



www.cityofvallejo.net

AGENDA

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION REGULAR MEETING – 6:30 P.M. CITY COUNCIL CHAMBERS July 20, 2023

Angela McDonald, Chair
Brian Harkins, Vice Chair
Brendan Riley
Tanya Hall
Ann Adams
Annalisa Quismorio

NOTICE: Members of the Public will be able to participate in-person or remotely via Zoom. City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.

IMPORTANT NOTICE

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice for an item not listed on the AGENDA, no specific answers or responses should be expected at this meeting per State law.

Pursuant to Government Code Section 54954.3 of the Brown Act, members of the public shall be afforded the opportunity to speak on any agenda item of interest to them after being recognized by the presiding officer. Members of the public wishing to be so recognized are requested to submit a completed speaker card to the Secretary of the Architectural Heritage and Landmarks Commission prior to the consideration of the item or raise their hand via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>) or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. In person speakers will be recognized first.

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Architectural Heritage and Landmarks Commission without prior notice and are not listed on the AGENDA, no specific answers or response should be expected at this meeting per State law.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Architectural Heritage and Landmarks Commission will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any commissioner within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Commission.

Appeal Rights: The applicant or any party adversely affected by the decision of the Architectural Heritage and Landmarks Commission may, within ten days after the rendition of the decision of the Architectural Heritage and Landmarks Commission, by filing a written appeal with the Director of Planning and Development Services. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Architectural Heritage and Landmarks Commission. Such appeal shall not be timely filed unless it is actually received by Director of Planning and Development Services or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Architectural Heritage and Landmarks Commission. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. WRITTEN COMMUNICATIONS
5. REPORT OF THE SECRETARY
 - A. 1 Kentucky Update
6. CITY ATTORNEY REPORT
7. REPORT OF THE CITY COUNCIL LIAISON
8. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION
9. COMMITTEE REPORTS
10. COMMUNITY FORUM

*Any interested members of the public desiring to communicate with the Architectural Heritage and Landmarks Commission for which another opportunity to speak is not provided on the agenda and which is in the jurisdiction of the Architectural Heritage and Landmarks Commission to resolve may do so in person by submitting a completed speaker's card to the Secretary or via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit, www.cityofvallejo.net/publiccomment. In person speakers will be recognized first. When called upon, each speaker should step to the podium, state his/her name for the record. The conduct of the community forum shall be limited to a maximum of fifteen (15) minutes, with each speaker limited to a maximum of three minutes pursuant to Vallejo Municipal Code Section 2.02.300.*

11. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF MINUTES

1. May 18, 2023 Regular Meeting

B. APPROVAL OF THE AGENDA

12. PUBLIC HEARINGS

A. PROJECT NUMBER:

Certificate of Appropriateness (COA) #23-0001.

PROJECT SUMMARY:

The project involves enclosing an existing covered porch for a new bathroom and the addition of a new deck to an existing single-family residence. The proposed exterior alterations are visible from the rear of the property, along Overland Alley. The proposed exterior work includes; enclosing the existing porch with new shiplap siding to match the existing exterior of the residence; replacement of

an existing wood-framed window for a new wood-framed glazed door and wood-framed transom window on the south elevation, and the replacement of the existing wooden landing and stairs with a new wooden deck and stairs accessing the backyard. The exterior colors will match those of the existing residence.

RECOMMENDATION:

Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #23-0001 based on the findings and analysis contained herein.

APPLICANT/PROPERTY OWNER:

Jonathan Harris
635 Louisiana St
Vallejo, CA 94590

GENERAL PLAN DESIGNATION:

Primarily Single-Family (R-SF)

ZONING DISTRICT:

Residential Low Density (RLD)

HISTORIC DISTRICT:

St. Vincent's Historic District

13. OTHER AGENDA ITEMS

A. Future Agenda Items.

1. Formation of an ad hoc subcommittee for goal setting and strategic planning.
2. Historic Landmarks/District Notifications to property owners.

14. ADJOURNMENT

I, Jasmine Thibaux, Executive Secretary, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Architectural Heritage and Landmarks Commission, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m., Friday, July 14, 2023

Jasmine Thibaux

Dated: July 14, 2023

Executive Secretary



www.cityofvallejo.net

VALLEJO ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION

May 18, 2023

Angela McDonald, Chair
Brian Harkins, Vice Chair
Brendan Riley
Tanya Hall
Ann Adams
Annalisa Quismorio

1. CALL TO ORDER

The meeting was called to order by Chair McDonald at 6:34pm.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

Absent: None

Staff present: Cesar Orozco, Principal Planner, Margaret Kavanaugh-Lynch, Planning Manager and Laura Zagaroli, Assistant City Attorney.

4. WRITTEN COMMUNICATIONS

One written communication from FOG Studios.

5. REPORT OF THE SECRETARY

Planning Manager Kavanaugh-Lynch announced Principal Planner Orozco will be taking over as secretary to the AHLC.

Planning Manager Kavanaugh-Lynch gave an update on the following items:

- A. 1 Kentucky Update- No new information was available.
- B. The Steps to set up a Sub- Committee- Section 2.26.130 was discussed by staff to clarify the steps of to establish an adhoc Committee.
- C. Council Priorities Update- The City Council has not completed the goal setting task.
- D. How to set up a Priority Setting Session for the AHLC- staff explained that this would be an ad hoc committee and noted the process in step B.

Motion: Commissioner Riley, Second by Vice-Chair Harkins, to discuss setting up an ADHOC Committee to for a goal setting and strategic planning.

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

6. CITY ATTORNEY REPORT - None

- 7. REPORT OF THE CITY COUNCIL LIAISON –** Council member Bregenzer informed the Commission 1 Kentucky will be set on an upcoming Council agenda and congratulated the Commission on the upcoming formation of Committees.

8. REPORT OF THE CHAIRPERSON AND MEMBERS OF THE COMMISSION

- A.** Commissioner Riley discussed updating the walking tour maps for Mare Island and the City of Vallejo. Commissioner Riley asked staff if there was any budget to pay for the prints.
- B.** Commissioner Harkins disclosed an ex parte communication with an architect regarding the Secretary of Interior Standards regarding the City's requirement of retain an architectural historian for new projects within a historic district.
- C.** Chair McDonald recently attended an online training for energy efficiency for historic buildings and will have access to share the recorded training and attending a virtual tour of the Posey Tube from Alameda.

9. COMMITTEE REPORTS – None

10. COMMUNITY FORUM

- A.** Brandon Marshall – raised concerns of the Secretary of Interior Standards of new construction.

11. CONSENT CALENDAR AND APPROVAL OF THE AGENDA

A. APPROVAL OF MINUTES

1. April 20, 2023

Motion: Vice-Chair Harkins made a motion to approve the amended minutes and revision to item 8A, that Vice-Chair Harkins disclosed and ex parte communication regarding the City's request that projects retain an architectural historian for new construction with the district and directed the architect to speak with staff.

Second: Commissioner Hall

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN:

B. APPROVAL OF THE AGENDA

Motion: Commissioner Riley made a motion to approve the Agenda.

Second: Commissioner Quismorio

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

12. PUBLIC HEARINGS

A. PROJECT NUMBER: Certificate of Appropriateness (COA) #22-0005

ADDRESS: 717-719 Sacramento Street / APN:0055-126-110

SUMMARY: The project involves exterior alterations to an existing multi-family residential building as part of a conversion to a single-family residence with an accessory dwelling unit (ADU) and a junior accessory dwelling unit (JADU), all within the existing building envelope.

Planning Manager Kavanaugh-Lynch introduced Mr. Orozco, Principal Planner. Mr. Orozco gave an overview of the proposed project.

The Chair opened the public hearing.

As there were no other requests to speak from the public, the Chair closed the public hearing. The Commission deliberated the merits of the project, and a motion was made:

Motion: Vice-Chair Harkins, Second by Commissioner Harkins, made a motion to approve Certificate of Approval (COA) #22-0005.

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

13. OTHER AGENDA ITEMS

A. Future Agenda Items.

- Ministerial Help
- Mills Act Compliance
- Sub-Committees
- Historic District Notifications

Motion: Vice-Chair Harkins, Second by Commissioner Hall, to discuss setting up an ADHOC

Committee for creating a reference library.

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

Motion: Vice-Chair Harkins, Second by Commissioner Riley to have a discussion to set up an ADHOC Committee to focus of the applicability of the Secretary of Interior Standards.

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

14. ADJOURNMENT

Motion: Commissioner Adams, second by Commissioner Hall made a motion to adjourn the meeting.

VOTE:

AYES: Commissioner Quismorio, Commissioner Adams, Commissioner Hall, Commissioner Riley, Vice-Chair Harkins, Chair McDonald

NOES: None

ABSENT: None

ABSTAIN: None

Chair McDonald adjourned the meeting at 8:15 pm.

ANGELA MCDONALD, CHAIR

ATTEST:

CESAR OROZCO, SECRETARY



**STAFF REPORT
CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND
LANDMARKS COMMISSION**

I. PROJECT INFORMATION

Item No. 12.A

DATE OF MEETING:	July 20, 2023
PROJECT NUMBER:	Certificate of Appropriateness (COA) #23-0001
PREPARED BY:	John Dacey, Senior Planner
PROJECT LOCATION:	635 Louisiana Street / APN: 0056-103-050
APPLICABLE ZONING CODE SECTION(S):	Certificate of Appropriateness (Vallejo Municipal Code (VMC) Section 16.614.09)
PROJECT SUMMARY:	The project involves enclosing an existing covered back porch to add a new bathroom, the replacement of a window with a new door, and the addition of a new rear deck to an existing single-family residence. The proposed exterior alterations are visible from the rear of the property, along Overland Alley. The proposed exterior work includes; enclosing the existing porch with new shiplap siding to match the existing exterior of the residence; replacement of an existing wood-framed window for a new wood-framed glazed door and wood-framed transom window on the south elevation, and the replacement of the existing wooden landing and stairs with a new wooden deck and stairs accessing the backyard. The exterior colors will match those of the existing residence.
CEQA DETERMINATION:	The project is categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15331 (Class 31 "Historic Resource Restoration/Rehabilitation"). Therefore, no further environmental analysis is required.
RECOMMENDATION:	Staff recommends that the Architectural Heritage and Landmarks Commission adopt a Resolution to APPROVE Certificate of Appropriateness (COA) #23-0001 based on the findings and analysis contained herein.

PROJECT DATA SUMMARY:

APPLICANT/PROPERTY OWNER:	Jonathan Harris 635 Louisiana St Vallejo, CA 94590
GENERAL PLAN DESIGNATION:	R-SF – Primarily Single-family
ZONING DISTRICT:	Low Density Residential (LDR)
HISTORIC DISTRICT:	St. Vincent's Historic District

II. BACKGROUND

A. Site Location and Context

The single-family residence is located on Louisiana Street and Overland Alley. It is surrounded primarily by existing residential uses, while commercial uses are primarily located along Sonoma Blvd, as shown in Figure 1.

Saint Vincent's Ferrer Catholic Church is located approximately 1,000 feet to the southwest and Sonoma Boulevard is located approximately 100 feet to the east. The immediate vicinity of the project site is characterized by existing residential land uses. The site's General Plan land use designation is Primarily Single-Family (R-SF) and it has a zoning district of Residential Low Density (RLD).

Figure 1 – Vicinity Map



635 Louisiana Street is a one-story, single-family residence on a half story foundation, estimated to have been constructed in 1895. An accessory dwelling unit sits on the rear of the lot on Overland Alley. The main residence is listed as a contributing building in the St Vincent's Hill Historic District. A Historic Resource Inventory (HRI) survey was completed in 1978, identifying the cottage as a "very fine example

of small-scale Queen Anne design” and noting “the structure enhances other 19th Century buildings of the neighborhood”. The character-defining features are limited to the primary façade that faces Louisiana Street and consist of a steeply pitched hipped roof with a front facing lower cross gable, a partial width porch with turned posts and decorative brackets, an angular bay window, and horizontal wood siding with fish scale shingles on the end gable with a starburst, shown in Figure 2. The enclosed porch, corrugated fiberglass awning, rear landing and wood stairs at the rear of the residence have been identified as non-character defining features, shown in Figure 3.



Figure 2 – Front Elevation



Figure 3 – Rear Elevation

St. Vincent's Historic District

The subject property is located within the St. Vincent's Historic District. In 2003, the St. Vincent's Historic District was added to the National Register list. The St. Vincent's Historic District is a residential neighborhood constructed mostly from the 1850s to the end of World War II. During the past 130 years, 714 primary buildings were constructed on a regular grid pattern across hilly terrain. The district includes approximately 575 parcels, about 95 percent of which have a residential use. About 542 of the dwellings within the district are single-family residences, and 131 buildings are multi-unit or mixed-use buildings. Of the 714 primary buildings, 545 contribute to the historic character of the district. Most of the other buildings are ancillary garages or sheds.

The predominant use of single-family residences accounts for the visual characteristic of the district. Many of the primary buildings are clearly separated from neighboring buildings. The parcels within the district have side yards, often quite narrow, and back yards. Building setbacks vary by construction date, causing the street face to be irregular on some blocks. Many residences were constructed on the property line, while others were constructed towards the rear of the property away from the street.

Additionally, the variety of building heights, massing and scale has created a diverse visual character within the St. Vincent's Historic District. Throughout the district, different types of residences from different eras are seen, with gable, hip or flat roofs, one- or two-story heights, Hardie board or shingle siding, and double-hung or slider windows. The St. Vincent's Historic District was created with different historical styles represented throughout the district.

B. Required Approvals

Vallejo Municipal Code (VMC) Section 16.614.09 – Certificate of Appropriateness, provides in relevant part: *A certificate of appropriateness shall be required prior to the construction, demolition, alteration, or relocation of, or addition to, any main or accessory structure or other designated feature in a historic district, or on the property of a designated landmark.* Additionally, VMC Table 16.614-A: Review Authority and Public Notice provides that all other alterations to a building within a historic district shall be reviewed by the Architectural Heritage and Landmark Commission's (AHLC) secretary, unless any alteration, including windows, is visible from the street in which case it shall be reviewed by the AHLC and require a 14-calender day public notice.

C. Project Description

The project involves recladding the existing rear covered porch, screen door and removing the fiberglass awning to allow for the construction of a new bathroom to serve the residence. In addition, the existing wood landing and wood stairs would be replaced with a new wooden deck and wooden stairs to the backyard. An existing wood-framed window would be replaced with a new wood-framed glazed door and wood-framed transom window above it. The recladding would match the existing exterior of the building and no change to the footprint of the residence is proposed.

The porch, landing, corrugated fiberglass awning and wood stairs have been identified as non-character defining features. The window being replaced, while original, has been identified as a non-character defining feature. None of the proposed work is visible from Louisiana Street but it is visible from Overland Alley.

III. STAFF ANALYSIS

In order to analyze the project, a Historic Resource Impact Assessment (HRIA) was prepared by Richard Brandi (Attachment 2). The HRIA was commissioned and relied upon to determine consistency with the Secretary of Interior's Standards for the Treatment of Historic Properties, a necessary finding for COA approvals, and can be found in the attached Resolution (Attachment 1).

The report describes the Saint Vincent's Hill Historic District, the property background, the character defining features of the building, project impact analysis and Secretary of the Interior's Standards review. As detailed in the report, the proposed work is in conformance to the applicable Standards of Rehabilitation, which is defined as *the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural heritage.*

A. General Plan Consistency

The project is consistent with the following General Plan 2040 policy (the policy is listed in Bold, follow by staff's analysis in italics):

- **Policy NBE-1.10 Historic Resources. Encourage the protection, rehabilitation, and reuse of historic buildings and structures.**

The project will allow renovations to an existing single-family residential building identified as a contributor in Historic District, while completing its rehabilitation consistent with the Department of Interior Standards for Historic Preservation.

B. Certificate of Appropriateness

The Certificate of Appropriateness findings are intended to ensure that the architectural and historical integrity of historic structures and general character of historic districts are preserved. These findings are codified in VMC Section 16.614.09.E and included in the Draft Resolution – Attachment 1.

IV. ENVIRONMENTAL REVIEW

The project is categorically exempt from the provisions of the California Environmental Quality Act ((CEQA) Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates a historic resource, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

None of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects due to unusual circumstances, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not adversely affect any historical resource. Therefore, no environmental review is required.

V. NOTICING AND PUBLIC COMMENTS

On July 4, 2023, pursuant to VMC Section 16.602.08 – Noticing, a 14-calendar day notice of this hearing was published in the Times Herald, mailed to all active neighborhood groups and all property owners within 500 feet of the subject property, and any other local agency expected to provide water, wastewater treatment, or other essential facilities or services to the project, as well as to members of the AHLC, the applicant and property owner.

VI. CONCLUSION / STAFF RECOMMENDATION

Based on the analysis contained in this staff report and the project's consistency with General Plan 2040 and the Vallejo Municipal Code, staff recommends that the AHLC **APPROVE** Certificate of

Appropriateness (COA) #23-0001 based on the findings provided in the attached Resolution No. AHLC 23-005 and subject to the Conditions of Approval provided as Exhibit A thereto.

VII. EXPIRATION

Pursuant to VMC Section 16.602.12.A.2, approval of this Certificate of Appropriateness shall automatically expire 24 months after its approval unless authorized construction has commenced prior to the expiration date (July 20, 2025) (if approved at this meeting).

VIII. APPEAL PROCEDURE

The applicant, or any party adversely affected by the decision of the AHLC may, within ten days after the rendering of the decision of the AHLC, appeal in writing to the City Council by filing a written appeal with a fee of \$1,408 dollars with the City Clerk. Such written appeal shall state the reason for the appeal and why the appellant believes he or she is adversely affected by the decision of the Planning Commission. Such appeal shall not be timely filed unless it is actually received by the City Clerk or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the AHLC. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.

IX. ATTACHMENTS

1. Resolution No. AHLC 23-005
 - Exhibit A – Conditions of Approval
2. Historical Resources Impacts Assessment; Richard Brandi – Dated January 9, 2023
3. Project Plans

**CITY OF VALLEJO
ARCHITECTURAL HERITAGE AND LANDMARKS COMMISSION**

RESOLUTION #23-005

A RESOLUTION APPROVING CERTIFICATE OF APPROPRIATENESS (COA) #23-0001 TO MAKE EXTERIOR ALTERATIONS TO THE BUILDING LOCATED AT 635 LOUISIANA STREET

APN: 0056-103-050

WHEREAS, on January 31, 2023, Jonathan Harris, applicant, and property owner, filed Certificate of Appropriateness (COA) #23-0001 application ("application") seeking approval of exterior alterations ("project") to an existing single-family residence at 635 Louisiana Street (APN:0056-103-050) ("project site") located in the Saint Vincent's Hill Heritage District; and

WHEREAS, on July 20, 2023, the City of Vallejo Architectural Heritage and Landmarks Commission ("Commission"), after giving all public notices required by State law and the Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Commission considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, based on the record of proceedings, the Commission makes the following findings:

I. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDING

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code §21000, et seq. and California Code of Regulations, Title 14, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). The project rehabilitates a historic resource, consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

II. FINDINGS RELATING TO THE APPROVAL OF THE CERTIFICATE OF APPROPRIATENESS PERMIT (VMC Section 16.614.09.E)

A. The project is in conformance with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties applicable to the project and any ordinance designating the Historic District or Landmark.

FACTS IN SUPPORT: The Secretary of the Interior's Standards for Rehabilitation are applicable to the project and are as follows:

- 1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

The project proposes no changes to the building's use or changes to distinctive materials, features, spaces, and spatial relationships. Therefore, the project complies with Rehabilitation Standard No. 1.

- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.**

The proposed project does not propose any alterations to the character-defining features located on the building's front façade. The enclosed porch, corrugated fiberglass awning, rear landing and existing wood stairs have been identified as non-character defining features to the residence. As the proposed project will affect only non-character defining features, there will be no removal of distinctive materials or any alteration of features, spaces, and spatial relationships that characterize the property and therefore the project complies with Rehabilitation Standard No.2.

- 3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic periods, will not be undertaken.**

The proposed project does not include the addition of conjectural features or architectural elements from other historic periods. The recladding of the porch utilizes compatible siding materials, but will not create a false sense of historical development, therefore the project complies with Rehabilitation Standard No. 3 with the provided recommendations.

- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

No documented changes to the property have achieved historic significance, therefore the proposed project is compliant with Rehabilitation Standard No. 4.

- 5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

The proposed project preserves the distinctive materials, features, finishes and construction techniques and examples of craftsmanship that characterize the property.

The enclosed porch, corrugated fiberglass awning, rear landing and existing wood stairs are not distinctive features that characterize the property. Their removal, therefore, is compliant with Rehabilitation Standard No. 5.

- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

The proposed project does not include any repairs to deteriorated historic features. Rehabilitation Standard No. 6 does not apply.

- 7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The proposed scope of work for the project does not include chemical or physical treatments. Rehabilitation Standard No. 7 does not apply.

- 8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

The proposed scope of work for the project does not include ground-disturbing activities and thus there is a low chance of encountering archaeological resources. Rehabilitation Standard No. 8 does not apply.

- 9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

The exterior alterations proposed to the rear of the residence include recladding the porch, removing the corrugated fiberglass awning, and converting a window to a door with transom, which are all minor changes to non-character defining features. As stated in the National Park Service Guidelines: Some exterior and interior alterations to a historic building are generally needed as part of a Rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include changes to the site or setting, such as the selective removal of buildings or other features of the building site or setting that are intrusive, not character defining, or outside the building's period of significance.

As the proposed exterior alterations will utilize compatible materials for the siding and framing, the proposed project conforms with Rehabilitation Standard No. 9.

- 10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential**

form and integrity of the historic property and its environment would be unimpaired.

The proposed deck, door, and transom could be removed without impairing the essential form and integrity of the historic property and therefore the project complies with Rehabilitation Standard No. 10.

- B. For projects located in a Historic District, the proposed project is consistent with any conservation plan or specific plan adopted for the Historic District.**

The project site is within the Saint Vincent's Hill Historic District for which there is no adopted conservation plan or specific plan.

- C. For projects that require demolition, the Architectural Heritage and Landmarks Commission shall also find, as applicable: (a) It is not feasible to preserve or restore the structure after considering alternatives and balancing interest in preservation versus cost. (b) The retention of the structure constitutes a hazard to public safety. (c) The structure is a deterrent to a major improvement program which substantially benefits the City. (4) Retention of the structure in the judgment of the commission is not in the interest of the majority within the Historic District.**

The project does not involve demolition of a structure.

NOW, THEREFORE, LET IT BE RESOLVED that the Commission hereby APPROVES Certificate of Appropriateness (COA) #23-0001 based on the analysis contained in the staff report and the findings contained herein and subject to the Conditions of Approval attached as hereto as Exhibit A.

PASSED AND ADOPTED at a regular meeting of the Architectural Heritage and Landmarks Commission of the City of Vallejo, State of California, on the 20th day of July 2023 by the following vote to-wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

ANGELA MCDONALD, CHAIRPERSON

City of Vallejo Architectural Heritage and Landmarks Commission

Attest:

CESAR OROZCO, SECRETARY

City of Vallejo Architectural Heritage and Landmarks Commission

CONDITIONS OF APPROVAL

CERTIFICATE OF APPROPRIATENESS (COA23-0001) 635 LOUISIANA STREET APN # 0056-103-050

PERMIT DESCRIPTION: The project involves enclosing an existing covered porch for a new bathroom and the addition of a new deck to an existing single-family residence. The proposed exterior alterations are visible from the rear of the property, along Overland Alley. The proposed exterior work includes; enclosing the existing porch with new shiplap siding to match the existing exterior of the residence; replacement of an existing wood-framed window for a new wood-framed glazed door and wood-framed transom window on the south elevation, and the replacement of the existing wooden landing and stairs with a new wooden deck and stairs accessing the backyard. The exterior colors will match those of the existing residence.

A. **PLANNING DIVISION**

John Dacey, Senior Planner | john.dacey@cityofvallejo.net | (707) 648-4506

Pre-Building Permit

1. Prior to building permit issuance, submit a numbered list to the Planning Division with a written response on how each condition of approval (COA) contained in this report will be satisfied. The list should be submitted to the project planner who will coordinate development of the project. The approved COA will be included in the permit set after the cover sheet with each condition listed and how the applicant will address each condition in writing.

General Requirements

1. The Planning Division shall confirm that the building permit drawings and subsequent construction substantially conform with the approved Planning application drawings.
2. A final decision on an application for any discretionary approval subject to appeal shall become effective after the expiration of ten calendar days following the date of action unless an appeal is filed. No building permit or business license shall be issued until the 11th day following the date of the action. If a different termination date is fixed at the time of granting, or if actual construction or alteration has begun under valid building permits, the ten-day period may be waived. (VMC Section 16.602.11)
3. The review authority, in the granting of any permit, may specify a time consistent with the purposes of the use and necessary to safeguard the public safety, health and welfare, within which the proposed use must be undertaken and actively and continuously pursued. If no time period is specified, any permit granted under the Zoning Code shall automatically expire within two years of the effective date (July 20, 2025; if approved) (VMC Section 16.602.12 (A)).
4. If a permit is granted in conjunction with approval of new construction, issuance of a building permit shall constitute exercise of rights; provided, however, that, unless otherwise specified as a condition of project approval, the permit shall expire if:
 - i. The Building Permit expires.
 - ii. Final inspection is not completed, or certificate of occupancy issued within the time specified as a condition of project approval.
 - iii. The rights granted under the permit are not exercised within one year following the earliest to occur of the following: issuance of a certificate of occupancy; or if no certificate of occupancy is required, the last required final inspection for the new construction. (VMC Section 16.602.11 (B))
5. The Director may approve a one-year extension of any permit or approval granted for a residential project under the Zoning Code upon receipt of a written application and fees received fifteen

calendar days before the expiration date (by July 16, 2025) with the required fee prior to expiration of the permit. (VMC Section 16.602.11 (C.1).)

6. No change in the use or structure for which a permit or other approval has been issued is permitted unless the permit is modified as provided for in the Zoning Code. The modification of a permit may include minor modification of the project approval that is in substantial compliance as determined by the director. (VMC Section 16.602.11 (D)) See COA #7, immediately below.
7. Applications for changes to an approved permit must be filed and processed in compliance with the requirements in Section 16.602.02, Application Forms and Fees, as it may be amended from time to time, and shall be subject to a fee established by the Master Fee Schedule.
8. A request for major changes to an approved site plan or building plan that will not affect the findings adopted as a basis for project approval, but are still considered substantial, shall be forwarded to the original review authority for the discretionary permit for review and approval. Any changes to the proposed colors shall require approval by the Planning and Development Services Director. (VMC Section 16.602.11 (F))
9. Within five business days after project approval, the applicant shall pay the Notice of Exemption filing fee (the latest fees in effect at the time of payment) for County Clerk processing, made payable to Solano County and submitted to the City of Vallejo Planning Division. If an in-person filing is required, such filing shall be completed by the applicant, unless directed otherwise by the Planning Division. NOTE: If the fees are not paid and the Notice of Exemption is not filed within five working days after approval of the project, it will extend time frames for California Environmental Quality Act (CEQA) legal challenges.
10. Obtain an inspection from the Planning Division prior to occupancy/final building inspection. All inspections require a minimum 24-hour notice. Occupancy permits shall not be granted until all construction and landscaping are completed and finalized in accordance with the approved plans and required conditions of approval or a bond has been posted to cover all costs of the unfinished work as agreed to by the Planning and Development Services Director.

Applicant shall indemnify, hold harmless, and defend City, its officers, officials, directors, employees, agents, volunteers and affiliates and each of them from any and all claims, demands, causes of action, damages, costs, expenses, actual attorney's fees, applicant's fees, expert fees, losses or liability, in law or in equity, of every kind and nature whatsoever arising out of or in connection with Applicant's operations, or any subcontractor's operations, to be performed under this agreement for Applicant's or subcontractor's tort negligence including active or passive, or strict negligence, including but not limited to personal injury including, but not limited to bodily injury, emotional injury, sickness or disease, or death to persons and/or damage to property of anyone, including loss of use thereof, caused or alleged to be caused by any act or omission of Applicant, or any subcontractor, or anyone directly or indirectly employed by any of them or anyone for the full period of time allowed by the law, regardless to any limitation by insurance, with the exception of the sole negligence or willful misconduct of the City. No modification of the project, any application, permit, certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the Applicant's indemnity obligation.

**Design Review
635 Louisiana Street
Vallejo, CA 94590**



Conducted for:

Jonathan Harris
635 Louisiana Street
Vallejo, CA 94590

Prepared by:

Richard Brandi
Architectural Historian
BrandiPreservation.com
January 9, 2023

Design Review

Introduction

This is a design review of a project to add a deck at the rear of 635 Louisiana Street. The house is included in the Saint Vincent Historic District, and as such it is a historical resource under the California Environmental Quality Act (CEQA). Under CEQA, impacts to historical resources are generally considered to be mitigated below a level of significance when a project conforms to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (hereinafter "Standards"). The report assesses whether the proposed project plans are in compliance with the Standards or if any changes are necessary to bring the project into compliance.

Summary Findings

This report concludes that the project conforms to the Standards, and no changes are recommended to the project plans.

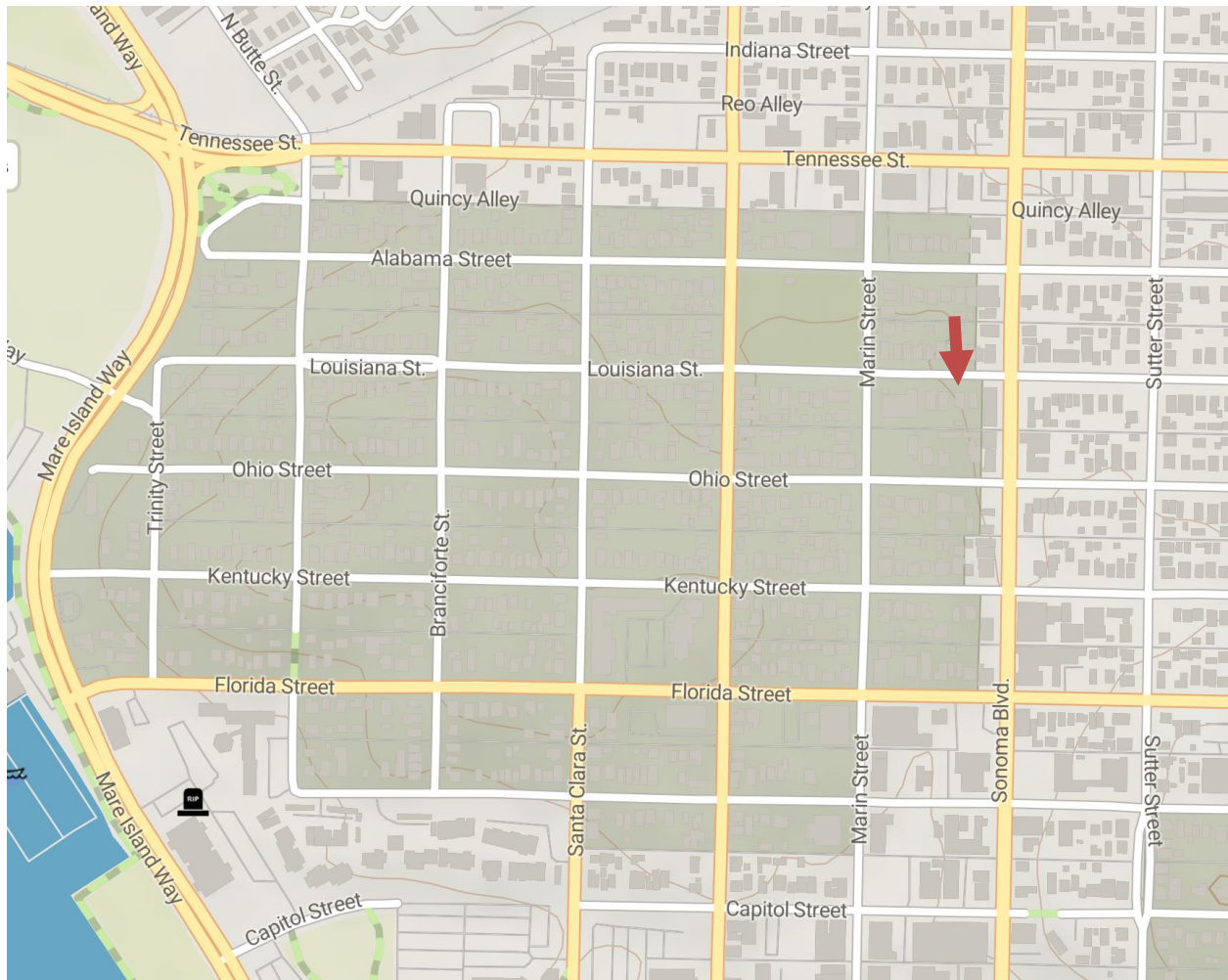
Method

This review was conducted by Richard Brandi who holds an M.A. in Historic Preservation from Goucher College, Maryland and a B.A. from U.C. Berkeley. With more than 18 years of professional experience in architectural history and historic preservation, Mr. Brandi meets the requirements of a Qualified Professional as set forth by the Secretary of the Interior. He has extensive experience throughout California and has also worked in Arizona, Mississippi, Montana, and New Mexico. He conducts historic resource evaluations; historic context statements; architectural surveys; CEQA, NEPA, and Section 106 reviews; HABS/HAER documentation; National Register nominations; and design reviews using the Secretary of the Interior's Standards for the Treatment of Historic Properties. He is president and board member of the Northern California Chapter of the Society of Architectural Historians, and former board member of the Western Neighborhoods Project, which received the State of California Governor's Award for Historic Preservation.

A site visit was made on January 3, 2023. Photos were taken at eye level standing on the pavement from the public right of way on Louisiana Street and Overland Alley behind the house.

Historic Significance

The house at 635 Louisiana lies in the Saint Vincent Historic District. It was described in the Historic Inventory Form dated March 29, 1979, as a "very fine example of small-scale Queen Anne design," with "angled bay with machine pendanted [sic] brackets."¹

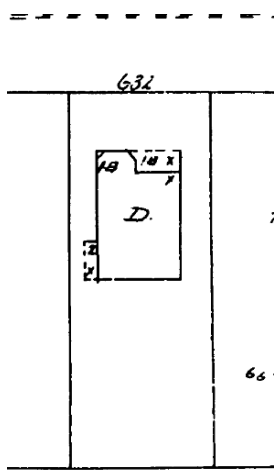


Saint Vincent Historic District. Arrow points to the approximate location of 635 Louisiana Street.

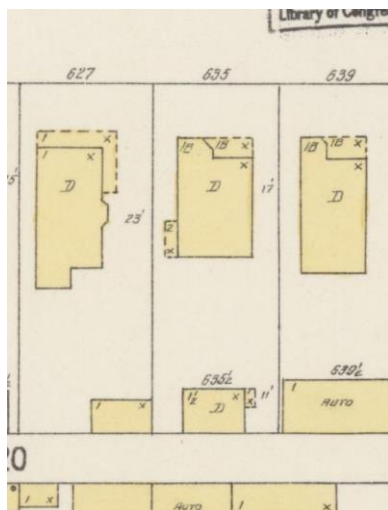
The St. Vincent's Hill Historic District is a 33-square block area surrounding St. Vincent's Catholic Church and bounded on the south by Florida and Carolina Streets, on the east by Sonoma Boulevard, on the north by Tennessee Street, and on the west by Mare Island Way. The historic significance of this district lies in its growth as a workingman's neighborhood for shipbuilders at the nearby Mare Island Naval Shipyard. It is expressed in a wide variety of architectural styles, beginning with the Greek Revival cottages of the 1850s and 1860s.²

Building Description

The one-story house sits on a half story foundation, is rectangular-in-plan, with a steeply pitched hipped roof and a front facing lower cross gable. The primary façade faces Louisiana Street and has a partial-width porch with turned posts and decorative brackets and an angular bay window. The house is clad in horizontal wood siding on all façades, with fish scales shingles on the end gable with a starburst. The decorative detailing is limited to the primary façade. Double-hung wood windows are located on all the façades. An enclosed porch is located off the left rear corner of the house with a screen door and corrugated fiberglass awning. The porch leads to a wood landing and wood stairs leading to the backyard. The porch is shown on the 1901 Sanborn map. An accessory dwelling unit sits at the rear of the lot on Overland Alley. This unit is shown on the 1919 Sanborn map with an address of 635½ (now 637 Louisiana).



1901 Sanborn; address was 632 Louisiana.



1919 Sanborn map. The auxiliary dwelling unit at the rear of lot (635½).

The identifying or character- features of the Queen Anne style are:

Steeply pitched roof of irregular shape, usually with a dominant front facing gable; patterned shingles, cutaway bay windows, and other devices to avoid a smooth walled appearance, asymmetrical facade with partial or full-width porch which is usually one story high and extended along one or both side walls.³

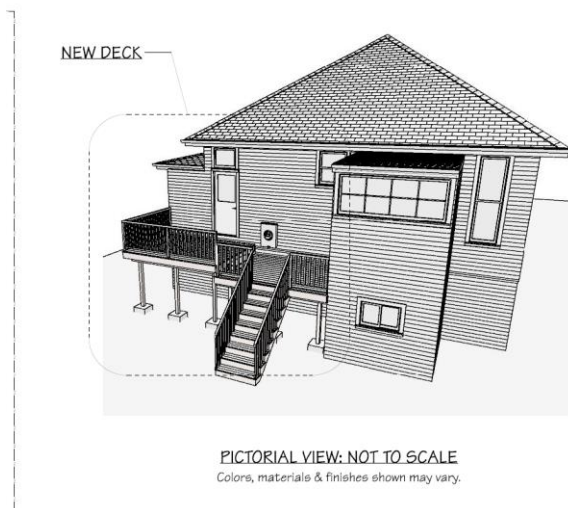
The character-defining features of 635 Louisiana Street are limited to the primary façade and consist of:

- a steeply pitched hipped roof with a front facing lower cross gable,
- a partial width porch,
- angular bay window, and
- horizontal wood siding with fish scales shingles on the end gable with starburst.

The enclosed porch, corrugated fiberglass awning, rear landing, and wood stairs are non-character defining features of the house.

Project Description

The proposed project would reclad the enclosed porch, enclose the screen door and remove the corrugated fiberglass awning. The wood landing and wood stairs would be replaced with a deck and stairs to the backyard, and an existing window would be replaced with a glazed door with transom. No other changes to the exterior of the building are proposed, and the footprint remains the same.



Project plans by Cerletti & Kennedy, dated August 16, 2021.



Project plans by Cerletti & Kennedy, dated August 16, 2021.



Rear of house.



Closeup of existing corrugated fiberglass awning, landing, and stairs.

The porch, landing, corrugated fiberglass awning, and wood stairs are non-character-defining features. The window appears to be original but is not a non-character-defining feature. These elements are all located at the rear of the building where they are difficult to see from the rear alley.

The project is not visible from Louisiana Street and is barely visible from the alley.



View of project east of auxiliary dwelling unit from Overland Alley.



View of project west of auxiliary dwelling unit from Overland Alley.

Secretary of the Interior's Standards for Rehabilitation

When a proposed project has the potential to affect a historic resource, the Standards are used to provide guidance to review the potential impacts to the historic structure. There are four Standards for the treatment of historic properties: Preserving, Rehabilitation, Restoring, and Reconstructing. The current project is not attempting to preserve or restore the building, but to reorganize and reprogram the interior spaces, while preserving the exterior of the building. Therefore, the Rehabilitation Standard is appropriate for this project. The proposed project was evaluated in this report through the application of the Rehabilitation Standard.

***Rehabilitation** is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural heritage.*

—Secretary of the Interior's Standards for Rehabilitation

The proposed project should adhere to the following Standards.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

The project proposes no changes to the building's use or changes to distinctive materials, features, spaces, and spatial relationships. Therefore, the project is consistent with Standard #1.

2. **The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**

The proposed project does not envision the removal of distinctive materials or the alteration of features, spaces, and spatial relationships that characterize the property.

Therefore, the project is consistent with Standard #2.

3. **Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

The proposed project does not propose to add conjectural features and is therefore consistent with Standard #3.

4. **Changes to a property that have acquired historic significance in its own right will be retained and preserved.**

No documented changes to the property have achieved historic significance; therefore, the proposed project is consistent with Standard #4.

5. **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

The proposed project will not remove distinctive materials, features, finishes, and construction techniques or examples of craftsmanship and therefore is consistent with Standard #5.

6. **Deteriorated historic features will be repaired, rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

The proposed project does not envision any repairs to deteriorated historic features, so the project is consistent with Standard #6.

7. **Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

The proposed project does not envision using any chemical or physical treatments, so the project is consistent with Standard #7.

8. **Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

This report does not evaluate potential archeological resources.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

The proposed project does not make any additions, exterior alterations, or new construction to the building. Recladding the porch, removing the corrugated fiberglass awning, and converting a window to a door with transom are minor change to a non-character-defining features. As stated in the National Park Service Guidelines:

Some exterior and interior alterations to a historic building are generally needed as part of a Rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. Alterations may include changes to the site or setting, such as the selective removal of buildings or other features of the building site or setting that are intrusive, not character defining, or outside the building's period of significance.⁴

Therefore, the project is consistent with Standard #9.

- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

The deck, door, and transom could be removed without impairing the essential form and integrity of the historic property. Therefore, the project is consistent with Standard #10.

Conclusion

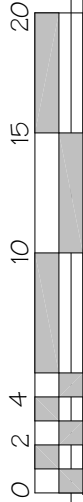
This report concludes that the Project conforms to the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, and no changes are recommended to the project plans.

¹ Historic Resources Inventory Form, dated March 29, 1979, for City of Vallejo, Paula Boghosian.

² <https://www.anyplaceamerica.com/directory/ca/solano-county-06095/parks/vallejo-old-city-historic-district-1800150/>

³ Virginia Savage McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2015), page 333.

⁴ National Park Service, *Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings*, www.nps.gov/orgs/1739/upload/treatment-guidelines-2017-part1-preservation-rehabilitation.pdf



2x4 RAFTERS
@ 24" O.C.

1
A-5

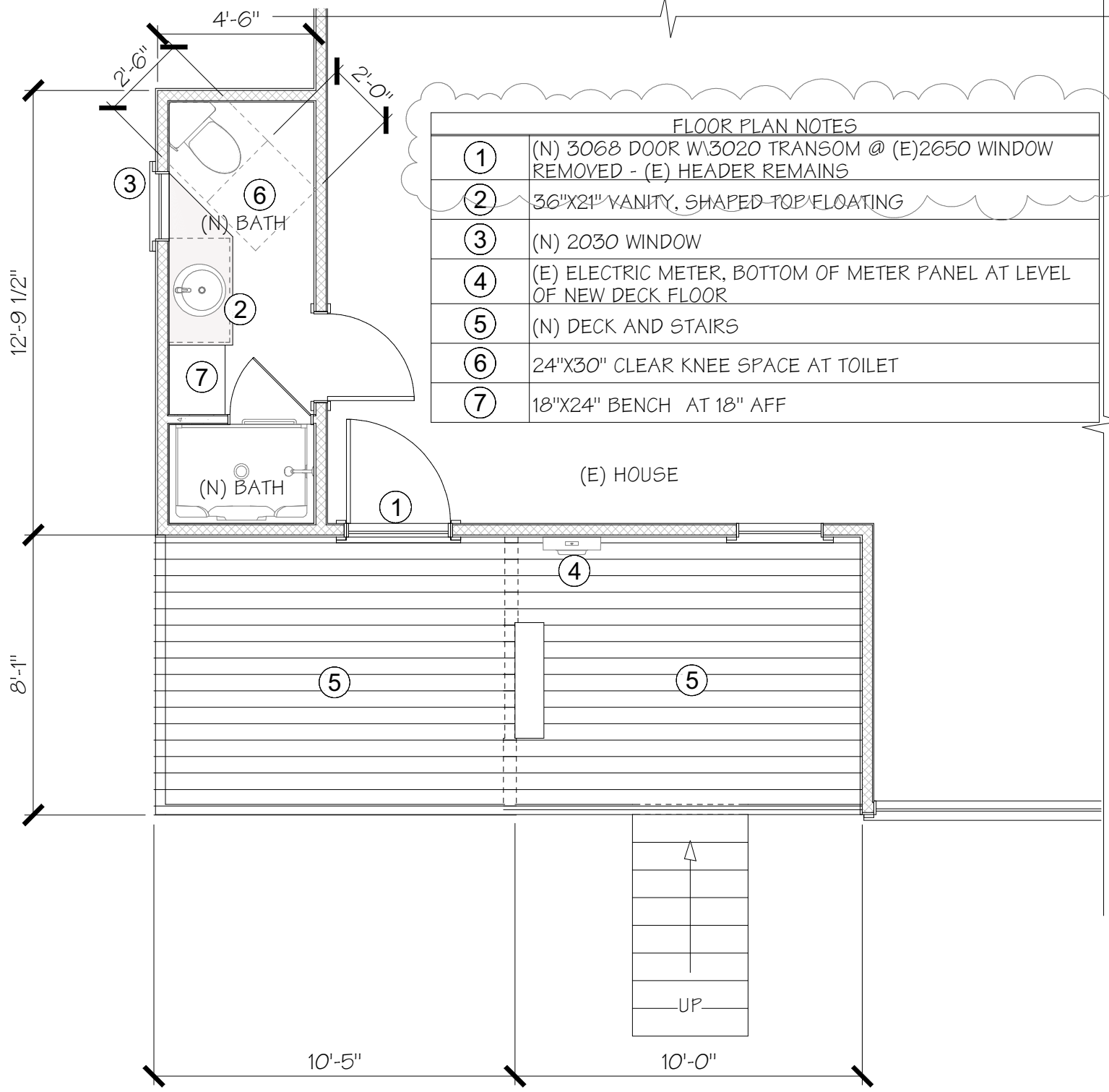
4x6 HDR

HIP

(E) ROOF

(N) DECK BELOW

PARTIAL ROOF PLAN
1/2 in = 1 ft



FLOOR PLAN NOTES	
①	(N) 3068 DOOR W/3020 TRANSOM @ (E)2650 WINDOW REMOVED - (E) HEADER REMAINS
②	36"X24" VANITY, SHAPED TOP/FLOATING
③	(N) 2030 WINDOW
④	(E) ELECTRIC METER, BOTTOM OF METER PANEL AT LEVEL OF NEW DECK FLOOR
⑤	(N) DECK AND STAIRS
⑥	24"X30" CLEAR KNEE SPACE AT TOILET
⑦	18"X24" BENCH AT 18" AFF

(N) PARTIAL FLOOR PLAN
1/2 in = 1 ft

PLAN NOTES:

1. LANDINGS SHALL BE NOT MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWING DOORS AND NOT MORE THAN 1-1/2 INCHES LOWER THAN THRESHOLD FO OUT-SWINGING DOORS CRC R311.3.1

2. SHOWER COMPARTMENT, REGARDLESS OF SHAPE, TO HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES AND ARE CAPABLE OF ENCOMPASSING 30- INCH CIRCLE CPC 408.6

3. SHOWER SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR TH THERMOSTATIC MIXING VALVE TYPE. CPC 408.3

4. PLUMBING FIXTURES SHALL BE PROVIDED WITH A BACKFLOW PREVENTION DEVICE IN ACCORDANCE WITH CPC 602.3 AND SHALL COMPLY WITH TABLE 603.2

5. DOMESTIC HOT WATER PIPING SHALL BE INSULATED IN ACCORDANCE WITH CPC 609.11

6. TERMINATION OF ALL ENVIRONMENTAL AIR DUCT SHALL BE A MIN. OF 3'-0" FROM ANY OPENING INTO BUILDING, MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHT, OR ATTIC VENTS CMC 502.2.1

PLUMBING FIXTURE FLOW RATES

1. WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2

2. KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 420.2.2

3. RESIDENTIAL LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM, PER CPC 407.2.2

4. SHOWERHEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 408.2

REVISION HISTORY		BY	DESCRIPTION
REV	DATE	BY	DESCRIPTION
R0	8/16/2021	JMT	CITY SUBMITTAL
R0.1	3/13/2023	JMT	3' DOOR

SHEET TITLE: PARTIAL FLOOR & ROOF PLAN

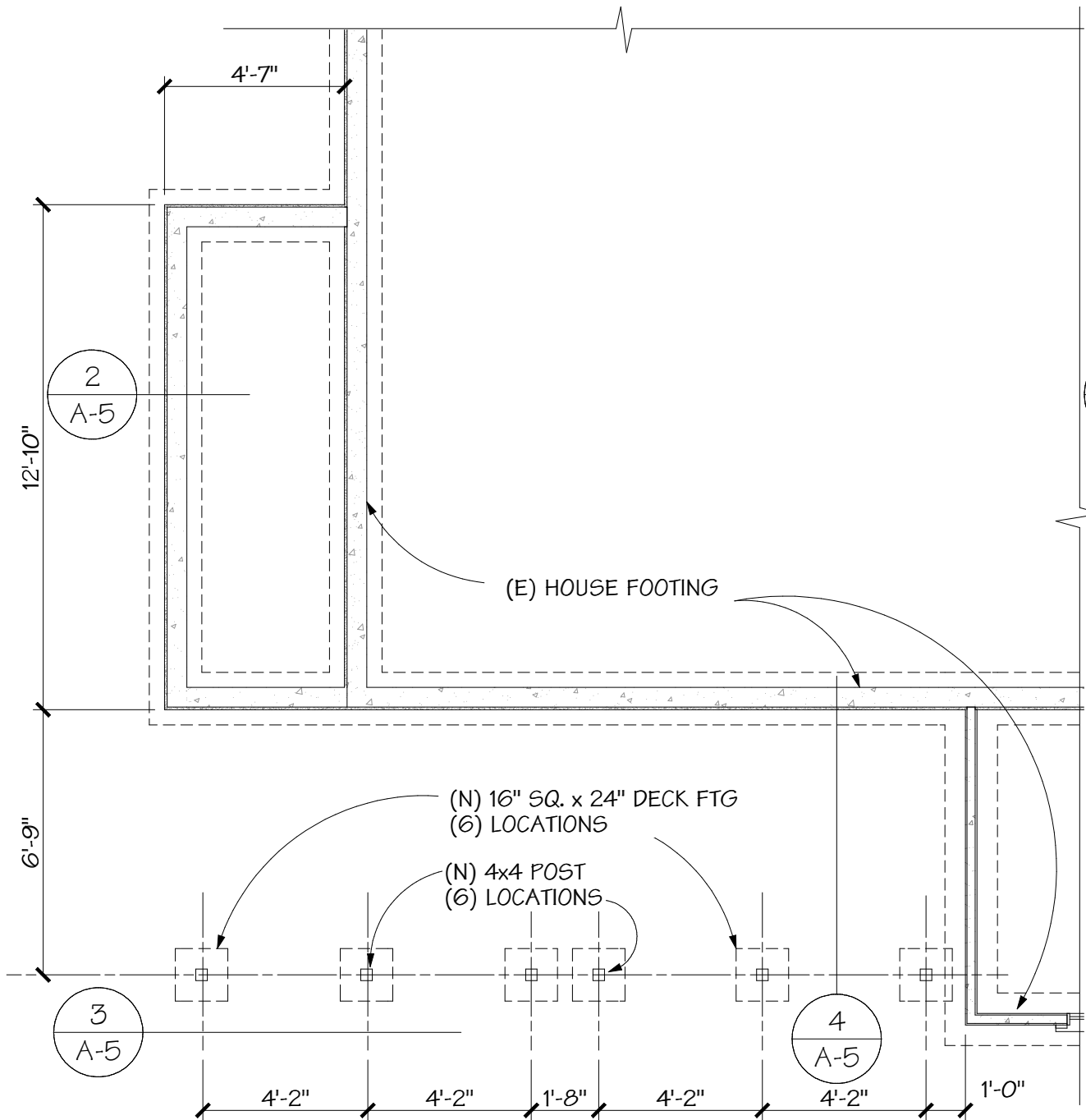
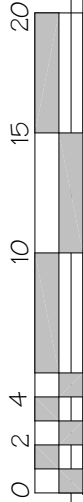
A Remodel for...
The HARRIS Family
635 LOUISIANA ST
VALLEJO CA. 94590

DRAWINGS PROVIDED BY:
Cerletti & Kennedy
Design-Build, CA Lic. 942024
2950 Buellert Ave., #300, Walnut Creek CA 94597
T 707.655.0411 - F 707.561.6487

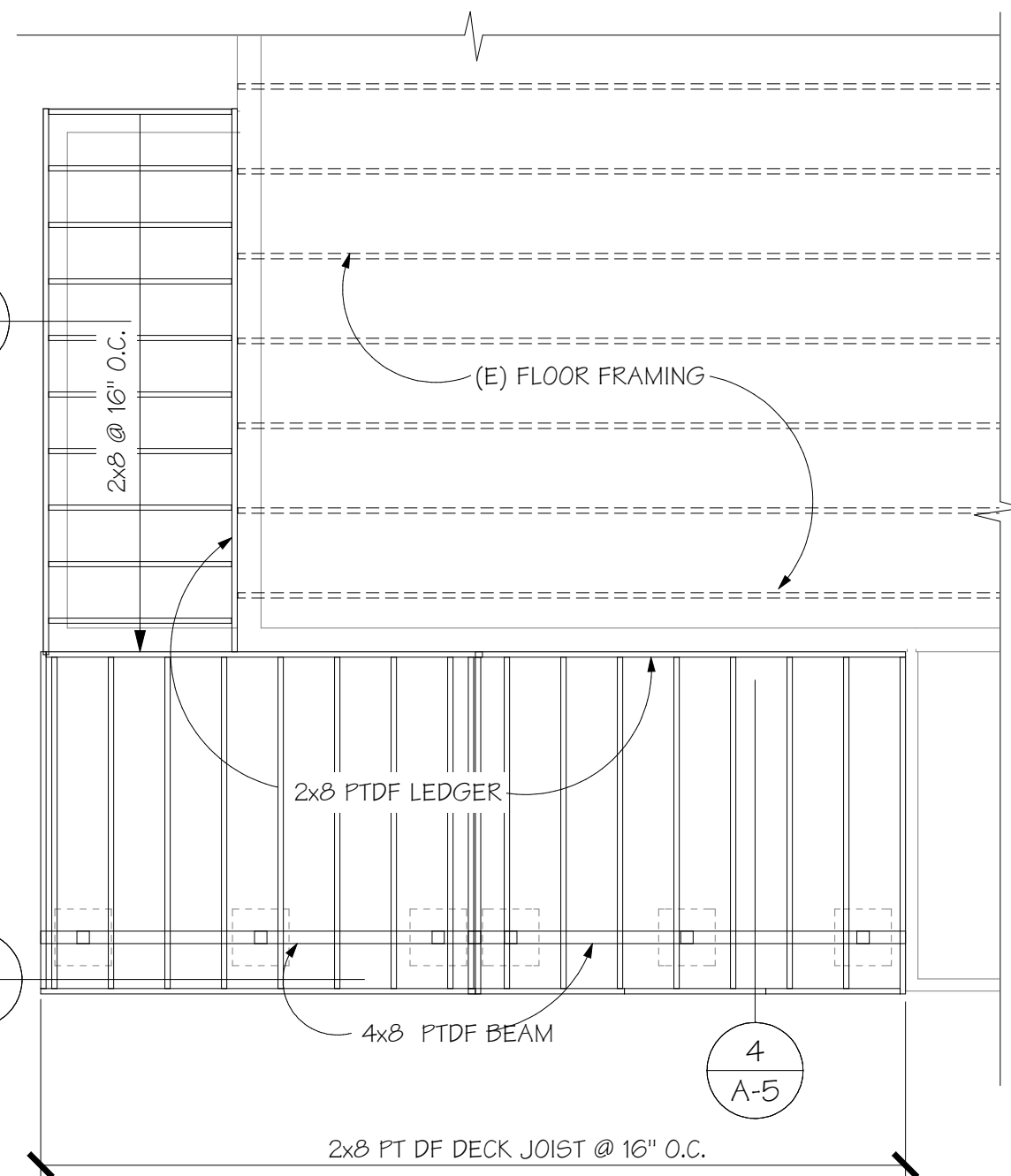
REV: R0.1

DATE: 3/13/2023

SHEET: A-2



FOUNDATION PLAN
1/2 in = 1 ft



FLOOR FRAMING
1/2 in = 1 ft

REVISION HISTORY

REV	DATE	BY	DESCRIPTION
1	8/12/2021	JMT	FRAMING
R0	8/16/2021	JMT	CITY SUBMITTAL

SHEET TITLE:

PARTIAL FND
& FRM PLANS

A Remodel for...

The HARRIS Family

635 LOUISIANA ST

VALLEJO CA. 94590

DRAWINGS PROVIDED BY:

Cerletti & Kennedy

Design-Build, CA Lic. 942024

2950 Buelkirk Ave., #300, Walnut Creek CA 94597

T 707.655.0411 - F 707.561.6487

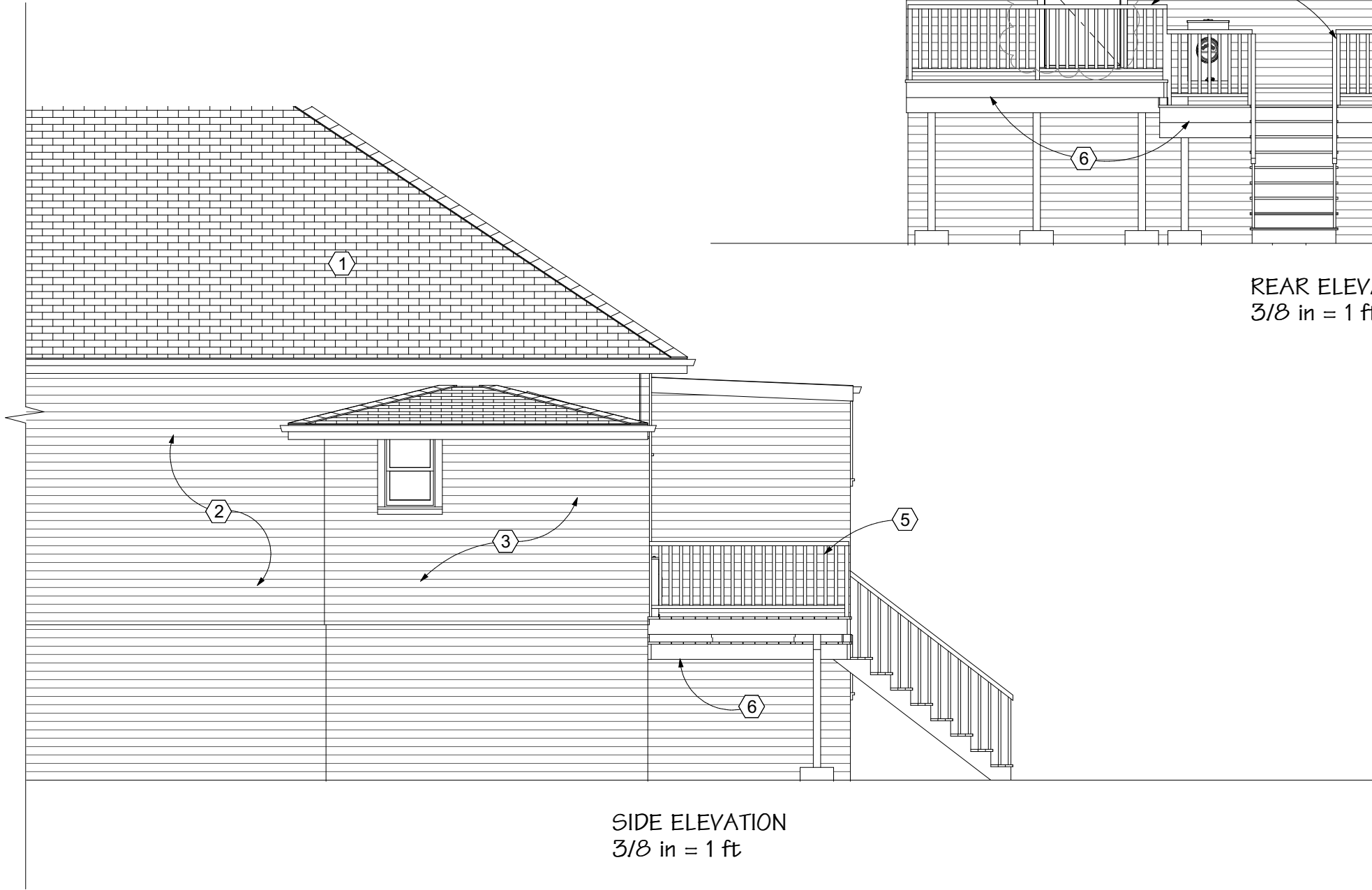
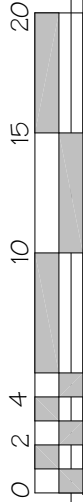
REV: R0

DATE:

3/13/2023

SHEET:

A-3



SIDE ELEVATION
3/8 in = 1 ft



REAR ELEVATION
3/8 in = 1 ft

ELEVATION NOTES	
1	(E) ROOF
2	(E) HOUSE SIDING
3	(N) SIDING TO MATCH EXISTING
4	(N) TRANSOM ABOVE DOOR TO MATCH (E) WINDOWS
5	(N) + 42"DECK RAILING
6	(N) WOOD DECK PER PLAN

REVISION HISTORY	
REV	DATE
RO	8/16/2021
RO.1	3/13/2023

SHEET TITLE:
ELEVATIONS

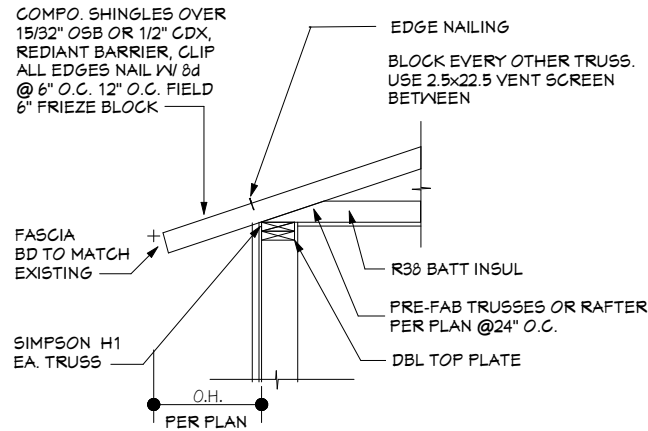
A Remodel for...
The HARRIS Family
635 LOUISIANA ST
VALLEJO CA. 94590

DRAWINGS PROVIDED BY:
Cerletti & Kennedy
Design-Build, CA Lic. 942024
2950 Buellirk Ave., #300, Walnut Creek CA 94597
T 707.655.0411 - F 707.561.6487

REV: R0.1

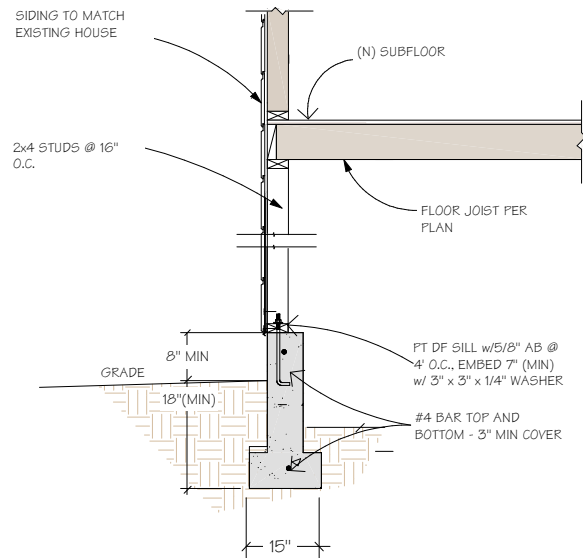
DATE:
3/13/2023

SHEET:
A-4



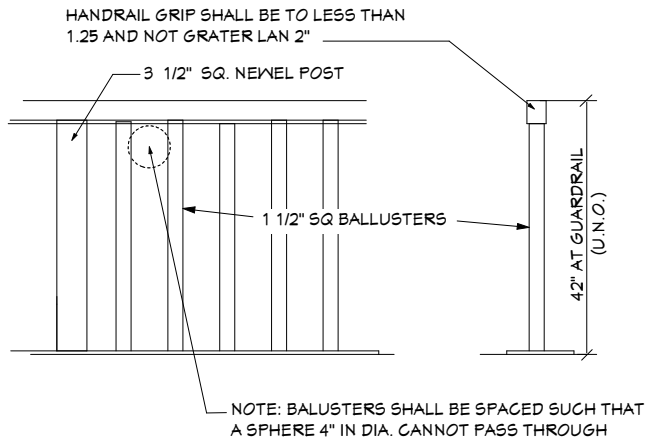
DETAIL

1



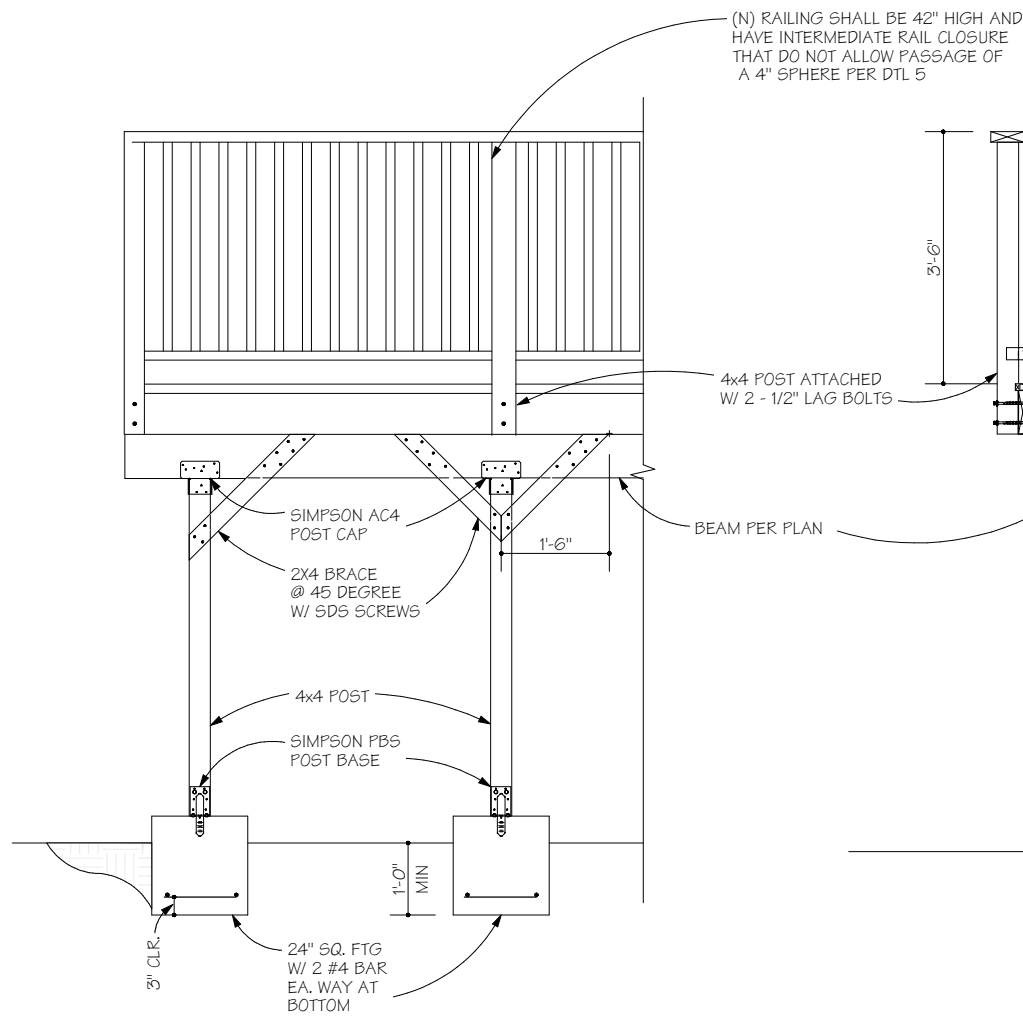
DETAIL

2



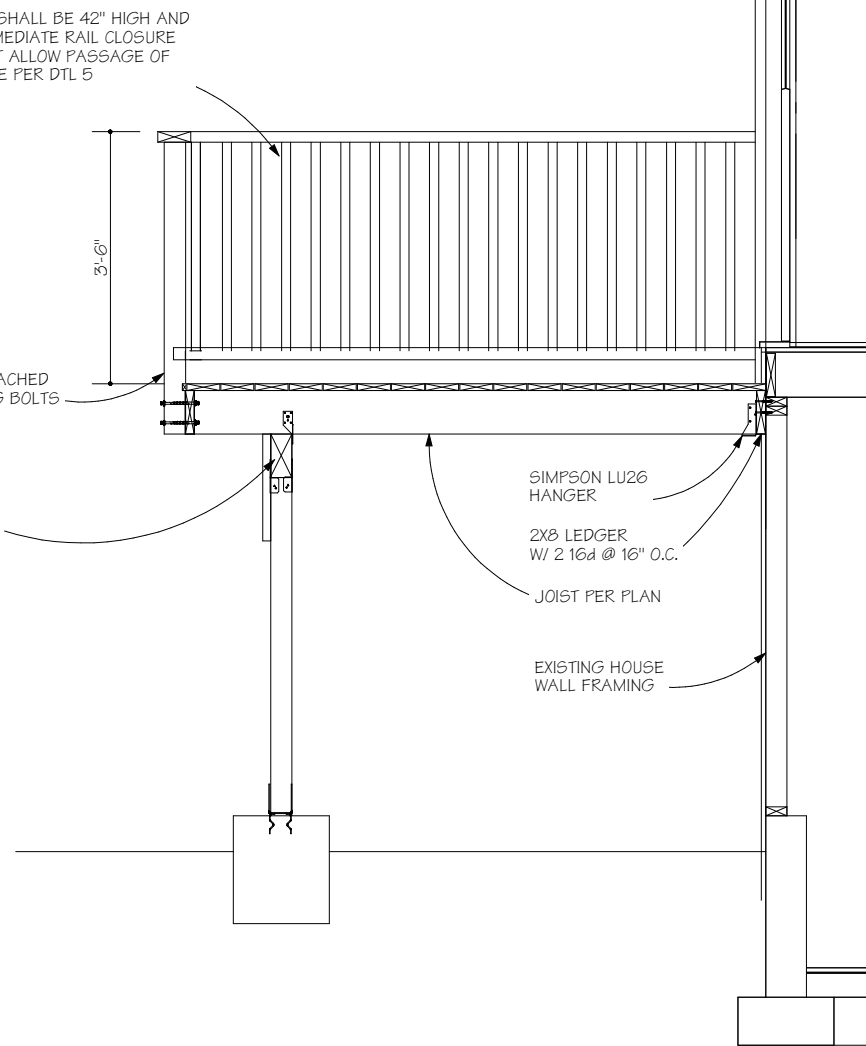
DETAIL

5



DETAIL

3



DETAIL

4

REVISION HISTORY		
REV	DATE	DESCRIPTION
1	8/16/2021	JMT CITY SUBMITTAL

SHEET TITLE:
DETAILS

A Remodel for...
The HARRIS Family
635 LOUISIANA ST
VALLEJO CA. 94590

DRAWINGS PROVIDED BY:
Cerletti & Kennedy
Design-Build, CA Lic. 942024
2950 Buell Rd. Ave., #300, Walnut Creek CA 94597
T 707.655.0411 - F 707.651.6487

REV: R0
DATE:
3/13/2023

SHEET:
A-5