewater treatment, or other essential facilities or services to the project, as well as to members of the AHLIC, the applicant and property owner.

Staff has received one inquiry at the counter this week regarding the project. The person requested to review the architectural historian's report.

VI. CONCLUSION / STAFF RECOMMENDATION

Based on the analysis contained in this staff report and the project's consistency with General Plan 2040 and the Vallejo Municipal Code, staff recommends that the AHLC **APPROVE** Certificate of Appropriateness (COA) #22-0005 based on the findings provided in the attached Resolution No. AHLC 23-XX and subject to the Conditions of Approval provided as Exhibit A thereto.

VII. EXPIRATION

Pursuant to VMC Section 16.602.12.A.2, approval of this Certificate of Appropriateness shall automatically expire 24 months after its approval unless authorized construction has commenced prior to the expiration date (November 17, 2024) (if approved at this meeting).

VIII. APPEAL PROCEDURE

VMC Section 16.602.14, Appeals, the applicant, or any party adversely affected by the decision of the AHLC may, within ten days after the rendering of the decision of the AHLC appeal in writing to the City Council by filing a written appeal with a fee of \$1,408 dollars with the City Clerk. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Planning Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

Notice of the appeal, including the date and time of the City Council's consideration of the appeal, shall be sent by the City Clerk to all property owners within five hundred feet of the project boundary. The Council may affirm, reverse, or modify any decision of the Planning Commission that is appealed.

IX. ATTACHMENTS

1. Resolution No. AHLC 23-XX
 - Exhibit A – Conditions of Approval
2. Historical Resources Impacts Assessment; Rincon consultants – Dated January 30, 2022
3. Project Plans

**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #23-XX

A RESOLUTION APPROVING CERTIFICATE OF APPROPRIATENESS (COA) #22-0005 TO MAKE EXTERIOR ALTERATIONS TO 717-719 SACRAMENTO STREET

**717-719 SACRAMENTO STREET
APN: 0055-126-110**

WHEREAS, on June 2, 2022, Joanna Lei, applicant, and property owner, filed Certificate of Appropriateness (COA) #22-0005 application ("application") seeking approval of exterior alterations ("project") to an existing single-family residence that added a second unit without the benefit of a permit at 717-719 Sacramento Street (APN:0055-123-110)("project site") located in the Saint Vincent's Hill Heritage District; and

WHEREAS, on May 18, 2023 the City of Vallejo Architectural Heritage and Landmarks Commission ("Commission"), after giving all public notices required by State law and the Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, based on the record of proceedings, the Commission makes the following findings:

I. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates a historic resource, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no environmental review is required.

II. FINDINGS RELATING TO THE APPROVAL OF THE CERTIFICATE OF APPROPRIATENESS PERMIT (VMC Section 16.614.09.E)

A. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

FACTS IN SUPPORT: The Secretary of the Interior's Standards for Rehabilitation are applicable to the project and are as follows:

1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project proposes retention of the building's historic purpose as a multi-family dwelling. The proposed project will require minimal change to the defining characteristics of the building and its site and environment. Therefore, the project complies with Rehabilitation Standard No. 1.

2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The historic character of 717-719 Sacramento Street is comprised of the physical characteristics that reflect its significance as a contributor to the St. Vincent's Hill Historic District. The project proposes replacement of seven windows throughout the dwelling to meet egress and natural light requirements. Five of the windows to be replaced--three on the north elevation and two on the primary south elevation--are non-historic aluminum sash windows, which do not contribute to the character of the building. Generally, the replacement of non-historic windows with historically compatible types will help to reestablish the historic character of the building and is consistent with Standard No.2.

Two of the windows at the south elevation's first-floor level were removed during unpermitted work. The openings were widened through the removal of stucco and interior wood framing. The left opening is proposed to be maintained and infilled with a wood frame horizontal sliding sash window while the right opening will be modified and have a portion of its sill raised for a small, fixed pane window. The modifications to the window openings are generally consistent with Standard No. 2. Though the proposed modification to the east window would result in loss of historic material, the proposed modification retains the fenestration and rhythm of the elevation's historic configuration.

On the east elevation of the building, fronting Sacramento Street, two windows on the first-floor level are proposed for removal and replacement with their openings altered. The original wood frame windows on the east elevation include a small, wood sash window and one a fixed pane window with divided light transom. The property owner has agreed to follow the consultant's recommendation of retaining the fixed pane window with the

divided lite transom and replacing the smaller wood sash window with a sash window. The existing window openings will not be enlarged. By following these recommendations, the alteration is now consistent with Standard No 2. This agreement has been reflected in the conditions of approval.

The proposed project includes removal of three doors on the east, west, and south elevations, respectively. Door openings on the west and south elevations will be modified. The door opening on the building's west elevation will be infilled with stucco and wood framing and will no longer provide exterior access. Available archival research suggests that the existing opening is a non-historic alteration, having been installed after the district's period of significance, which spans from 1868 to 1947. Its proposed removal will not result in loss of historic materials and is consistent with Standard No. 2.

The south elevation door opening to the basement will be truncated to accommodate a wood frame sash window. Though the alteration would occur on a primary elevation, alteration to a window opening will maintain the rhythm of window openings. Additionally, the window is at the basement level and partially hidden behind the garage, therefore, the window is not completely visible from the public right-of-way and will not affect the character of the building and is consistent with Standard No. 2.

The proposed project also includes replacement of a set of wooden stairs at south elevation's first floor entry. Based on materials and design, the stairs were likely not original to the building and date to after the district's period of significance. (The stairs are not annotated in the 1950 Vallejo Sanborn Fire Insurance Map.) The stairs to the first floor on the south elevation will be replaced with a new set of wood stairs and covered by a new wood porch cover. The proposed replacement of the existing stairs will not result in loss of historic materials or alter a feature that characterize the property and is consistent with Standard No. 2.

The metal stairs to the second floor on the west elevation will be removed and not replaced. Based on position, design, and materials, the stairs were added later in the building's history and outside of the period of significance for the district. (The stairs are not annotated in the 1950 Vallejo Sanborn Fire Insurance Map.13) The west elevation is a secondary elevation, the proposed removal will not result in loss of historic materials or alter a feature that characterizes the property; therefore, removal of the stairs is consistent with Standard No. 2.

3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project includes addition of a porch cover over the stairs at the first floor's south elevation entry. The shed roof porch cover will be constructed of wood framing, though the plans are not explicit about the type

of sheathing on the roof. The simple wood structure will not deter from the original character-defining features of the building and will be compatible to the character of the building as there are existing wood elements visible in the original porch on the south elevation and the wood windows. Employing a simple paired back design rather than a design matching the original porch will avoid creating a false sense of historical development. As the drawings do not state what the porch roof will be clad in, Spanish tile roofing should be avoided as this will create a false sense of historical development. The applicant has indicated the proposed materials to be of a composite shingle roof. The project does not include addition of conjectural features or architectural elements from other buildings. Furthermore, the proposed porch cover is a reversible treatment and could easily be removed to reveal the original appearance of the building. As a result, the project complies with Rehabilitation Standard No. 3 with the provided recommendations.

4) *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Based on the materials, position, and design, the exterior stairs on the south and west elevations are not original to the structure and were installed later and likely outside the period of significance for the St. Vincent's Hill Historic District. Neither set of stairs is annotated in a 1919 and a 1950 Sanborn Fire Insurance Map of the property and surrounding block. The stairs on the west elevation are metal, which is not consistent with designs from the 1910s when the building was constructed. On residential buildings, stairs were typically constructed of wood during this period. The stairs to the first floor on the south elevation look contemporary based on the wood material and design. These sets of stairs have not acquired significance in their own right and their removal is compliant with Rehabilitation Standard No. 4.

5) *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed plans include removal of two original windows, identified as character-defining features of the property, on the east elevation, and alteration of the openings through the removal of stucco and interior wood framing, and replacement with wood vertical sash windows. Removal of the windows would not comply with Rehabilitation Standard No. 5. To conform with the Standards, it is recommended that the windows be retained or replaced in-kind. If replacement is needed to meet compliance for egress, the original openings and transom should be maintained and one-over-one sash windows installed. Their removal, therefore, is inconsistent with Rehabilitation Standard No. 5.

Both sets of exterior stairs, the metal stairs on the west elevation and the wood stairs on the south elevation, are not distinctive features and do not characterize the property. Their removal, therefore, is compliant with Rehabilitation Standard No. 5.

- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

Seven of the windows will be replaced to meet egress and natural light requirements, five of which on the north and south elevations are non-historic aluminum sash windows and therefore may be replaced. The windows will be replaced with wood frame casement windows, which are compatible to the historic character of the building and closely replicate the building's remaining original windows which are wood frame casement windows. Residential buildings from the 1910s were typically designed with wood sash or casement windows.

However, as described above under Standard No. 2, two of the windows on the south elevation's first floor, which are original and character-defining to the building, are proposed to be removed and replaced with incompatible wood frame vertical sliding sash windows. This type of window is not seen in buildings dating from this period. The south elevation windows, including a small sash window and a fixed pane window with a divided lite transom, should be retained, or replaced in-kind to meet Standard No. 6.

The project also proposes removal of a door on the south elevation first floor and replacement with a historically compatible wood door with glazing. Residential buildings from this period were typically designed with wood doors with glazing; therefore, the new door will be compatible, and its proposed replacement is consistent with Standard No. 6.

- 7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The proposed scope of work for the project does not include chemical or physical treatments. Rehabilitation Standard No. 7 does not apply.

- 8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

The proposed scope of work for the project does not include ground-disturbing activities and thus there is a low chance of encountering archaeological resources. Rehabilitation Standard No. 8 does not apply.

- 9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

The alteration of window openings and installation of seven new windows is a proposed exterior alteration. Five of the windows, three on the north elevation and two on the south elevation, are non-original aluminum framed windows which do not contribute to the character of the building. They will be replaced with historically compatible wood windows which will be consistent with the massing, size, scale, and architectural features. The building's remaining original windows are wood frame casement windows; therefore, the new windows will be compatible to the original design and comply with Standard No. 9.

As previously described, two original wood windows on the east elevation first floor, an original fixed pane wood window with divided light transom and small wood sash window, are proposed to be removed and their openings altered with removal of stucco and interior wood framing for incompatible wood frame vertical sash windows. The two original windows on the south elevation are character-defining features of the property and their replacement would destroy historic materials that characterize the property. As previously recommended, the two original windows should be retained or replaced in-kind in order to conform with Standard No. 9.

On the south elevation's first floor, two large openings from unpermitted work are proposed to receive new windows. The western opening is proposed to receive a wood frame horizontal sliding sash window while the eastern opening will have a portion of its sill raised for a smaller opening and receive a wood frame one-over-one sash window and a fixed wood frame window. The proposed windowsill modification for a smaller window is designed to accommodate the height of a kitchen counter at the interior and as previously described, will generally maintain the rhythm of fenestration on this elevation, despite proposed changes to the opening. The small wood fixed window and the wood frame one-over-one sash windows are compatible as the building currently exhibits this style of windows and is consistent with the building's historic character. Horizontal sliding sash windows were not, however, common when the building was constructed. Two paired one-over-one sash windows on the second floor above, suggest the first floor likely repeated the same historic configuration. It is recommended, that the western window opening receive paired one-over-one windows instead of a horizontal sliding sash window to reflect the historic configuration. The proposed window replacement at the south elevation generally meets Standard No. 9. However, the proposed sliding horizontal sash window is recommended to be replaced with paired one-over-one wood sash windows in order to more successfully conform to Standard No. 9.

The construction of exterior stairs is a proposed exterior alteration and new addition. According to guidance from National Park Service (NPS) as outlined in ITS Bulletin Number 10: Exterior Stair/Elevator Stair Additions, necessary stair additions should be located on a secondary elevation. Exterior stairs to the first floor are proposed for the south elevation, which is one of the building's primary elevations fronting present-day Sacramento Street. It is distinguishable as the primary elevation by its ground floor porch entrance at the southeast corner.

However, Bulletin 10 further provides that additions should not be highly visible from public spaces and their construction should not destroy character-defining historic materials. Though the south elevation is identified as a primary elevation, the stairs are a replacement of existing non-original stairs and will not alter the character of the south elevation. Also, the stairs are hidden behind the detached garage from viewers on the south elevation and by the primary entrance porch from the east elevation. The proposed porch over the new stairs on the south elevation also includes a shed roof porch cover. The porch roof has a simple design that will not deter from the historic character of the building. The proposed installation of stairs will not result in the destruction of character-defining historic materials. The proposed addition of exterior stairs conforms with Rehabilitation Standard No. 9.

- 10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

The proposed new stairs on the first-floor south elevation will be undertaken in such a manner where their removal will not harm the building and conforms with Rehabilitation Standard No. 10.

- B. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.**

The project site is within the Saint Vincent's Hill Historic District for which there is no adopted conservation plan or specific plan.

- C. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (4) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.**

The project does not involve demolition of a structure.

III. RESOLUTION APPROVING THE PROJECT AT 945 YORK STREET:

NOW, THEREFORE, LET IT BE RESOLVED that the Commission hereby APPROVES Certificate of Appropriateness (COA) #22-0005 based on the analysis contained in the staff report and the findings contained herein and subject to the Conditions of Approval attached as an exhibit.

VII. VOTE

PASSED AND ADOPTED at a regular meeting of the Commission of the City of Vallejo, State of California, on the 18th day of May 2023 by the following vote to-wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

ANGELA MCDONALD, CHAIRPERSON
City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

CESAR OROZCO, SECRETARY
City of Vallejo Architectural Heritage and Landmarks Commission

CONDITIONS OF APPROVAL

CERTIFICATE OF APPROPRIATENESS (COA22-0005) 717-719 SACRAMENTO STREET, VALLEJO CA, 94589 APN # 0055-126-110

PERMIT DESCRIPTION: The project involves exterior alterations to an existing multi-family residential building to a single-family residence with an Accessory Dwelling Unit (ADU) and a Junior Accessory Dwelling Unit (JADU), all within the existing building envelope. The proposed ADU and JADU are subject to ministerial approval under Government Code Section 65852.2. The existing single-family residence was converted into two units without the benefit of a permit. To accommodate the proposed interior floor plan changes, exterior work include; replacement of three non-original aluminum sash windows with wood casement windows on the north elevation, replacement of two original wood windows on the east elevation, replacement of exterior stairs at the south elevation, replacement an existing door for a new door at the east elevation, alteration of existing window openings on the south and east elevations, modification of the existing basement door for a window opening, and infilling an existing exterior door opening on the east elevation and the removal of exterior stairs at the west elevation.

A. PLANNING DIVISION

Cesar Orozco, Principal Planner | cesar.orozco@cityofvallejo.net | (707) 648-5436

Pre-Building Permit

1. Prior to building permit submittal, apply for two Zoning Compliance permits with the Planning Division for review of the proposed Accessory Dwelling Unit and Junior Accessory Dwelling Unit.
2. Prior to building permit issuance, the applicant shall submit plans that retain the fixed pane window with the divided lite transom and replace the smaller wood sash window with a sash window on the eastern elevation of the building, in keeping with the Historical Resources Impacts Assessment by Rincon Consultants, dated January 30, 2023, to the satisfaction of the Planning Manager.

Prior to building permit issuance, submit a numbered list to the Planning Division with a written response on how each condition of approval (COA) contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate development of the project. The approved COA will be included in the permit set after the cover sheet with each condition listed and how the applicant will address each condition in writing.

3. Spanish roof tile not permitted on new covered porch and stairs on the west property line. Install composite shingle with similar color.

General Requirements

1. The Planning Division shall confirm that the building permit drawings and subsequent construction substantially conform with the approved Planning application drawings.
- 2.
3. A final decision on an application for any discretionary approval subject to appeal shall become effective after the expiration of ten calendar days following the date of action unless an appeal is filed. No building permit or business license shall be issued until the 11th day following the date of the action. If a different termination date is fixed at the time of granting, or if actual construction or alteration has begun under valid building permits, the ten-day, period may be waived. (VMC Section 16.602.11)
4. The review authority, in the granting of any permit, may specify a time, consistent with the purposes of the use and necessary to safeguard the public safety, health and welfare, within which the proposed use must be undertaken and actively and continuously pursued. If no time period is

specified, any permit granted under the Zoning Code shall automatically expire within two years of the effective date (March 16, 2025; if approved) (VMC Section 16.602.12 (A)).

5. If a permit is granted in conjunction with approval of new construction, issuance of a building permit shall constitute exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - i. The Building Permit expires.
 - ii. Final inspection is not completed, or certificate of occupancy issued within the time specified as a condition of project approval.
 - iii. The rights granted under the permit are not exercised within one year following the earliest to occur of the following: issuance of a certificate of occupancy; or if no certificate of occupancy is required, the last required final inspection for the new construction. (VMC Section 16.602.11 (B))
6. The Director may approve a one-year extension of any permit or approval granted for a residential or non-residential project under the Zoning Code upon receipt of a written application and fees received fifteen calendar days (March 1, 2025) before the expiration date with the required fee prior to expiration of the permit. (VMC Section 16.602.11 (C.1))
7. No change in the use or structure for which a permit or other approval has been issued is permitted unless the permit is modified as provided for in the Zoning Code. For the purpose of this chapter, the modification of a permit may include minor modification of a development review approval that is in substantial compliance as determined by the director. (VMC Section 16.602.11 (D))
8. Applications for changes to an approved permit must be filed and processed in compliance with the requirements in Section 16.602.02, Application Forms and Fees, and shall be subject to a fee established by the Master Fee Schedule.
 - a. Minor Modifications. The director may approve minor changes to approved plans that are consistent with the original findings and conditions approved by the hearing body and would not intensify any potentially detrimental effects of the project.
 - b. Major Modifications. A request for changes in conditions of approval of a discretionary permit or a change in an approved site plan or building plan that would affect the findings adopted as a basis for project approval shall be treated as a new application, except that the director may approve changes that he or she determines to be minor. (VMC Section 16.602.11 (E))
9. A request for major changes to an approved site plan or building plan that will not affect the findings adopted as a basis for project approval, but are still considered substantial, shall be forwarded to the original review authority for the discretionary permit for review and approval. Any changes to the proposed colors shall require approval by the Planning and Development Services Director. (VMC Section 16.602.11 (F))
10. Within five business days after project approval, the applicant/operator shall pay the Notice of Exemption filing fee (the latest fees in effect at the time of payment) for County Clerk processing, made payable to Solano County and submitted to the City of Vallejo Planning Division. If an in-person filing is required, such filing shall be completed by the applicant, unless directed otherwise by the Planning Division. NOTE: If the fees are not paid and the Notice of Exemption is not filed within five working days after approval of the project, it will extend time frames for California Environmental Quality Act (CEQA) legal challenges.
11. Obtain an inspection from the Planning Division prior to occupancy/final building inspection. All inspections require a minimum 24-hour notice. Occupancy permits shall not be granted until all construction and landscaping are completed and finalized in accordance with the approved plans and required conditions of approval or a bond has been posted to cover all costs of the unfinished work as agreed to by the Planning and Development Services Director.

12. Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.



Rincon Consultants, Inc.

449 15th Street, Suite 303
Oakland, California 94612

510 834 4455 OFFICE

info@rinconconsultants.com
www.rinconconsultants.com

January 30, 2023
Project No: 22-13725

Cesar Orozco, Senior Planner
City of Vallejo Planning Division
555 Santa Clara Street, #3
Vallejo, California 94590
Via email: cesar.orozco@cityofvallejo.net

**Subject: Historical Resources Impacts Assessment for 717 Sacramento Street
717-719 Sacramento Street, Vallejo, California 94590**

Dear Mr. Orozco:

Rincon Consultants, Inc. (Rincon) was retained to conduct a historical resources impacts assessment for a project at 717-719 Sacramento Street, Vallejo, California. The proposed project involves exterior and interior improvements to an existing residential building originally constructed between 1911 and 1915 in the St. Vincent neighborhood of Vallejo, California.¹ The building is included as a contributing resource in the National Register of Historic Places (NRHP)-listed St. Vincent's Hill Historic District and is therefore a historical resource as defined in Section 15064.5(a) of the California Environmental Quality Act (CEQA) Guidelines.² The current assessment was prepared to determine if the project conforms with the Secretary of the Interior's Standards for Rehabilitation (Standards) and would result in an impact to a historical resource.³ Per Section 15064.5(b)(3) of the CEQA Guidelines, a project that is found to comply with the Standards generally mitigates impacts to a less than significant level. Methods for the current assessment included a review of project plans and relevant historic documentation, a site visit, and preparation of this memorandum to present the results.

The impacts assessment was conducted by Architectural Historian Ashley Losco with oversight from Architectural Historian Project Manager JulieAnn Murphy and Program Manager Steven Treffers, all of whom meet the Secretary of the Interior's *Professional Qualification Standards* (PQS) for architectural history and history.

Project Description

The proposed project includes exterior alterations to the residential building within the St. Vincent's Hill Historic District. The building was previously modified by the prior owner. Alterations included removal

¹ ParcelQuest lists the year of construction as 1911, and the National Register Nomination for the St. Vincent's Hill Historic District states the year of construction was circa 1915 (page 15). The property appears in a 1919 Sanborn Fire Insurance Map, Sheet 20, as "Flats" with two apartments, 717 and 719 Sacramento Street.

² National Park Service, National Register of Historic Places, St. Vincent's Hill Historic District Nomination, NPS Reference #10240018, 2002.

³ Kay Weeks and Anne Grimmer, *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*. National Park Service, Washington, D.C., 2017.

and modifications to the second story window openings and demolition of a portion of the exterior wall at the first floor of the building's south elevation. Additionally, a window opening on the east elevation of the adjacent garage was also altered. All work was done in 2022 without the benefit of a permit and remains incomplete.

As outlined in project plans, the proposed project would convert the existing the multi-family, two-unit residence into a single-family residence with an Accessory Dwelling Unit (ADU) and Junior Accessory Dwelling Unit (JADU), all within the existing building envelope (Attachment 1).⁴ In order to accommodate the proposed interior floor plan changes, exterior work is proposed and includes three categories of work - replacing existing features with new features, exterior opening modifications, and exterior circulation changes. Proposed material replacement includes replacement of three non-original aluminum sash windows for wood casement windows on the north elevation replacement of two original wood windows on the east elevation, replacement of exterior stairs at the south elevation, and the replacement an existing door for a new door at the east elevation. Proposed exterior opening modifications include the alteration of existing window openings on the south and east elevations, modification of the existing basement door for a window opening, and infilling an existing exterior door opening on the east elevation. Proposed circulation changes include the removal of exterior stairs at the west elevation.

St. Vincent's Hill Historic District

In 2003, the St. Vincent's Hill Historic District was certified as a NRHP Historic District with a period of significance from 1868 to 1947. It is significant under National Register Criteria A and C in the areas of social history (Criterion A), relating to the residential development of the neighborhood which grew around St. Vincent Ferrer Catholic Church and School and corresponds with the growth of Mare Island Naval Shipyard, providing housing for its workers; and architecture (Criterion C), relating to its important collection of architectural specimens from many eras from the late 19th Century into the mid-20th Century. The dwellings reflect the styles prominent during this era including Stick/Eastlake, Italianate, Queen Anne, Colonial Revival, Craftsman, Gothic Revival, Prairie, and Shingle. Two institutional buildings, the post office and the Veterans' Memorial Building, reflect the Art Deco and Beaux Arts styles, respectively.⁵

Property Background

717-719 Sacramento Street is a two-story multi-family residence constructed between 1911 and 1915 as a two-unit building.⁶ The building was included in the St. Vincent's Hill Historic District for its Mediterranean Revival and Craftsman architectural design. Alterations since its construction include:

- Replacement of original windows on the north and south elevations

⁴ Monarch Engineers, "Lei Residence Remodel & New ADU and JADU, 717 Sacramento Street, Vallejo, CA". May 23, 2023.

⁵ National Park Service, National Register of Historic Places, St. Vincent Hill Historic District Nomination, NPS Reference #10240018, 2002.

⁶ ParcelQuest lists the year of construction as 1911, and the National Register Nomination for the St. Vincent's Hill Historic District states the year of construction was circa 1915 (page 15). The property appears in a 1919 Sanborn Fire Insurance Map, Sheet 20, as "Flats" with two apartments, 717 and 719 Sacramento Street.

- Replacement of original doors
- Addition of exterior metal stairs on the west elevation
- Construction of a detached garage between 1948 and 1950⁷
- Unpermitted south elevation and garage alterations begun in 2022

A site visit by Architectural Historian JulieAnn Murphy, completed in December 2022 noted the building's current condition including the change undertaken as part of the previously unpermitted work, which remains incomplete (Figure 1 through Figure 6).

Figure 1 View of the Building's South and East Elevations



⁷ The garage is not pictured in a 1948 aerial of the property but is annotated in the 1950 Vallejo Sanborn Fire Insurance Map, Sheet 20. The aerial was accessed through historicaerials.com, and the Sanborn Map was accessed through ProQuest Digital Sanborn Maps.

Figure 2 View of East Elevation



Figure 3 View of East and North Elevations



Figure 4 View of South Elevation Primary Entrance and Porch Cover



Figure 5 View of East Elevation Second Floor Casement Windows



Figure 6 View of Replaced Second Floor Windows on South Elevation



Character-Defining Features

The intent of the Standards is to provide for the long-term preservation of a property's significance through the preservation of its historic materials and features. These historic materials and features are commonly referred to as character-defining features and are indispensable in a historic property's ability to convey the reasons for its historical significance. To ensure a proposed project's compliance with the Standards, a historic property's character-defining features should therefore be identified and preserved as part of the final design.

According to Preservation Brief 17, *Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, there is a three-step process to identifying character-defining features.⁸ Step 1 involves assessing the distinguishing physical aspects of the exterior of the building as a whole, including its setting, shape and massing, orientation, roof and roof features, projections, and openings. Step 2 looks at the building more closely—at materials, trim, secondary features, and craftsmanship. Step 3 encompasses the interior, including individual spaces, relations or sequences of spaces (floor plan), surface finishes and materials, exposed structure, and interior.

⁸ Lee H. Nelson, *Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, Preservation Brief No. 17. U.S. Department of the Interior, National Park Service, Technical Preservation Services.

717-719 Sacramento Street is significant as a contributor to the St. Vincent's Hill Historic District for its Mediterranean Revival and Craftsman architecture. As such, its character-defining features relate to its original architectural elements. These include the following:

- Two-story massing
- Corner-lot siting
- Flat roof with crenellated parapet roofline
- Projected cornice on banded modillions
- Double-hung wood windows
- Wood casement windows with divided lite transoms
- Front porch entrance with flat roof, cross beams, heavy square columns, knee braces
- Mission tiled hipped roof supported on knee braces at second entry
- Stucco exterior

Project Impacts Analysis

CEQA Section 21084.1 requires a lead agency determine whether a project may have a significant effect on the environment, which includes historical resources. Impacts to a historical resource occurs when there is a substantial adverse change in the significance of a resource such that it is materially impaired. Material impairment is defined as demolition or alteration "in an adverse manner [of] those characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the California Register."⁹ Under Section 10564.5 of the CEQA Guidelines, a project that is found to conform with the Standards is generally found to not result in significant impacts to historic resources under CEQA.

Secretary of the Interior's Standards Review

The Standards establish professional standards and provide guidance on the preservation and protection of historic properties. The Standards make broad-brush recommendations for maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations. They cannot, in and of themselves, be used to make essential decisions about which features of a historic property should be saved and which might be changed. Rather, they provide philosophical consistency to the work.¹⁰ There are Standards for four distinct, but interrelated, approaches to the treatment of historic properties: preservation, rehabilitation, restoration, and reconstruction. The Rehabilitation Standards are the most commonly used treatment for historic buildings and therefore have been utilized in the review of the current project.¹¹ Following the guidance of the Standards, the Rehabilitation Standards are most appropriate for the current project because of the building's current physical condition and the work proposed.

The Secretary's Standards for Rehabilitation state:

⁹ CEQA Guidelines Section 15064.5[b][2][A].

¹⁰ Weeks and Grimmer 2017, 3.

¹¹ Weeks and Grimmer 2017, 3.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The following presents an analysis of the applicable Standards.

Rehabilitation Standard No. 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed project proposes retention of the building's historic purpose as a multi-family dwelling. The proposed project will require minimal change to the defining characteristics of the building and its site and environment. Therefore, the project complies with Rehabilitation Standard No. 1.

Rehabilitation Standard No. 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The historic character of 717-719 Sacramento Street is comprised of the physical characteristics that reflect its significance as a contributor to the St. Vincent's Hill Historic District and its Mediterranean Revival and Craftsman design. The proposed project proposes replacement of seven windows throughout the dwelling to meet egress and natural light requirements. Five of the windows, three on

the north elevation and two on the primary south elevation are non-historic aluminum sash windows, which do not contribute to the character of the building. Generally, the replacement of non-historic windows with historically compatible types will help to reestablish the historic character of the building and is consistent with Standard No.2.

Two of the windows at the south elevation's first-floor level were removed during unpermitted work. The openings were widened through the removal of stucco and interior wood framing. The west opening is proposed to be maintained and infilled with a wood frame horizontal sliding sash window while the east opening will be modified, and have a portion of its sill raised for a small fixed pane window. The modifications to the window openings are generally consistent with Standard No. 2. Though the proposed modification to the east window would result in loss of historic material, the proposed modification retains the fenestration and rhythm of the elevation's historic configuration.

On the east elevation, also a primary elevation of the building fronting Sacramento Street, two windows on the first-floor level are proposed for removal and to have their openings altered. The original wood frame windows on the east elevation includes a small, wood sash window and one a fixed pane window with divided lite transom. As part of the proposed project, the windows would be removed, their openings enlarged through the removal of stucco and interior wood framing, and be replaced with wood frame vertical sliding sash windows. The fixed pane window with divided lite transom and wood sash window are character-defining features of the building on a primary elevation and the modifications to the openings and the removal of the windows would impair the property's historic character. Original materials particularly those on primary elevations, should be retained as these elevations are visible to the public right-of-way. The proposed modification for the two windows on the east (primary) elevation is inconsistent with Standard No. 2. In order to conform to the Standards, removal of the windows should be avoided or should be replaced in-kind with retention of the divided lite transom. If replacement is needed to meet compliance for egress, the original openings and transom should be maintained and sash windows installed.

The proposed project includes removal of three doors on the east, west, and south elevations. Door openings on the west and south elevations will be modified. The door opening on the building's west elevation will be infilled with stucco and wood framing and will no longer provide exterior access. Available archival research suggests that the existing opening is a non-historic alteration, having been installed after the District's period of significance which spans from 1868 to 1947. Its proposed removal will not result in loss of historic materials and is consistent with Standard No. 2.

The south elevation door opening to the basement will be truncated to accommodate a wood frame sash window. Though the alteration would occur on a primary elevation, alteration to a window opening will maintain the rhythm of window openings. Additionally, the window is at the basement level and partially hidden behind the garage, therefore, the window is not completely visible from the public right-of-way and will not affect the character of the building and is consistent with Standard No. 2.

The proposed project also includes replacement of a set of wooden stairs at south elevation's first floor entry.. Based on materials and design, the stairs were likely not original to the building and date to after the District's period of significance. (The stairs are not annotated in the 1950 Vallejo Sanborn Fire

Insurance Map.¹²) The stairs to the first floor on the south elevation will be replaced with a new set of wood stairs and covered by a new wood porch cover. The proposed replacement of the existing stairs will not result in loss of historic materials or alter a feature that characterize the property and is consistent with Standard No. 2.

The metal stairs to the second floor on the west elevation will be removed and not replaced. Based on position, design, and materials, the stairs were added later in the building's history and outside of the period of significance for the District. (The stairs are not annotated in the 1950 Vallejo Sanborn Fire Insurance Map.¹³) The west elevation is a secondary elevation, the proposed removal will not result in loss of historic materials or alter a feature that characterizes the property; therefore, removal of the stairs is consistent with Standard No. 2.

Though the proposed changes to the east elevation do not conform to Rehabilitation Standard No. 2, the overall scope does generally conform. Rehabilitation Standard No. 2 is, therefore, satisfied with recommendations for conformance.

Rehabilitation Standard No. 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, will not be undertaken.

The proposed project includes addition of a porch cover over the stairs at the first floor's south elevation entry. The shed roof porch cover will be constructed of wood framing, though the plans are not explicit about the type of sheathing on the roof. The simple wood structure will not deter from the original character-defining features of the building and will be compatible to the character of the building as there are existing wood elements seen in the original porch on the south elevation and the wood windows. Having a simple paired back design rather than a design matching the original porch or a porch from this period will avoid creating a false sense of historical development. As the drawings do not state what the porch roof will be clad in, Spanish tile roofing should be avoided as this will create a false sense of historical development. The project does not include addition of conjectural features or architectural elements from other buildings. Furthermore, the proposed porch cover is a reversible treatment and could easily be removed to reveal the original appearance of the building. As a result, the project complies with Rehabilitation Standard No. 3 with the provided recommendations.

Rehabilitation Standard No. 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Based on the materials, position, and design, the exterior stairs on the south and west elevations were installed later and likely outside the period of significance for the St. Vincent's Hill Historic District. Both sets of stairs were not annotated in a 1919 and a 1950 Sanborn Fire Insurance Map of the property and

¹² 1950 update to the 1919 Vallejo Sanborn Fire Insurance Map, Sheet 20. Accessed through ProQuest Digital Sanborn Maps, https://digitalsanbornmaps-proquest-com.ezproxy.lapl.org/browse_maps/5/905/3838/4090/62772?accountid=6749.

¹³ Ibid.

surrounding block.¹⁴ The stairs on the west elevation are metal which is not consistent with designs from the 1910s when the building was constructed. On residential buildings, stairs were typically constructed of wood during this period. The stairs on the south elevation to the first floor look contemporary based on the wood material and design. These sets of stairs have not acquired significance in their own right and their removal is compliant with Rehabilitation Standard No. 4.

Rehabilitation Standard No. 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

The proposed plans include removal of two original windows, identified as character-defining features of the property, on the east elevation, and alteration of the openings through the removal of stucco and interior wood framing, and replacement with wood vertical sash windows. Removal of the windows would not comply with Rehabilitation Standard No. 5. To conform with the Standards, it is recommended that the windows be retained or replaced in-kind. If replacement is needed to meet compliance for egress, the original openings and transom should be maintained and one-over-one sash windows installed. Their removal, therefore, is inconsistent with Rehabilitation Standard No. 5.

Both exterior stairs, the metal stairs on the west elevation and the wood stairs on the south elevation, are not distinctive features and do not characterize the property. Their removal, therefore, is compliant with Rehabilitation Standard No. 5.

Rehabilitation Standard No. 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

As described above in Standard No. 2, the exterior stairs, including the metal stairs on the west elevation and the wood stairs on the south elevation, likely do not date to the building's historic period. They are not historic features and are not required to be repaired rather than replaced. As such, the removal of the non-historic stairs complies with Standard No. 6.

Seven of the windows will be replaced to meet egress and natural light requirements, five of which on the north and south elevations are non-historic aluminum sash windows and therefore are can be replaced. The windows will be replaced with wood frame casement windows, which are compatible to the historic character of the building and closely replicate the building's remaining original windows which are wood frame casement windows. Residential buildings from the 1910s were typically designed with wood sash or casement windows.

However, as described above in Standard No. 2, two of the windows on the south elevation's first floor which are original and character-defining to the building will be removed and replaced with incompatible wood frame vertical sliding sash windows; this type of window was not seen in buildings dating to this period. The south elevation windows, including a small sash window and a fixed pane window with a divided lite transom, should be retained or replaced in-kind to meet Standard No. 6.

¹⁴ 1919 Vallejo Sanborn Fire Insurance Map, Sheet 20 and 1950 updates to the 1919 Vallejo Sanborn Fire Insurance Map, Sheet 20. Accessed through ProQuest, Digital Sanborn Maps, 1867-1970.

The project also proposes removal of a door on the south elevation first floor and replacement with a historically compatible wood door with glazing. Residential buildings from this period were typically designed with wood doors with glazing; therefore, the new door will be compatible and its proposed replacement is consistent with Standard No. 6.

Rehabilitation Standard No. 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed scope of work does not include chemical or physical treatments. Rehabilitation Standard No. 7 does not apply.

Rehabilitation Standard No. 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

The proposed scope of work does not include ground-disturbing activities and there is a low chance of encountering archaeological resources as part of this project. Rehabilitation Standard No. 8 does not apply.

Rehabilitation Standard No. 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The alteration of window openings and installation of nine new windows is a proposed exterior alteration. Five of the windows, three on the north elevation and two on the south elevation, are non-original aluminum framed windows which do not contribute to the character of the building. They will be replaced with historically compatible wood windows which will be consistent with the massing, size, scale, and architectural features. The building's remaining original windows are wood frame casement windows; therefore, the new windows will be compatible to the original design and comply with Standard No. 9.

As previously described, two original wood windows on the east elevation first floor, an original fixed pane wood window with divided lite transom and small wood sash window, are proposed to be removed and their openings altered with removal of stucco and interior wood framing for incompatible wood frame vertical sash windows. The two original windows on the south elevation are character-defining features of the property and their replacement will destroy historic materials that characterize the property. As previously recommended, the two original windows should be retained or replaced in-kind in order to conform with Standard No. 9.

On the south elevation's first floor, two large openings from unpermitted work are proposed to receive new windows. The western opening is proposed to receive a wood frame horizontal sliding sash window while the eastern opening will have a portion of its sill raised for a smaller opening and receive a wood frame one-over-one sash window and a fixed wood frame window. The proposed window sill modification for a smaller window is designed to accommodate the height of a kitchen counter at the

interior and as previously described, will generally maintain the rhythm of fenestration on this elevation, despite proposed changes to the opening. The small wood fixed window and the wood frame one-over-one sash windows are compatible as the building currently exhibits these style of windows and is consistent with the building's historic character. Horizontal sliding sash windows were not, however, common when the building was constructed. Two paired one-over-one sash windows on the second floor above, suggest the first floor likely repeated the same historic configuration. It is recommended, that the western window opening receive paired one-over-one windows instead of a horizontal sliding sash window to reflect the historic configuration. The proposed window replacement at the south elevation, generally meets Standard No. 9. However, the proposed sliding horizontal sash window is recommended to be replaced with paired one-over-one wood sash windows in order to more successfully conform to Standard No. 9.

The construction of exterior stairs is a proposed exterior alteration and new addition. According to guidance from National Park Service (NPS) as outlined in *ITS Bulletin Number 10: Exterior Stair/Elevator Stair Additions*, necessary stair additions should be located on a secondary elevation.¹⁵ Exterior stairs to the first floor are proposed for the south elevation, which is one of the building's primary elevations including the east elevation, fronting present-day Sacramento Street. It is distinguishable as the primary elevation by its ground floor porch entrance at the southeast corner.

However, *Bulletin 10* further provides that additions should not be highly visible from public spaces and their construction should not destroy character-defining historic materials. Though the south elevation is identified as a primary elevation, the stairs are a replacement of existing non-original stairs and will not alter the character of the south elevation. Also, the stairs are hidden behind the detached garage from viewers on the south elevation and by the primary entrance porch from the east elevation. The proposed porch over the new stairs on the south elevation also includes a shed roof porch cover. The porch roof has a simple design that will not deter from the historic character of the building. The proposed installation of stairs will not result in the destruction of character-defining historic materials. The proposed addition of exterior stairs conforms with Rehabilitation Standard No. 9.

Rehabilitation Standard No. 10

New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed new stairs on the first floor south elevation will be undertaken in such a manner where their removal will not harm the building and conforms with Rehabilitation Standard No. 10.

Conclusions and Recommendations

As detailed above, the proposed scope of work related to exterior circulation changes are generally in conformance with all of the applicable Standards for Rehabilitation. Similarly, the scope of work related to replacing existing features with new, compatible features is also consistent with the Standards. The scope of work related to modifications to exterior openings, however, does not fully conform to the Standards for Rehabilitation. Specifically, the proposed removal of historic windows and modifications

¹⁵ National Park Service, Technical Preservation Services, *Interpreting the Secretary of the Interior's Standards for Rehabilitation, ITS Number 10: Exterior Stair/Elevator Tower Additions*, July 1999.



to window openings proposed for the east elevation does not meet the Standards for Rehabilitation. It is therefore recommended that the proposed scope of work be amended to incorporate the recommendations provided above. The proposed project can be considered to comply with the Standards Once provided recommendations are incorporated into the proposed project design it can be considered to comply with the Standards and avoid an impact to historical resources as defined in Section 10564.5 of the CEQA Guidelines. Should you have any questions or comments regarding this report, please do not hesitate to contact me at 925-326-1159, jmurphy@rinconconsultants.com, or alosco@rinconconsultants.com.

Sincerely,

Rincon Consultants, Inc.

A handwritten signature in black ink that reads "Ashley Losco".

Ashley Losco
Architectural Historian

A handwritten signature in black ink that reads "JulieAnn Murphy".

JulieAnn Murphy
Architectural Historian Project Manager

A handwritten signature in black ink that reads "Steven Treffers".

Steven Treffers, M.H.P.
Cultural Resources Program Director

Attachment 1: Project Plans

Attachment 1

Project Plans

REMODEL MAIN DWELLING UNIT AND CREATE AN ADU AND JADU

UPDATE BUILDING USE TO MEET EXISTING ZONING REQUIREMENTS

717-719 SACRAMENTO STREET

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Vallejo, CA 94590

DESCRIPTION:

COVER SHEET

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA



Design by:
R. Cortez P.E. CAG
Checked by:
R. Cortez P.E. CAG
Date:
05/23/2022

Drawn by:
D. Rames
Approved by:
R. Cortez P.E. CAG
Date:
As Noted

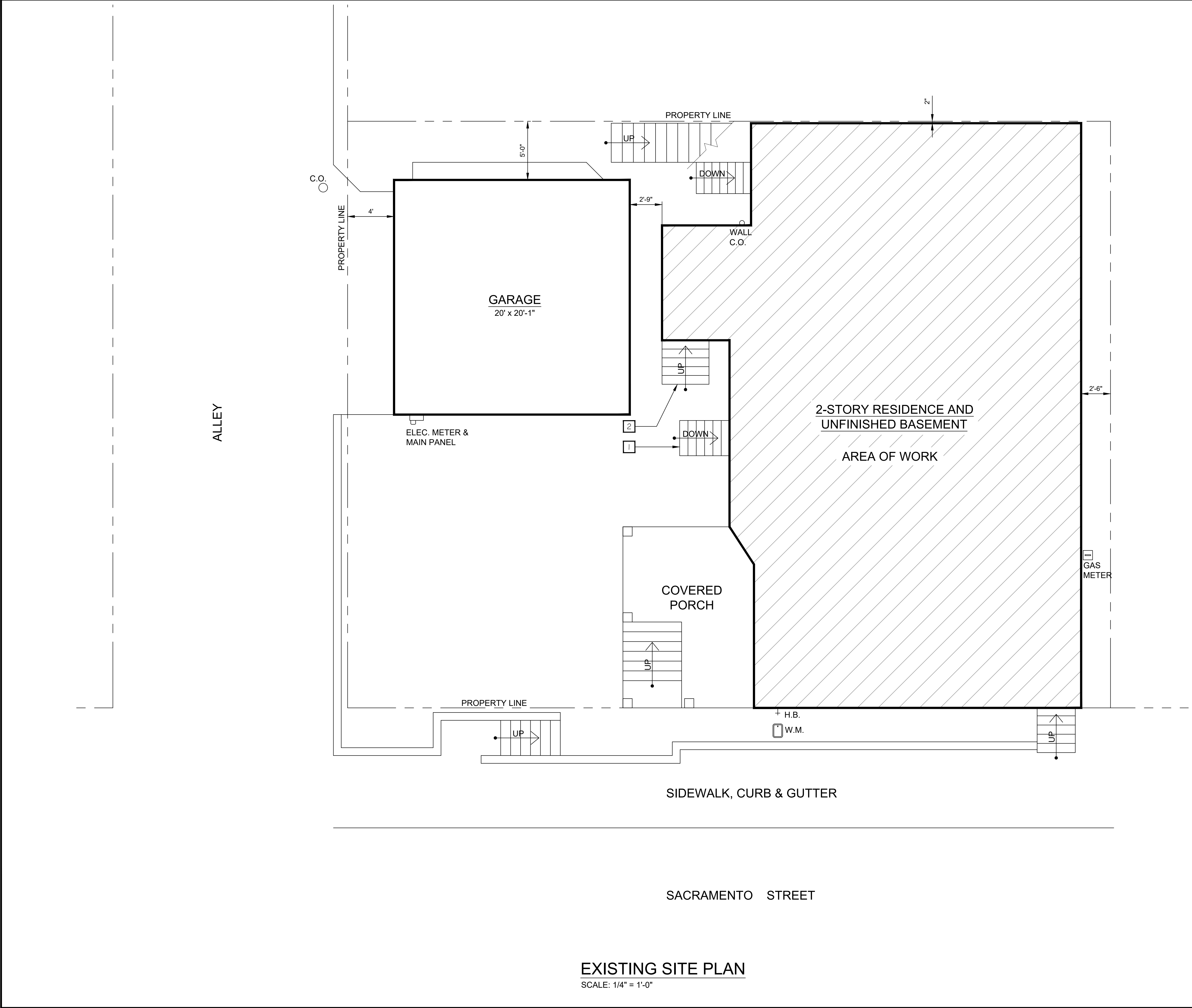
REVISIONS

No.	Date	By
△	-	.

Job No. -

CS-1

PROJECT REFERENCE NUMBERS	GENERAL NOTES	PROJECT DIRECTORY	DRAWING INDEX
ASSESSOR'S PARCEL NUMBER (A.P.N.): 0055-126-110 PLAN CHECK NUMBER: -	1. ALL DETAILS OF CONSTRUCTION SHALL CONFORM WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE. 2. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, FLOOR SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS. 3. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLDOWNS, EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO CONSTRUCTION. 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION, DEMOLITION MEANS AND METHODS ON THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY, OR NEGLIGENT ACTS OR OMISSIONS BY THE OWNER, GENERAL CONTRACTOR, OR THEIR SUB- CONTRACTORS ON THE PROJECT. 5. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER AND PROJECT CONSULTANTS. 6. ADDITIONAL ON-SITE FIRE PROTECTION DURING CONSTRUCTION TO BE PROVIDED AS REQUIRED BY FIRE MARSHALL. 7. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING, RELOCATING AND/OR REMOVAL OF EXISTING UTILITIES. 8. DOCUMENTS MARKED 'BID DOCUMENTS' SHALL NOT BE USED FOR CONSTRUCTION. 9. ANY CHANGES TO THESE DOCUMENTS OR THE DESIGN AFTER THE ISSUANCE OF A BUILDING PERMIT SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.	CLIENT: MS. JOANNA LEI 719 SACRAMENTO STREET VALLEJO, CA 94590 TEL: 415-699-0839 DESIGNER: MR.ROBERTO CORTEZ, PE, CAGP MONARCH ENGINEERS 425 VIRGINIA STREET SUITE B VALLEJO, CA 94590 TEL: 415-448-6073 OR TEL: 707-648-9571	CS-1 COVER SHEET SITE DEVELOPMENT SD-1 EXISTING SITE PLAN SD-2 PROPOSED SITE PLAN ARCHITECTURAL A-1.0 EXISTING 1ST & 2ND FLOOR PLAN A-1.1 EXISTING BASEMENT FLOOR PLAN A-2.0 PROPOSED 1ST FLOOR PLAN A-2.1 PROPOSED 2ND FLOOR PLAN A-2.2 PROPOSED BASEMENT FLOOR PLAN A-3.0 EXISTING ELEVATIONS A-4.0 PROPOSED ELEVATIONS A-4.1 PROPOSED ELEVATIONS A-4.2 PROPOSED ELEVATIONS
PROJECT SCOPE	NOTES	FIRE NOTES	APPROVAL STAMPS
1. CHANGE CURRENT USE OF EXISTING UNCONFORMING USE TO MATCH EXISTING ZONING CODE. THE EXISTING STRUCTURE IS A MULTIFAMILY BUILDING WITH TWO APARTMENT UNITS. CURRENT ZONING REQUIREMENT DOES NOT ALLOW MULTIFAMILY USES. THIS PERMIT CHANGES THE USE TO SINGLE FAMILY HOME. SECOND FLOOR UNIT WILL BE CONSIDERED AN MDU. THE FIRST LEVEL APARTMENT WILL BE SPLIT IN TWO CREATING AN ADU AND A JADU. THE SECOND FLOOR APARTMENT WILL BE OWNER OCCUPIED AND WILL BE THE MAIN HOUSE IN THE PROPERTY. NO ADDITIONS TO THE EXISTING BUILDING FOOTPRINT IS PROPOSED. SOME CHANGES IN WINDOWS ARE NEEDED TO MEET EGRESS AND NATURAL LIGHT REQUIREMENTS. 2. REMODEL THE SECOND FLOOR UNIT ADDING A MASTER BATHROOM AND A OPEN CONCEPT KITCHEN/DINING ROOM. 3. THE ADU IS 875 SQ FT AND WILL OCCUPY THE BACK SECTION OF THE EXISTING. THE MAIN DOOR TO THE ADU WILL BE THE EXISTING BACK DOOR OF THE FIRST FLOOR APARTMENT. THIS REQUIRES ADDING A COVERED PORCH AT THE EXISTING BACK DOOR. THE ADU IS PROPOSED TO BE A THREE-BEDROOM/TWO-BATHROOM UNIT. NO ADDITIONAL OPENINGS IN THE EXISTING WALLS ARE PROPOSED. 4. THE JADU IS 476 SQ FT AND WILL OCCUPY THE FRONT SECTION OF THE EXISTING FIRST FLOOR APARTMENT. THE MAIN PORCH AND DOOR WILL REMAIN UNCHANGED. THE WINDOWS FRONTING SACRAMENTO STREET WILL CHANGED TO MEET EGRESS AND NATURAL LIGHT REQUIREMENTS. THE JADU IS PROPOSED TO BE A ONE-BEDROOM/ONE-BATHROOM UNIT. NO ADDITIONAL OPENINGS IN THE EXISTING WALLS ARE PROPOSED.	1. PER IB-1 G ADU & JADU IS NOT REQUIRED TO BE PV READY.	1. (E) BUILDING IS NOT SPRINKLED, PER IB-1 G ADU & JADU IS NOT REQUIRED TO BE SPRINKLED IF THE MDU IS NOT SPRINKLED.	
VICINITY MAP	CODE DATA	DRAWING LEGEND	
PROJECT SITE	BUILDING CODES: 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA RESIDENTIAL CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA ENERGY CODE CONSTRUCTION TYPE: V-B OCCUPANCY: R-3 ZONING: LOW DENSITY RESIDENTIAL BUILDING AREA: 2ND FLOOR 1,325 SQFT 1ST FLOOR 1,316 SQFT BASEMENT 1,495 SQFT DETACHED GARAGE 401 SQFT REMODELED AREA: 2ND FLOOR 1,325 SQFT ADU 866 SQFT JADU 450 SQFT	DETAIL REFERENCE WALL SECTION BUILDING SECTION EXTERIOR ELEVATION KEY INTERIOR ELEVATION KEY STRUCTURAL GRID SHEET NOTE ROOM NUMBER WINDOW NUMBER, SEE WINDOW SCHEDULE DOOR NUMBER, SEE DOOR SCHEDULE FINISH/COLOR, SEE COLOR SCHEDULE REVISION NUMBER EQUIPMENT, SEE EQUIPMENT SCHEDULE	



SHEET NOTES

- 1 EXTERIOR STAIRCASE TO BE REMOVED.
- 2 STAIRCASE TO BE REPLACED.

GENERAL NOTES

1. THIS SITE PLAN DOES NOT CONSTITUTE A LEGAL DESCRIPTION OR SURVEY. THE INFORMATION DEPICTED HEREON IS GENERAL MEASUREMENTS TO ESTABLISH A RELATIONSHIP OF STRUCTURE AND LOT LINES. THE INFORMATION SHOWN WAS OBTAINED FROM PUBLIC RECORDS AT THE SOLANO COUNTY ASSESSOR'S OFFICE.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT AND AND SOIL CONDITIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE, AND UTILITIES AT THIS PROPERTY, AS WELL AS ADJACENT PROPERTIES. ALL CONSTRUCTION SHALL CONFORM TO CBC 2019, CEC, CMC, AND TITLE 24.
3. SHOULD ANY ERROR OR INCONSISTENCY APPEAR OR OCCUR IN THE DRAWINGS, THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK, SHALL NOTIFY THE OWNER FOR PROPER ADJUSTMENT AND, IN NO CASE, SHALL PROCEED WITH THE WORK IN UNCERTAINTY.
4. NO CHANGE OR ALTERATION OF DESIGN OR PLAN SHALL BE MADE WITHOUT THE APPROVED WRITTEN CONSENT FROM THE DESIGNER/ENGINEER. THE DESIGNER/ENGINEER SHALL NOT BE RESPONSIBLE FOR SUCH CHANGES OR ALTERATIONS MADE BY OR AGREED UPON BETWEEN OWNER AND CONTRACTOR.



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EXISTING SITE PLAN

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717-719 SACRAMENTO ST.
VALLEJO, CA



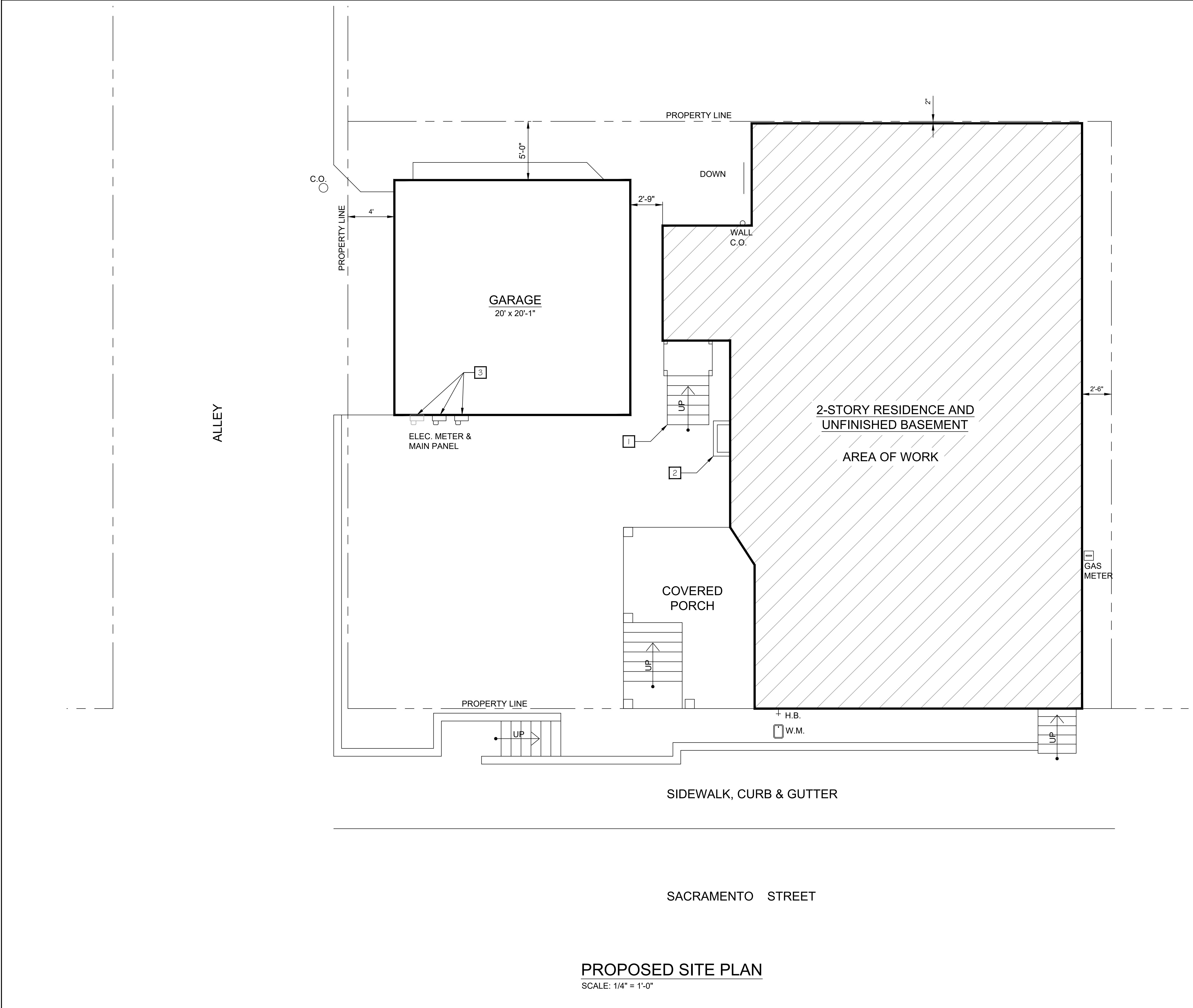
Design by:
R. Cortez P.E. CAG
Checked by:
R. Cortez P.E. CAG
Date:
05/23/2022

Drawn by:
D. Rames
Approved by:
R. Cortez P.E. CAG
Scale:
As Noted

REVISIONS		
No.	Date	By
1	-	.

Job No. -

SD-1



SHEET NOTES

- 1 (N) STAIRS AND COVERED PORCH
- 2 (N) LIGHTWELL
- 3 PG&E TO UPGRADE SERVICE: TWO 200A SERVICES AND ONE 100A SERVICE.



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DESCRIPTION:

PROPOSED SITE PLAN

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VALLEJO, CA



Design by: R. Cortez P.E. CAG
Checked by: R. Cortez P.E. CAG
Date: 05/23/2022
Drawn by: D. Rames
Approved by: R. Cortez P.E. CAG
Scale: As Noted

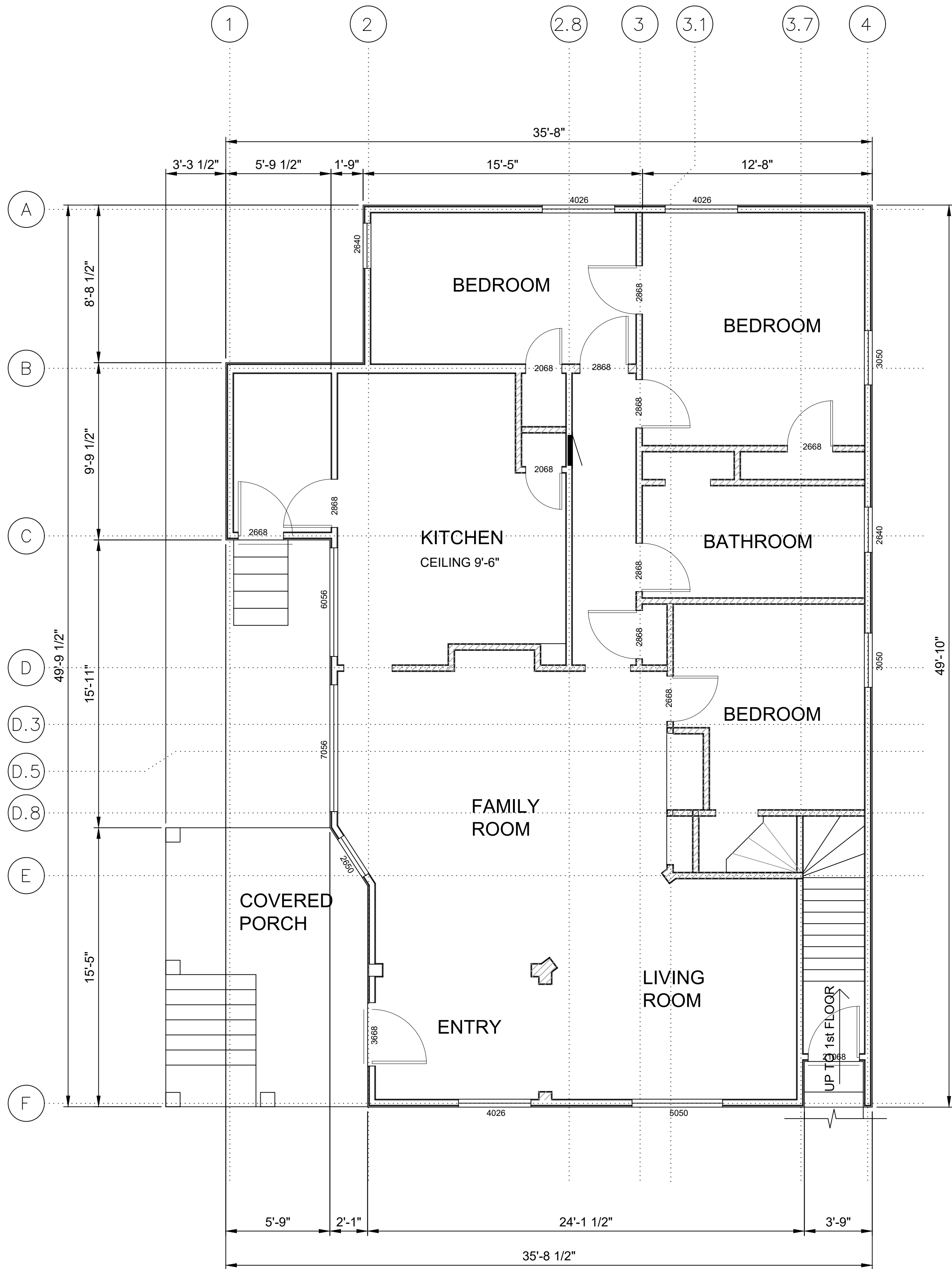
REVISIONS		
No.	Date	By
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Job No. -

SD-2

GENERAL NOTES

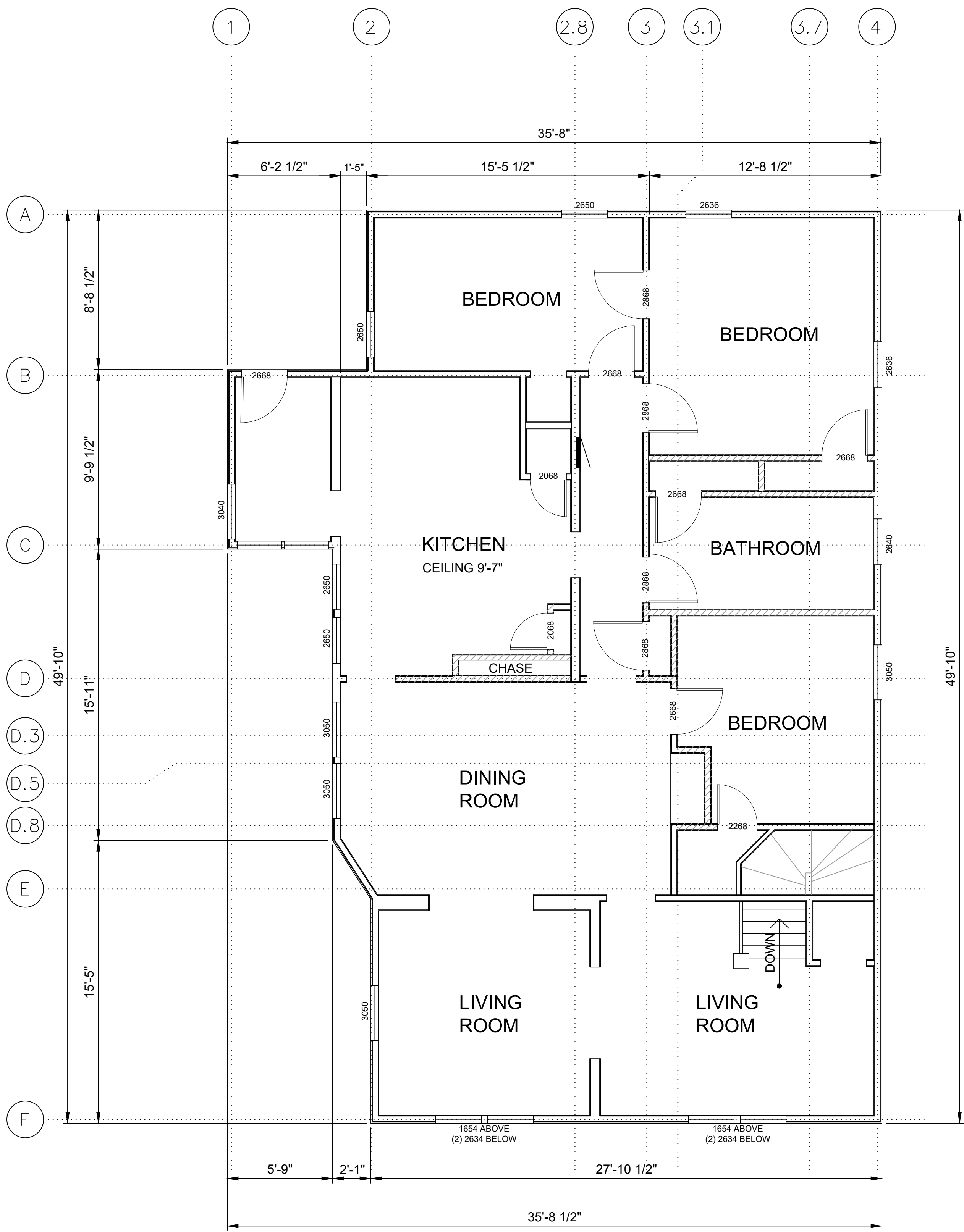
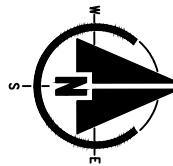
- THIS SITE PLAN DOES NOT CONSTITUTE A LEGAL DESCRIPTION OR SURVEY. THE INFORMATION DEPICTED HEREON IS GENERAL MEASUREMENTS TO ESTABLISH A RELATIONSHIP OF STRUCTURE AND LOT LINES. THE INFORMATION SHOWN WAS OBTAINED FROM PUBLIC RECORDS AT THE SOLANO COUNTY ASSESSOR'S OFFICE.
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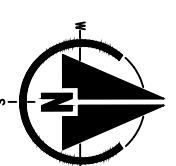
LEGEND:

WALLS TO BE REMOVED

EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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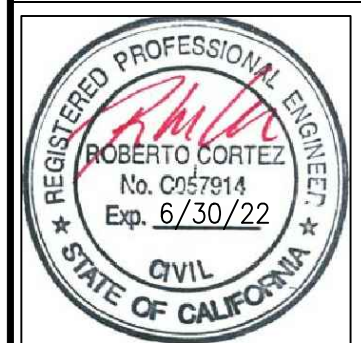
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R. Cortez P.E., CAG
Date:
05/23/2022

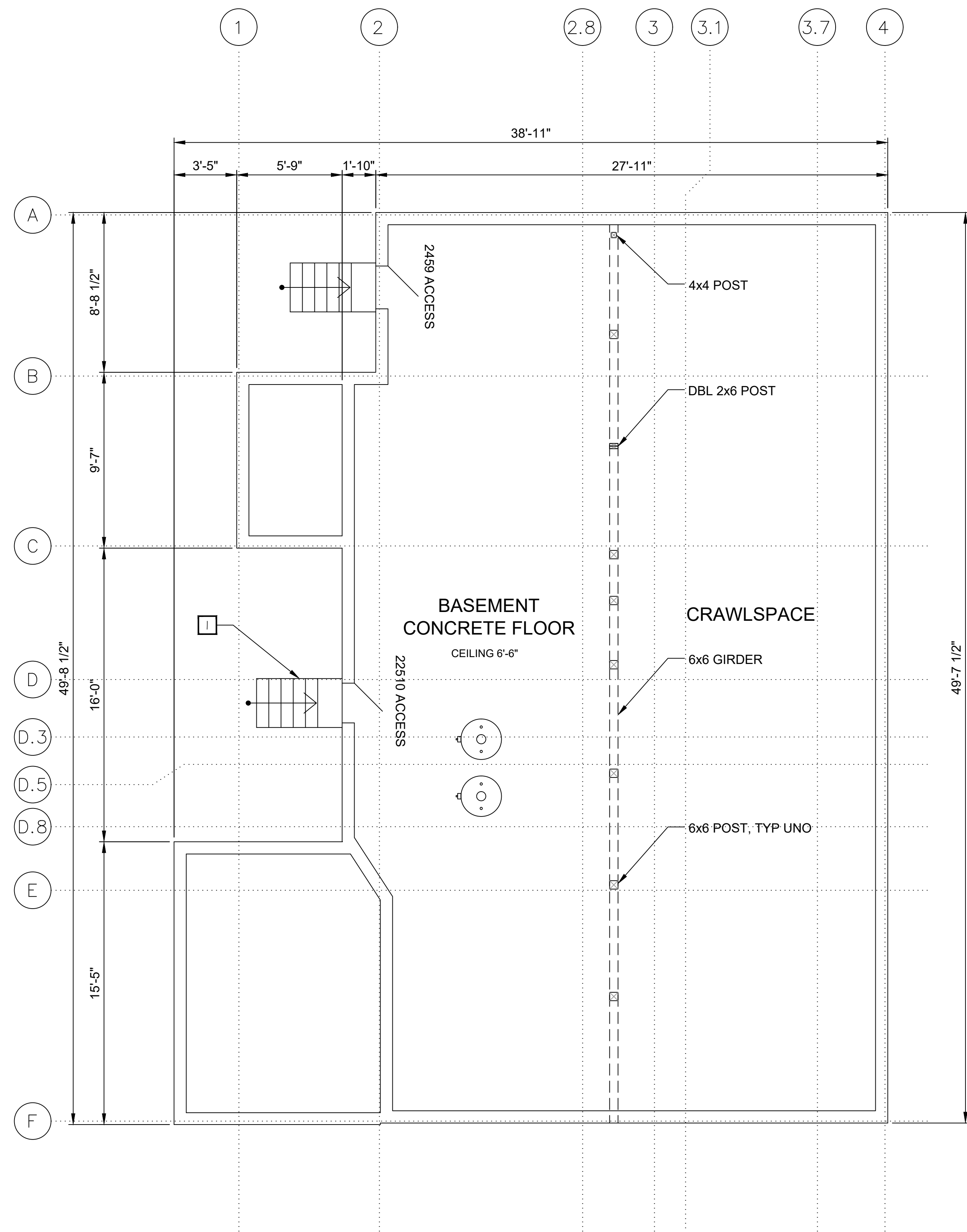
Drawn by:
D. Rames
Approved by:
R. Cortez P.E., CAG
Scale:
As Noted

REVISIONS

No.	Date	By
1	-	-

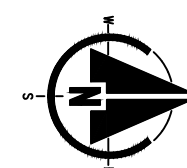
Job No. -

A-1.0



(E) BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



SHEET NOTES

1 (E) STAIRCASE TO BE ELIMINATED.



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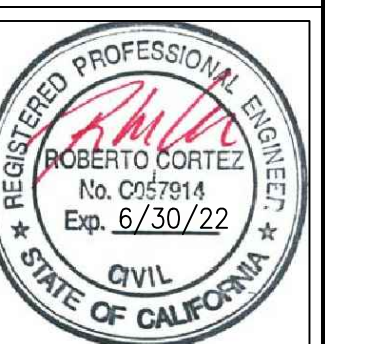
CIVIL
STRUCTURAL
ELECTRICAL
MECHANICAL
DESIGN/
DEVELOPMENT

425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:

BASEMENT PLAN

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA



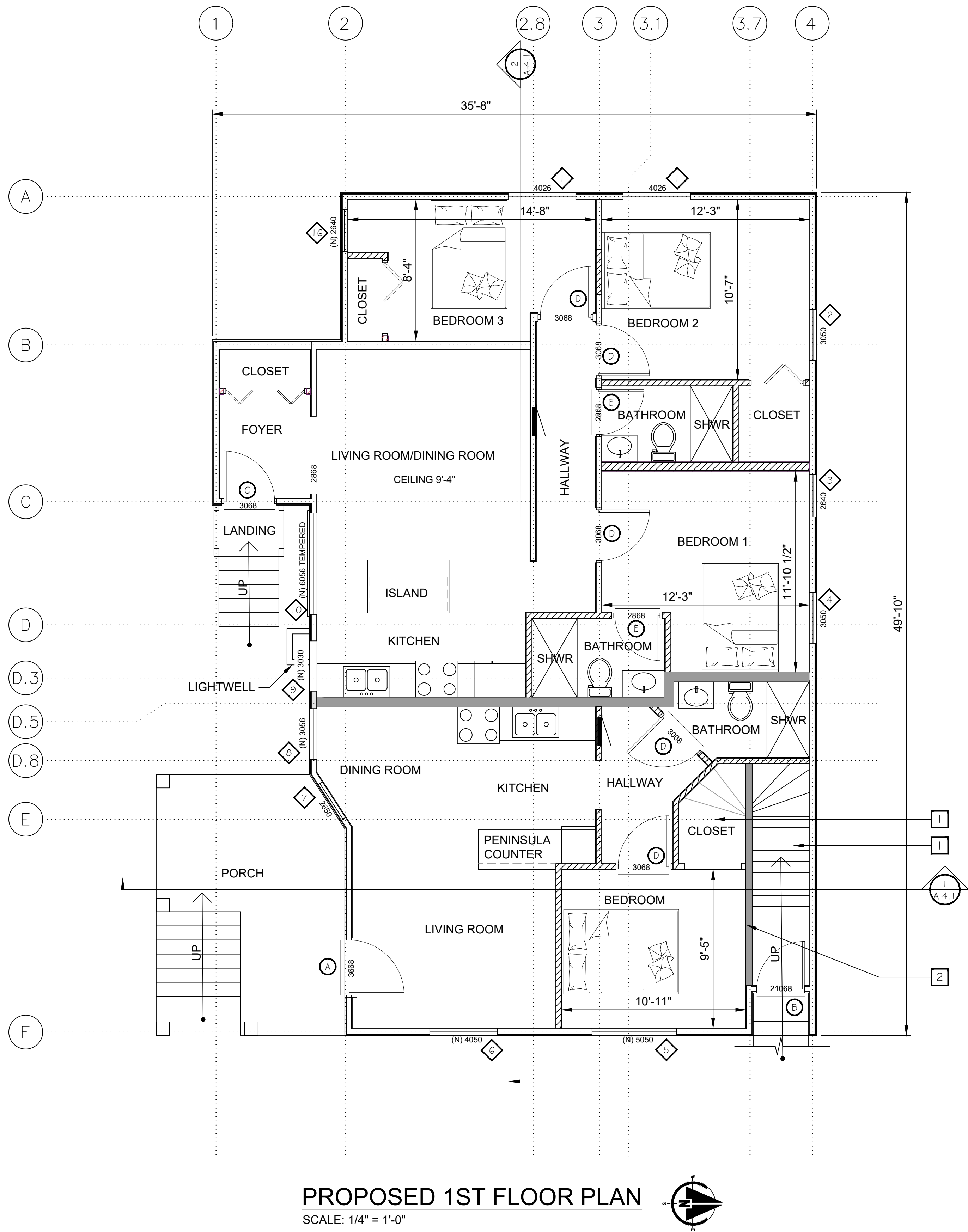
Design by:
R. Cortez P.E. CAG
Checked by:
R. Cortez P.E. CAG
Date:
05/23/2022

Drawn by:
D. Rames
Approved by:
R. Cortez P.E. CAG
Scale:
As Noted

REVISIONS		
No.	Date	By
1	-	.

Job No. -

A-1.1



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
◇	SIZE	SCRN.	TYPE	DESCRIPTION	MANUFACTURER & MODEL
1	4' 0" x 2' 6"	YES	SLIDING	(E) SLIDING WOOD FRAME	-
2	3' 0" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
3	2' 6" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
4	3' 0" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
5	5' 0" x 5' 0"	YES	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
6	4' 0" x 5' 0"	NO	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
7	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
8	3' 0" x 5' 6"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
9	3' 0" x 3' 0"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e	JELD-WEN W-2500
10	6' 0" x 5' 6"	NO	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e, TEMPERED GLS.	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
11	2' 9" x 4' 10"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
12	3' 0" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
13	2' 6" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
14	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
15	2' 2" x 3' 0"	YES	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
16	2' 6" x 4' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
17	1' 6" x 5' 4"	NO	FIXED/TRANSOM	(E) SINGLE PANE WOOD FRAME W/ LITES	-
18	2' 6" x 3' 4"	NO	CASEMENT	(E) SINGLE PANE WOOD FRAME	-

DOOR SCHEDULE			
○	SIZE	TYPE	DESCRIPTION
A	3' 6" x 6' 8"	EXTERIOR	(E) WOOD DOOR
B	2' 10" x 6' 8"	EXTERIOR	(E) WOOD DOOR
C	3' 0" x 6' 8"	EXTERIOR	(N) SOLID CORE, WOOD FRAME, OWNER SELECT
D	3' 0" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
E	2' 8" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
F	2' 6" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
G	2' 6" x 6' 8"	INTERIOR	(E) WOOD DOOR
H	2' 0" x 6' 8"	INTERIOR	(E) WOOD DOOR
I	2' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
J	3' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
K	5' 3" x 6' 8"	INTERIOR	(N) SLIDING CLOSET DOOR, OWNER SELECT
L	2' 2" x 6' 8"	INTERIOR	(E) WOOD DOOR
M	2' 4" x 5' 9"	EXTERIOR	(E) WOOD DOOR

WALL SCHEDULE		
WALL TYPE	WALL SECTION	WALL SECTION
2-HR FIRE RATED SOUND RATED 2X6 UL U301		52dB SOUND RATING: R-3 INSULATION TWO 5/8" LAYERS OF GYP. 580Z OF GREEN GLUE PER 4X8 SHEET.
2X4 INTERIOR WALL		2X4 STUD 5/8" GYP. BOARD

- SHEET NOTES
- 1

INSTALL (2) 5/8" FIRE RATED GYP. BOARD UNDER STAIRCASE.
- 2

(E) FRAMING TO REMAIN.

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DEVELOPMENT
425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:
PROPOSED 1ST FLOOR

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA

Design by:
R. Cortez P.E., C.A.S.
Checked by:
R. Cortez P.E., C.A.S.
Date:
05/23/2022

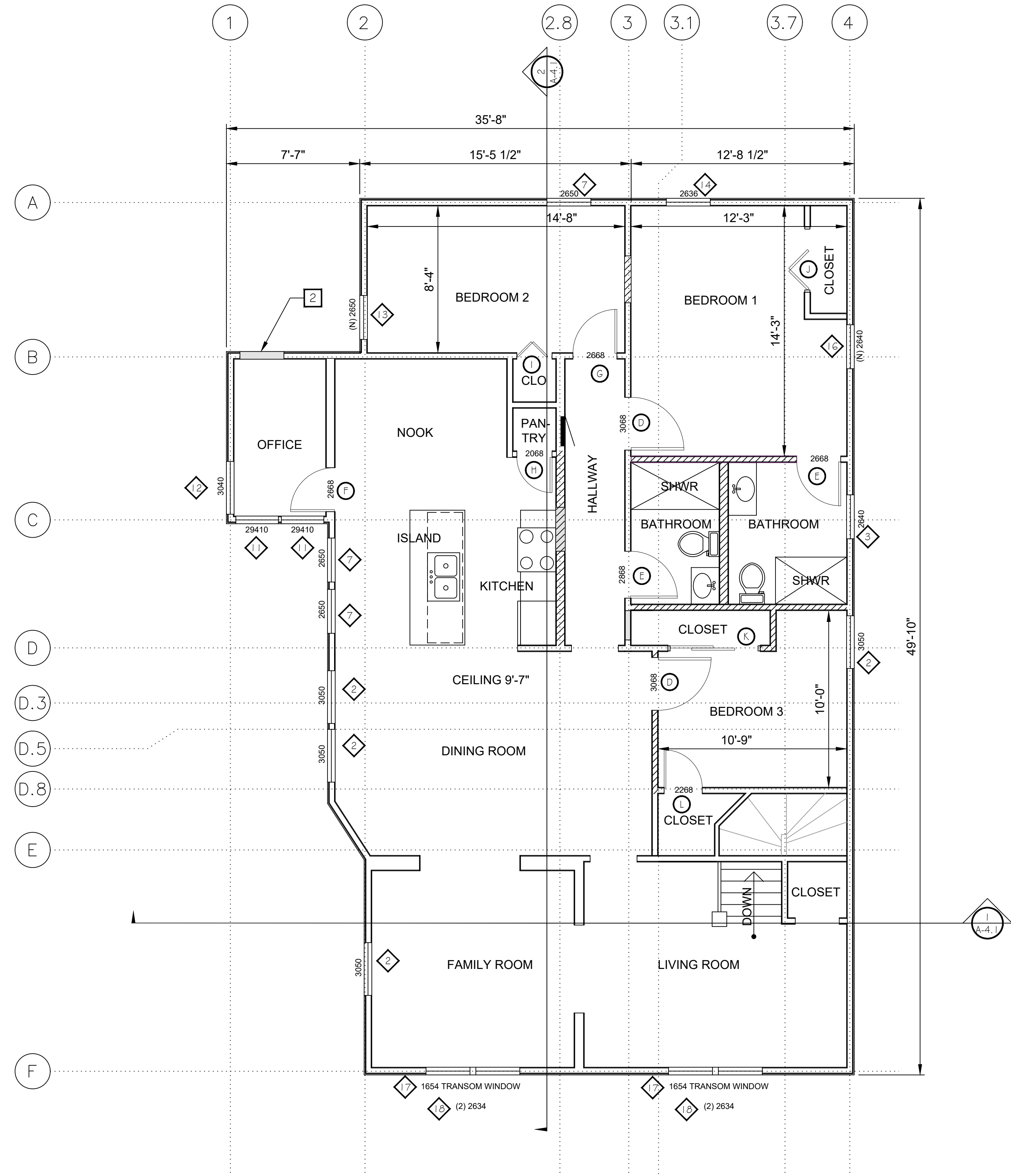
Drawn by:
D. Rames
Approved by:
R. Cortez P.E., C.A.S.
Scale:
As Noted

REVISIONS

No.	Date	By
1	-	-

Job No. -

A-2.0



PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
◇	SIZE	SCRN.	TYPE	DESCRIPTION	MANUFACTURER & MODEL
1	4' 0" x 2' 6"	YES	SLIDING	(E) SLIDING WOOD FRAME	-
2	3' 0" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
3	2' 6" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
4	3' 0" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
5	5' 0" x 5' 0"	YES	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
6	4' 0" x 5' 0"	NO	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
7	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
8	3' 0" x 5' 6"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
9	3' 0" x 3' 0"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e	JELD-WEN W-2500
10	6' 0" x 5' 6"	NO	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e, TEMPERED GLS.	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
11	2' 9" x 4' 10"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
12	3' 0" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
13	2' 6" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
14	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-
15	2' 2" x 3' 0"	YES	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME
16	2' 6" x 4' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
17	1' 6" x 5' 4"	NO	FIXED/TRANSOM	(E) SINGLE PANE WOOD FRAME W/ LITES	-
18	2' 6" x 3' 4"	NO	CASEMENT	(E) SINGLE PANE WOOD FRAME	-

DOOR SCHEDULE			
○	SIZE	TYPE	DESCRIPTION
A	3' 6" x 6' 8"	EXTERIOR	(E) WOOD DOOR
B	2' 10" x 6' 8"	EXTERIOR	(E) WOOD DOOR
C	3' 0" x 6' 8"	EXTERIOR	(N) SOLID CORE, WOOD FRAME, OWNER SELECT
D	3' 0" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
E	2' 8" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
F	2' 6" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
G	2' 6" x 6' 8"	INTERIOR	(E) WOOD DOOR
H	2' 0" x 6' 8"	INTERIOR	(E) WOOD DOOR
I	2' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
J	3' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
K	5' 3" x 6' 8"	INTERIOR	(N) SLIDING CLOSET DOOR, OWNER SELECT
L	2' 2" x 6' 8"	INTERIOR	(E) WOOD DOOR
M	2' 4" x 5' 9"	EXTERIOR	(E) WOOD DOOR

WALL SCHEDULE		
WALL TYPE	WALL SECTION	WALL SECTION
2-HR FIRE RATED SOUND RATED 2X6 UL U301		52dB SOUND RATING: R-3 INSULATION TWO 5/8" LAYERS OF GYP. 580Z OF GREEN GLUE PER 4X8 SHEET.
2X4 INTERIOR WALL		2X4 STUD 5/8" GYP. BOARD

SHEET NOTES

- 1 2X6 WALL FRAMING
- 2 STUCCO FINISH TO MATCH EXISTING



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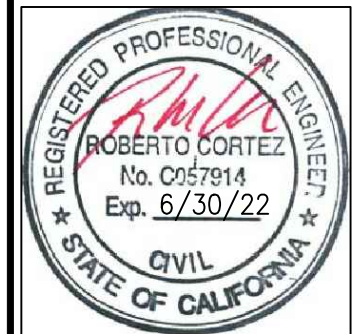
CIVIL
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MECHANICAL
DESIGN/
DEVELOPMENT

425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:

PROPOSED 2ND FLOOR

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA



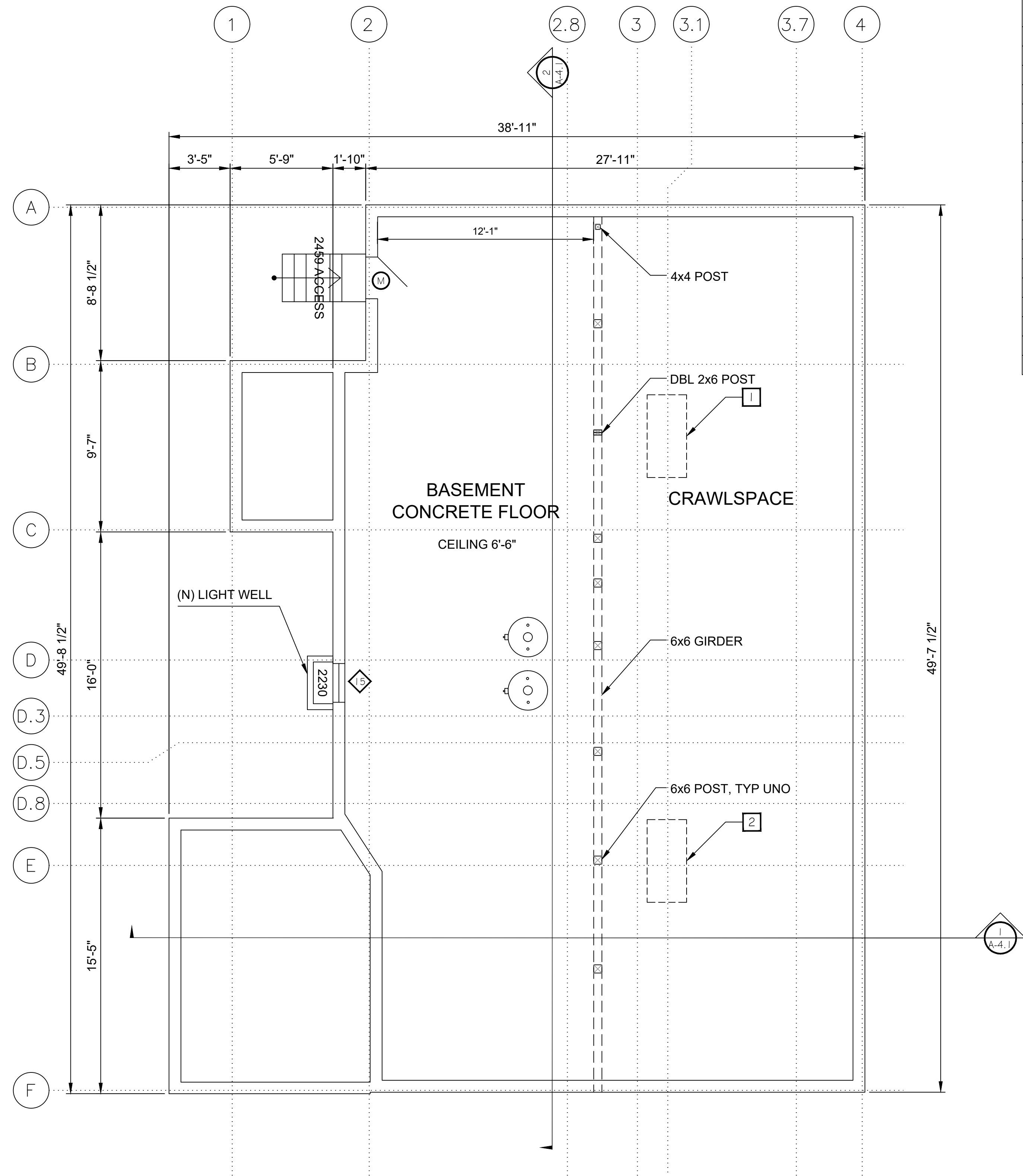
Design by:
R. Cortez P.E. CAG
Checked by:
R. Cortez P.E. CAG
Date:
05/23/2022
Scale:
As Noted

Drawn by:
D. Rames
Approved by:
R. Cortez P.E. CAG
Date:
05/23/2022
Scale:
As Noted

REVISIONS		
No.	Date	By
△	-	.

Job No. -

A-2.1



WINDOW SCHEDULE						
◇	SIZE	SCRN.	TYPE	DESCRIPTION	MANUFACTURER & MODEL	
1	4' 0" x 2' 6"	YES	SLIDING	(E) SLIDING WOOD FRAME	-	
2	3' 0" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
3	2' 6" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
4	3' 0" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
5	5' 0" x 5' 0"	YES	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500	
6	4' 0" x 5' 0"	NO	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
7	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
8	3' 0" x 5' 6"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
9	3' 0" x 3' 0"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e	JELD-WEN W-2500	
10	6' 0" x 5' 6"	NO	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e, TEMPERED GLS.	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
11	2' 9" x 4' 10"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
12	3' 0" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
13	2' 6" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500	
14	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
15	2' 2" x 3' 0"	YES	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
16	2' 6" x 4' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
17	1' 6" x 5' 4"	NO	FIXED/TRANSOM	(E) SINGLE PANE WOOD FRAME W/ LITES	-	
18	2' 6" x 3' 4"	NO	CASEMENT	(E) SINGLE PANE WOOD FRAME	-	

DOOR SCHEDULE			
○	SIZE	TYPE	DESCRIPTION
A	3' 6" x 6' 8"	EXTERIOR	(E) WOOD DOOR
B	2' 10" x 6' 8"	EXTERIOR	(E) WOOD DOOR
C	3' 0" x 6' 8"	EXTERIOR	(N) SOLID CORE, WOOD FRAME, OWNER SELECT
D	3' 0" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
E	2' 8" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
F	2' 6" x 6' 8"	INTERIOR	(N) WOOD DOOR, OWNER SELECT
G	2' 6" x 6' 8"	INTERIOR	(E) WOOD DOOR
H	2' 0" x 6' 8"	INTERIOR	(E) WOOD DOOR
I	2' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
J	3' 0" x 6' 8"	INTERIOR	(N) BIFOLD CLOSET DOOR, OWNER SELECT
K	5' 3" x 6' 8"	INTERIOR	(N) SLIDING CLOSET DOOR, OWNER SELECT
L	2' 2" x 6' 8"	INTERIOR	(E) WOOD DOOR
M	2' 4" x 5' 9"	EXTERIOR	(E) WOOD DOOR

SHEET NOTES

- 1 APPROXIMATE LOCATION OF HVAC UNIT FOR (N) ADU
2 APPROXIMATE LOCATION OF HVAC UNIT FOR (N) JADU



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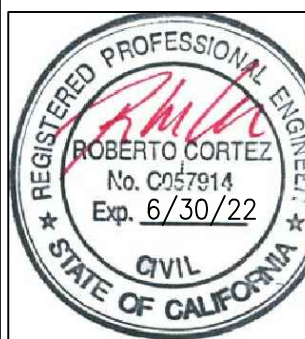
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DEVELOPMENT

425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:
PROPOSED BASEMENT PLAN

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA



Design by:
R. Cortez P.E. CAG
Checked by:
R. Cortez P.E. CAG
Date:
05/23/2022

Drawn by:
D. Rames
Approved by:
R. Cortez P.E. CAG
Scale:
As Noted

REVISIONS

No.	Date	By
1	-	-

Job No. -

A-2.2

EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

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425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:
EXISTING ELEVATIONS

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA

Design by:
R. Cortez P.E. CAG
Drawn by:
D. Rames
Checked by:
R. Cortez P.E. CAG
Approved by:
R. Cortez P.E. CAG
Date:
05/23/2022
Scale:
As Noted

REVISIONS		
No.	Date	By
△	-	-

Job No. -

A-3

19'-7" ROOF

10'-0" 2ND FLR. F.F.
9'-4" 1ST FLR. T.O.C.

0'-0" 1ST FLR. F.F.

(N) DOUBLE PANE WOOD FRAME WINDOW

(N) DOUBLE PANE WOOD FRAME WINDOW

(N) DOUBLE PANE WOOD FRAME WINDOW

PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

19'-7" ROOF

(E) EXTERIOR STUCCO TO REMAIN

(N) DOUBLE PANE WOOD FRAME WINDOW

(E) COVERED PORCH

10'-0" 2ND FLR. F.F.
9'-4" 1ST FLR. T.O.C.

0'-0" 1ST FLR. F.F.

(N) DOUBLE PANE WOOD FRAME WINDOW

PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

19'-7" ROOF

(N) DOUBLE PANE WOOD FRAME WINDOW

(N) COVERED PORCH

10'-0" 2ND FLR. F.F.
9'-4" 1ST FLR. T.O.C.

0'-0" 1ST FLR. F.F.

(N) DOUBLE PANE WOOD FRAME WINDOW

(E) COVERED PORCH

PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

19'-7" ROOF

10'-0" 2ND FLR. F.F.
9'-4" 1ST FLR. T.O.C.

0'-0" 1ST FLR. F.F.

(E) COVERED PORCH

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

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425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION:
PROPOSED ELEVATIONS

**LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA**

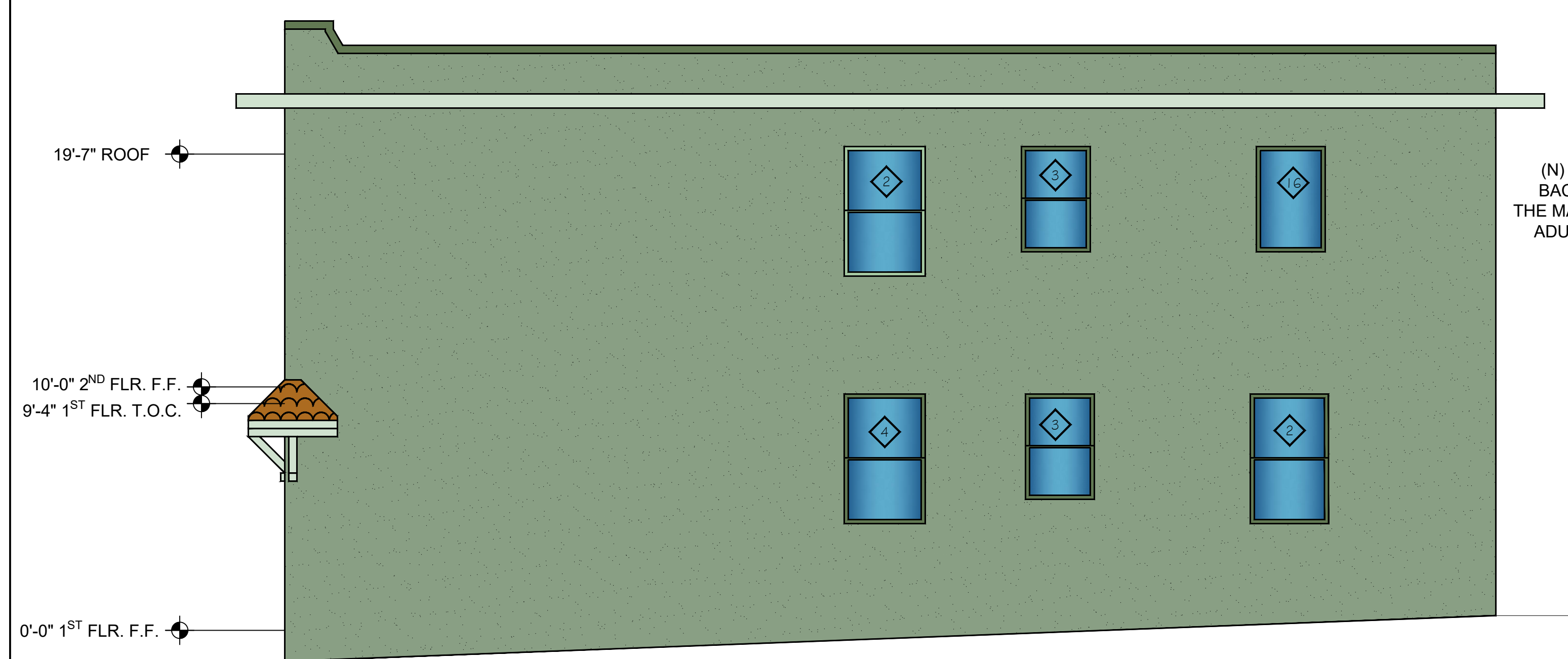
REGISTERED PROFESSIONAL ENGINEER
ROBERTO CORTEZ
No. 0057914
Exp. 6/30/22
CIVIL
STATE OF CALIFORNIA

Design by:	Drawn by:
R. Cortez P.E. CAG	D. Rames
Checked by:	Approved by:
R. Cortez P.E. CAG	R. Cortez P.E. CAG
Date:	Scale:
05/23/2022	As Noted

REVISIONS		
No.	Date	By
1	-	-

Job No. -

A-4



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
	SIZE	SCRN.	TYPE	DESCRIPTION	MANUFACTURER & MODEL	
1	4' 0" x 2' 6"	YES	SLIDING	(E) SLIDING WOOD FRAME	-	
2	3' 0" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
3	2' 6" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
4	3' 0" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
5	5' 0" x 5' 0"	YES	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500	
6	4' 0" x 5' 0"	NO	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
7	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
8	3' 0" x 5' 6"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
9	3' 0" x 3' 0"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e	JELD-WEN W-2500	
10	6' 0" x 5' 6"	NO	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e, TEMPERED GLS.	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
11	2' 9" x 4' 10"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
12	3' 0" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
13	2' 6" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500	
14	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	-	
15	2' 2" x 3' 0"	YES	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE - PINE OR DOUGLAS FIR FRAME	
16	2' 6" x 4' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500	
17	1' 6" x 5' 4"	NO	FIXED/TRANSOM	(E) SINGLE PANE WOOD FRAME W/ LITES	-	
18	2' 6" x 3' 4"	NO	CASEMENT	(E) SINGLE PANE WOOD FRAME	-	



BEHR - SATIN FINISH
ANTIQUE JADE - MS 58
MAIN COLOR



BEHR - SATIN FINISH
WHITE CLAD - MS 63
TRIM



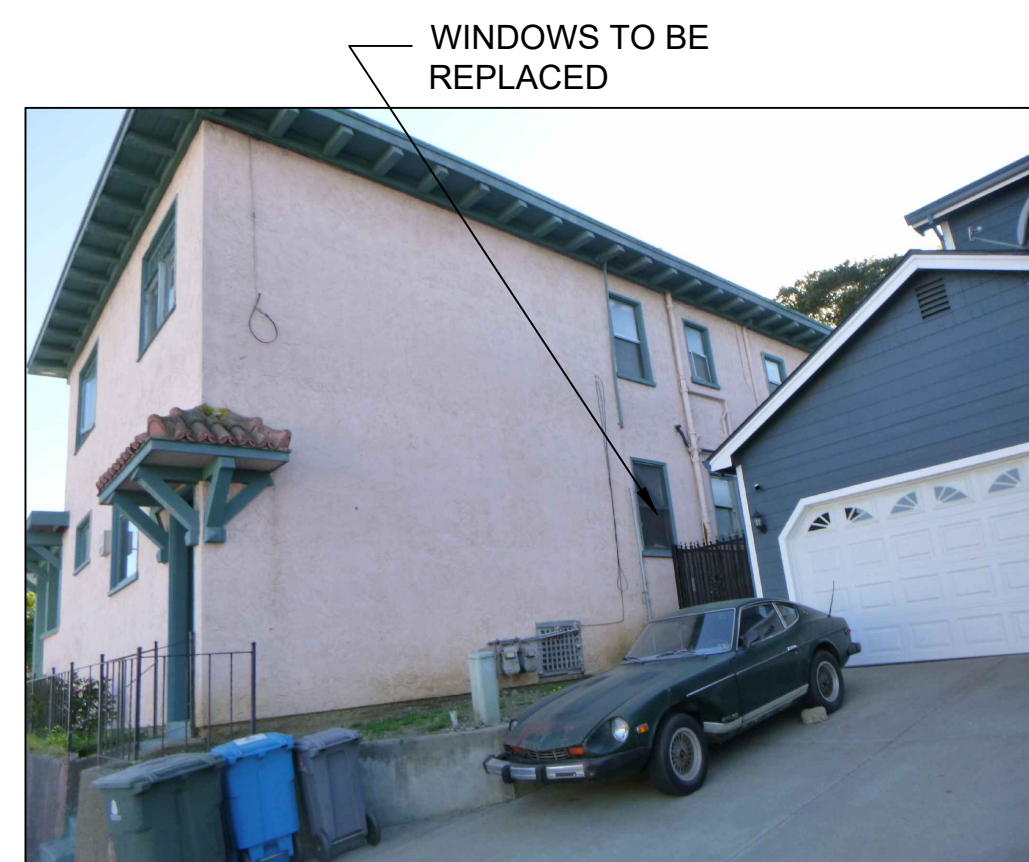
BEHR - SATIN FINISH
DESERT SAGE - MS 60
TOP OF PARAPET & WINDOW
TRIM



EAST ELEVATION



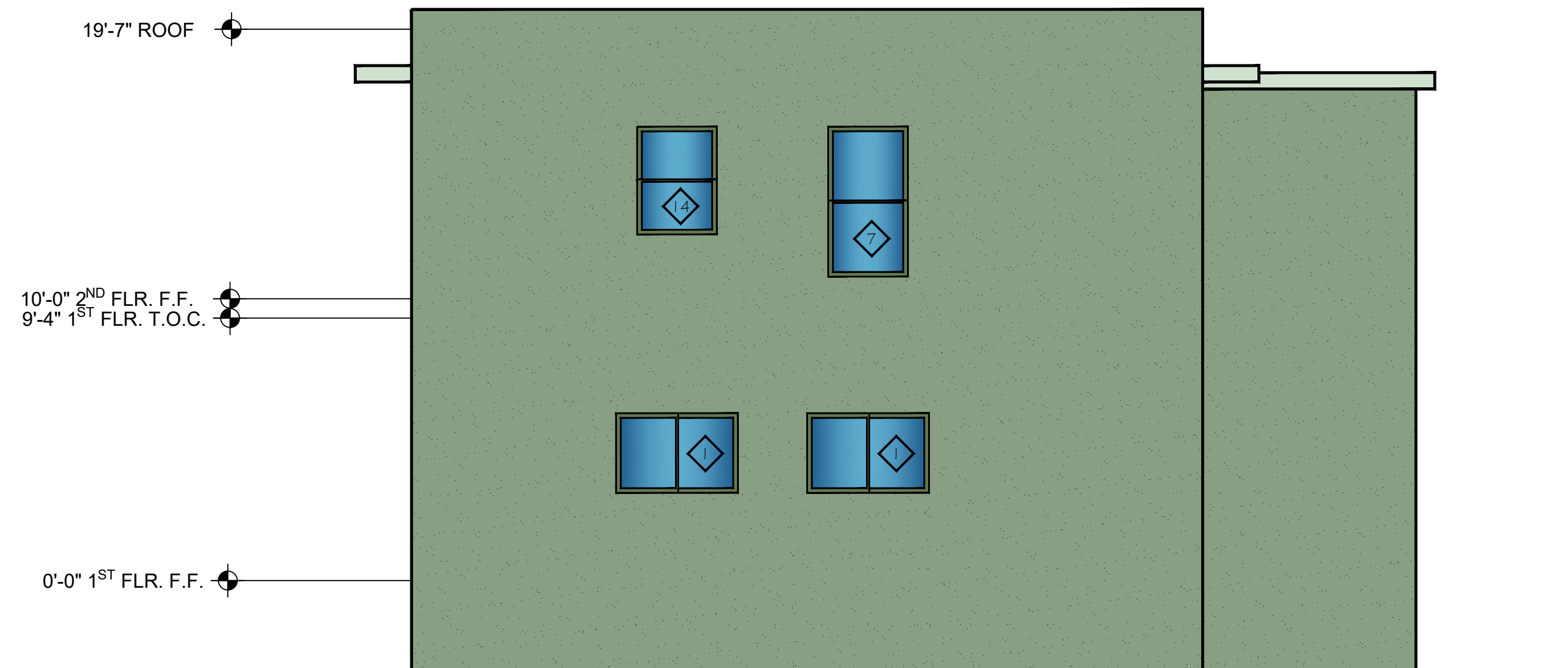
EAST ELEVATION



NORTH ELEVATION



NORTH ELEVATION



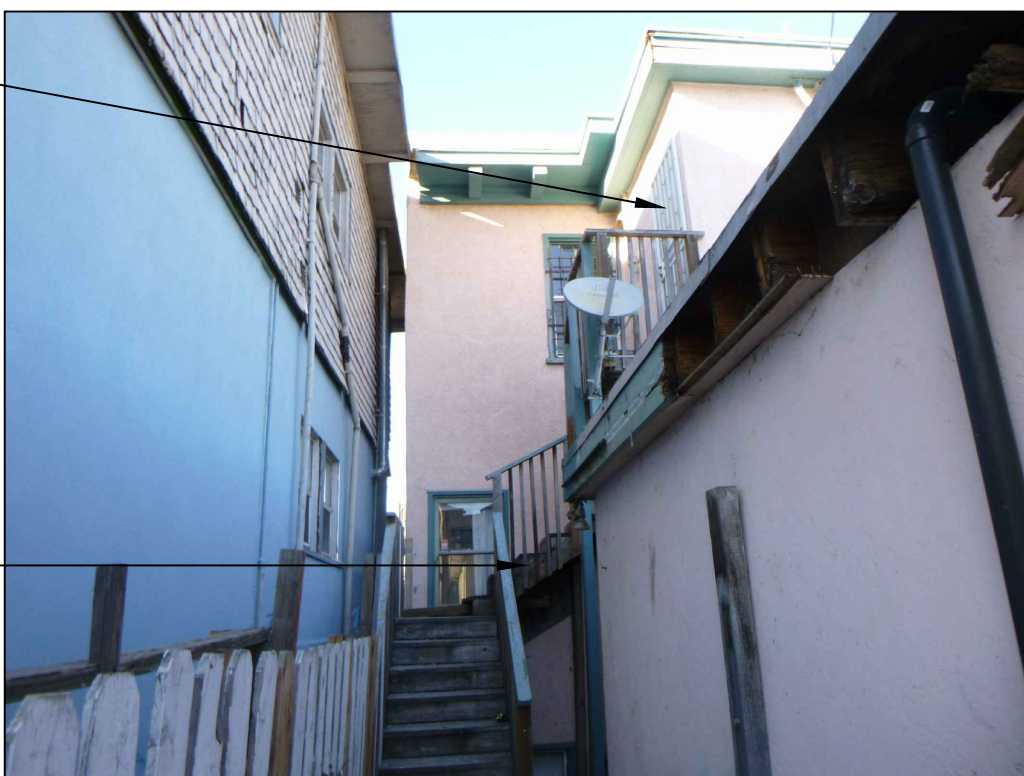
SCALE: 1/4" = 1'-0'

SCALE: 1/4" = 1'-0"

◆	SIZE	SCRN.	TYPE	DESCRIPTION	MANUFACTURER & MODEL
1	4' 0" x 2' 6"	YES	SLIDING	(E) SLIDING WOOD FRAME	—
2	3' 0" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
3	2' 6" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
4	3' 0" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
5	5' 0" x 5' 0"	YES	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
6	4' 0" x 5' 0"	NO	RIGHT SLIDING	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE — PINE OR DOUGLAS FIR FRAME
7	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
8	3' 0" x 5' 6"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
9	3' 0" x 3' 0"	YES	DOUBLE HUNG	(N) WOOD FRAME DUAL PANE, LOW-e	JELD-WEN W-2500
10	6' 0" x 5' 6"	NO	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e, TEMPERED GLS.	CUSTOM MADE — PINE OR DOUGLAS FIR FRAME
11	2' 9" x 4' 10"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
12	3' 0" x 4' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
13	2' 6" x 5' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e EGRESS	JELD-WEN W-2500
14	2' 6" x 5' 0"	YES	SINGLE HUNG	(E) SINGLE PANE WOOD FRAME	—
15	2' 2" x 3' 0"	YES	FIXED	(N) WOOD FRAME DUAL PANE, LOW-e	CUSTOM MADE — PINE OR DOUGLAS FIR FRAME
16	2' 6" x 4' 0"	YES	CASEMENT	(N) WOOD FRAME DUAL PANE, LOW-e, EGRESS	JELD-WEN W-2500
17	1' 6" x 5' 4"	NO	FIXED/TRANSOM	(E) SINGLE PANE WOOD FRAME W/ LITES	—
18	2' 6" x 3' 4"	NO	CASEMENT	(E) SINGLE PANE WOOD FRAME	—



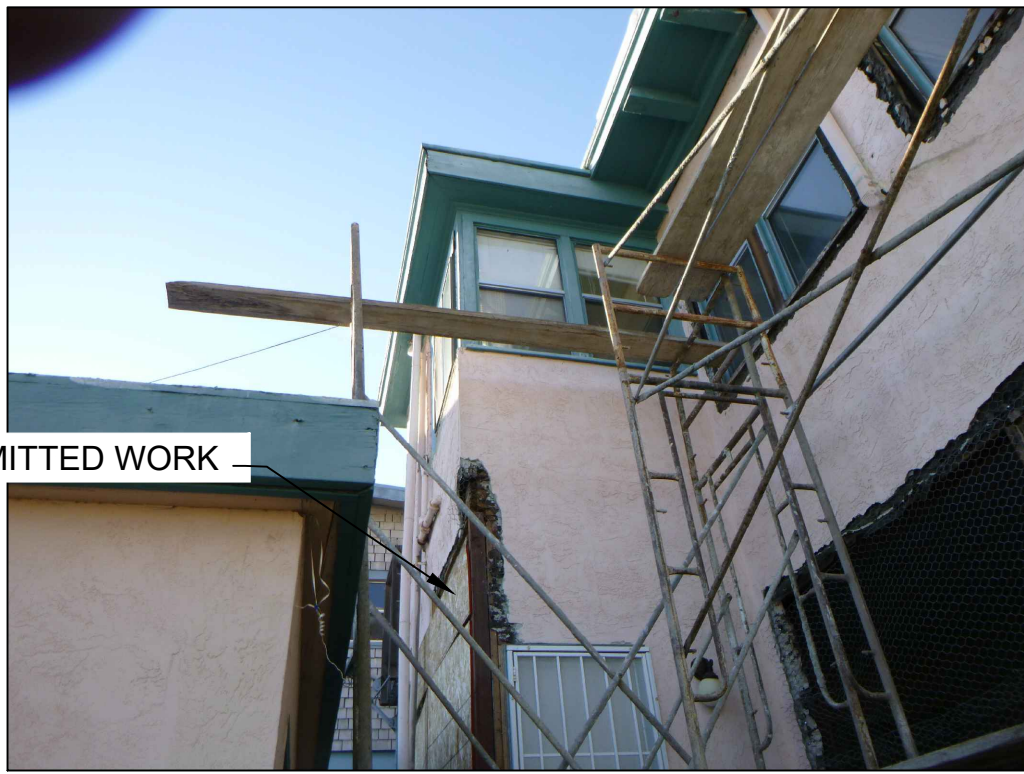
SOUTH ELEVATION



WEST ELEVATION



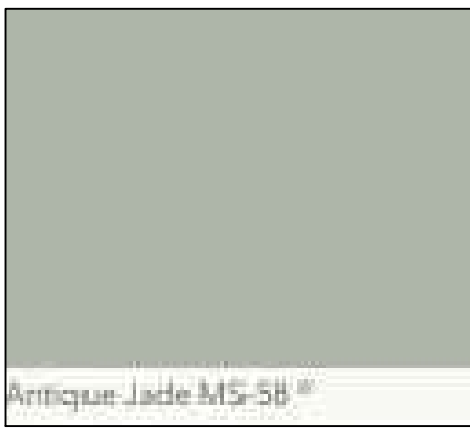
SOUTH ELEVATION
UNPERMITTED WORK



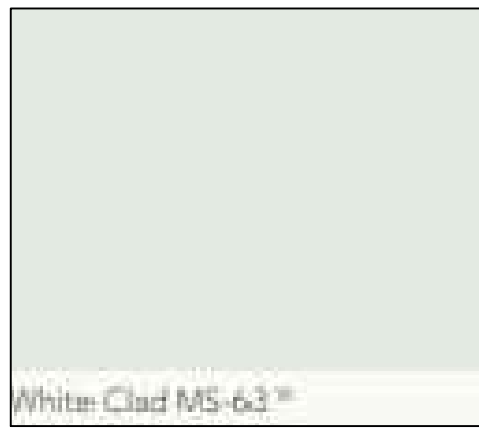
SOUTH ELEVATION
UNPERMITTED WORK

DOOR TO BE REMOVED AND
WALL TO BE INFILLED;
STUCCO TO BE MATCH
EXISTING

STAIRCASE TO BE
REMOVED



BEHR MASONRY, STUCCO &
BRICK PAINT - SATIN FINISH
ANTIQUE JADE - MS 58
MAIN COLOR



BEHR MASONRY, STUCCO &
BRICK PAINT – SATIN FINISH
WHITE CLAD – MS 63
TRIM



BEHR MASONRY, STUCCO &
BRICK PAINT - SATIN FINISH
DESERT SAGE - MS 60
TOP OF PARAPET



MONARCH ENGINEERS

(415) 448-607

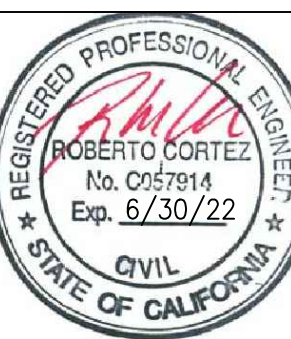
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CIVIL
STRUCTURAL
ELECTRICAL
MECHANICAL
DESIGN/
DEVELOPMENT

425 Virginia Street
Suite B
Vallejo, CA 94590

DESCRIPTION: PROPOSED ELEVATIONS

LEI RESIDENCE REMODEL &
NEW ADU AND JADU
717-719 SACRAMENTO ST.
VALLEJO, CA



Design by: Cortez P.E. CASp	Drawn by: D. Rames
Checked by: Cortez P.E. CASp	Approved by: R. Cortez P.E.

Date:	Scale:
5/23/2022	As Noted
REVISIONS	

o.	Date	
	-	

Job No. —

A-4.2