

AGENDA



VALLEJO DESIGN REVIEW BOARD REGULAR MEETING – 7:00 P.M. COUNCIL CHAMBERS

Matt Kennedy, Chair
Oskar Lugtu
Michael Eli
Jamiah Adams
Daniel Gordon

555 Santa Clara Street, Vallejo, California

Thursday, October 10, 2024

NOTICE: Members of the public will be able to participate in-person or remotely via Zoom. City Hall and the Council Chambers will be open to members of the public 30 minutes prior to the start of the meeting.

VIEW THE MEETING:

There are four different ways you can view this public meeting:

- In Person
- Watch Vallejo local channel 28
- Stream from the City website: www.cityofvallejo.net/Streaming
- Join the Zoom webinar: <https://ZoomRegular.Cityofvallejo.net>

IMPORTANT NOTICE

This AGENDA contains a brief general description of each item to be considered. The posting of the recommended actions does not indicate what action may be taken. If comments come to the Design Review Board without prior notice for an item not listed on the AGENDA, no specific answers or responses should be expected at this meeting per State law.

Pursuant to Government Code Section 54954.3 of the Brown Act, members of the public shall be afforded the opportunity to speak on any agenda item of interest to them after being recognized by the presiding officer. Members of the public wishing to be so recognized are requested to submit a completed speaker card to the Secretary of the Design Review Board prior to the consideration of the item or raise their hand via ZOOM:(<https://ZoomRegular.Cityofvallejo.net>) or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. In person speakers will be recognized first.

Notice of Availability of Public Records: All public records relating to an open session item, which are not exempt from disclosure pursuant to the Public Records Act, that are distributed to a majority of the Design Review Board will be available on the City of Vallejo website at www.cityofvallejo.net subject to staff's ability to post the documents prior to the meeting.

Disclosure Requirements: Government Code Section 84308 (d) sets forth disclosure requirements which apply to persons who actively support or oppose projects in which they have a "financial interest", as that term is defined by the Political Reform Act of 1974. If you fall within that category, and if you (or your agent) have made a contribution of \$250 or more to any Board Member within the last twelve months to be used in a federal, state or local election, you must disclose the fact of that contribution in a statement to the Board.

Appeal Rights: The applicant or any party adversely affected by the decision of the Design Review Board may, within ten days after the rendition of the decision of the Design Review Board, appeal the decision by filing a written appeal with the Director of Planning and Development Services. Such written appeal shall state the reason or reasons for the appeal and why the applicant believes he or she is adversely affected by the decision of the Board. Such appeal shall not be timely filed unless it is actually received by Director of Planning and Development Services or designee no later than the close of business on the tenth calendar day after the rendition of the decision of the Design Review Board. If such date falls on a weekend or City holiday, then the deadline shall be extended until the next regular business day.



The Council Chambers in City Hall is ADA compliant. Devices for the hearing impaired are available from the City Clerk. Requests for disability related modifications or accommodations, aids or services may be made by a person with a disability to the City Clerk's office no less than 72 hours prior to the meeting as required by Section 202 of the Americans with Disabilities Act of 1990 and the federal rules and regulations adopted in implementation thereof.

If you have any questions regarding any of the following agenda items, please call the assigned planner or project manager at (707) 648-4326.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

4. **CONSENT CALENDAR AND APPROVAL OF AGENDA**

Upon motion of any Board Member, all items placed upon the consent calendar may be acted upon collectively, and each shall be deemed to have received the action recommended by the Secretary or City Attorney; except that if any Board Member objects to the placement of an item on the consent calendar, or if any member of the public wishes to address the Board Member on any such item, the item shall be removed from the consent calendar and shall be heard and acted upon in its proper place on the agenda as designated by the Presiding Officer.

After making changes in the agenda, if any, as permitted under these rules of order and procedure, the Board Member shall approve the agenda which shall constitute the agenda of business to be considered at the meeting. The motion offered to approve the agenda shall include the adoption of the consent calendar.

A. APPROVAL OF AGENDA

B. APPROVAL OF MINUTES

a. July 11, 2024 – Regular Meeting

C. OTHER CONSENT ITEMS - None.

5. **REPORT OF THE CITY COUNCIL LIAISON**

The City Council Liaison may, from time to time, wish to make announcements and report on items of activity that may be of interest to the Board and the general public.

6. **COMMUNITY FORUM**

The Presiding Officer shall announce that members of the public have the opportunity to directly address the Design Review Board on items of interest to the public that are within the subject matter jurisdiction of the Board and not on the current agenda. Up to fifteen (15) minutes shall be set aside for the community forum and each speaker shall be allocated up to three (3) minutes, unless time is extended by the Presiding Officer with the Board's consent. Items of business listed on the agenda shall not be further discussed under the community forum. Anyone desiring to address the Design Review Board may indicate such interest in one of the two ways listed below:

1. Any interested members of the public desiring to communicate with the Design Review Board for this item may approach the podium to speak when the Presiding Officer opens the Community Forum and indicate that they would like to do so.

*2. Any interested members of the public desiring to communicate with the Design Review Board for this item may do so via ZOOM: (<https://ZoomRegular.Cityofvallejo.net>), or by phone: Dial (669) 900-6833. Enter Meeting ID: 914 0075 0676#. Press * 9 to digitally raise your hand from the phone. For additional instructions on how to speak remotely during public comment, please visit www.cityofvallejo.net/publiccomment. Please know that in-person speakers will be recognized first.*

7. PUBLIC HEARING

A. PROJECT NAME:

ROLLINGWOOD SUBDIVISION

PROJECT NUMBER:

Development Review (DVR23-0042)
Design Review (DR23-0019)
Landscape Review (LR23-0013)
Minor Use Permit (MUP23-0019)
Tentative Map (TM23-0003)

PREPARED BY:

Cesar Orozco, Planning Manager

PROJECT LOCATION:

201 Rollingwood Drive / APNs: 0072-170-050 & -060

PROJECT SUMMARY:

The project consists of a Development Review, Design Review, Landscape Review, Minor Use Permit, and Tentative Map for the development of 130 single-family homes. The project also includes site improvements, new landscaping, new lighting throughout the site, and a pedestrian path. The Design Review Board only has purview over the Design Review and Landscape Review.

RECOMMENDATION:

Staff recommend that the Design Review Board open the public hearing, accept comments, and then continue the item to November 14, 2024.

B. PROJECT NAME:

WISE VALLEJO AUTO COMPLEX

PROJECT NUMBER:

Design Review (DR23-0014)
Development Review (DVR23-0032)
Landscape Review (LR23-0006)
Minor Use Permit (MUP23-0014)
Parcel Map (PM23-0004)
Variance (VAR23-0003)
Exception (EXC24-0005)

PREPARED BY:

Laura Solomon, Associate Planner

PROJECT LOCATION:

500 Redwood Street / APN: 0051-010-320

PROJECT SUMMARY:

The project consists of a Design Review, Development Review, Landscape Review, Minor Use Permit, Parcel Map, Variance and Exception, to subdivide a 12.45-acre parcel into three parcels and develop one of the lots into an auto dealership. The proposed auto dealership includes a new 24,963 square foot building and a detached 1,437 square-foot car wash. The project also includes a total of 37,792 square feet of new landscaping frontage improvements along Sonoma Boulevard and 199 off-street parking spaces. The Design Review Board only has purview over the Design Review and Landscape Review.

RECOMMENDATION:

Staff recommends that the Design Review Board adopt a resolution recommending that the Planning Commission approve Design Review (DR23-0014) and, Landscape Review (LR23-0006), for the overall design and

landscaping improvements for the proposed new auto dealership, subject to the findings contained in the resolution.

8. WRITTEN COMMUNICATIONS

Written communications from the public will be received and filed. Written communications regarding items on the agenda will be noted at the time the item is considered.

9. REGULAR REPORTS

A. SECRETARY'S REPORT

The Secretary may, from time to time, report on items that may be of interest to the Board and general public.

B. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE DESIGN REVIEW BOARD

The Presiding Officer and any Board Member may, from time to time, wish to make certain announcements, request information from staff, and to report on items of activity that may be of interest to the Board and the general public.

C. REPORT OF THE SUBCOMMITTEES – NONE

10. OTHER AGENDA ITEMS - NONE

11. ADJOURNMENT

I, Dalia Vidor, do hereby certify that I have caused a true copy of the above notice and agenda to be delivered to each of the members of the Vallejo Design Review Board, at the time and in the manner prescribed by law and that this agenda was posted at City Hall, 555 Santa Clara Street, CA at 5:00 p.m. on Monday, October 7, 2024.

Dated: October 7, 2024



Dalia Vidor



MINUTES

VALLEJO DESIGN REVIEW BOARD REGULAR MEETING – 7:00 P.M.

Matthew Kennedy,
Chairperson
Micheal Eli
Oskar Lugtu
Jamiah Adams
Daniel Gordon

VIA TELECONFERENCE

July 11, 2024

www.cityofvallejo.net

1. CALL TO ORDER

The meeting was called to order by Chair Kennedy at 7:02 pm

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Board Members Eli, Lugtu and Adams

Staff present: Cesar Orozco, Planning Manager, Kristin Pollot, Planning and Development Services Director and Laura Zagaroli, Assistant City Attorney

Absent: Chair Kennedy and Board Member Gordon

4. APPROVAL OF AGENDA, MINUTES, AND CONSENT CALANDER

a. APPROVAL THE AGENDA

b. June 13, 2024 – Regular Meeting Minutes

c. OTHER CONSENT ITEMS - none

Board member Adams, second by Board Member Lugtu, moved to approve the Agenda, June 13, 2024 -regular meeting Minutes, and the consent calendar, with the following vote:

Vote:

AYES: Board Members Eli, Lugtu and Adams

NOES: None

ABSENT: Chair Kennedy and Board Member Gordon

ABSTAIN: None

5. REPORT OF THE CITY COUNCIL LIASION – None

6. COMMUNITY FORUM - None

7. PUBLIC HEARING

**A. STATE ROUTE 29/ SONOMA BOULEVARD GATEWAY CORRIDOR
IMPROVEMENTS PLAN LIGHTING AND SITE FURNISHING SELECTION.**

Planning Manager Orozco presented the item.

Board Members asked questions and staff responded.

Board Members Eli opened the public hearing.

PUBLIC SPEAKER: None

Board Members Eli closed the public hearing.

The Board deliberated the merits of the project, and a made a recommendation to Cal Trans on the selection of different light types for the Sonoma Boulevard Gateway corridor project.

8. WRITTEN COMMUNICATIONS – None

9. Regular Reports

a. SECRETARY’S REPORT

Secretary Orozco introduced the new Planning and Development Services Director Kristin Pollot and gave an update on staffing and existing requirement.

b. REPORT OF THE PRESIDING OFFICER AND MEMBERS OF THE DESIGN REVIEW BOARD - None

c. REPORT OF THE SUBCOMMITTEES- NONE

10. OTHER AGENDA ITEMS – NONE

11. ADJOURNMENT

Board Members Eli adjourned the meeting at 7:49 pm.

MICHEAL ELI, BOARDMEMBER

ATTEST:

CESAR OROZCO,
SECRETARY TO THE DESIGN REVIEW BOARD



**STAFF REPORT
CITY OF VALLEJO
DESIGN REVIEW BOARD**

I. PROJECT INFORMATION

Item No. 7A

PROJECT NAME:

KB ROLLINGWOOD SUBDIVISION

DATE OF MEETING:

October 10, 2024

PROJECT NUMBER:

Development Review (DVR23-0042)
Design Review (DR23-0019)
Landscape Review (LR23-0013)
Minor Use Permit (MUP23-0019)
Tentative Map (TM23-0003)
Exception (EXC24-0001)

PREPARED BY:

Cesar Orozco, Planning Manager

PROJECT LOCATION:

Vacant Site off Rollingwood Drive / APNs: 0072-170-050 & -060

GENERAL PLAN DESIGNATION:

Mix of Housing Types/Medium Density (R-MH)

ZONING DISTRICT:

Residential Medium Density (RMD)

PROJECT SUMMARY:

The project consists of a Development Review, Design Review, Landscape Review, Minor Use Permit, Exception and Tentative Map for the development of 130 single-family homes. The project also includes site improvements, new landscaping, new lighting throughout the site, and a pedestrian path. The Design Review Board only has purview over the Design Review and Landscape Review.

RECOMMENDATION:

Staff recommend that the Design Review Board adopt Resolution recommending approval of Design Review (DR23-0042) and Landscape Review (LR23-0013) to the Planning Commission.

APPLICANT:

KB Home North Bay, LLC

PROPERTY OWNER:

Vallejo City Unified School District

II. PROJECT DESCRIPTION

On September 26, 2024, pursuant to VMC Section 16.602.08 – Noticing, a noticed was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject site for the upcoming Design Review Board meeting. Unfortunately, the notice of the hearing was not digitally sent to the members of the Design Review Board.

III. STAFF RECOMMENDATION

Based on the information provided, staff recommends the Design Review Board continue the public hearing to November 14, 2024.



**STAFF REPORT
CITY OF VALLEJO
DESIGN REVIEW BOARD**

I. PROJECT INFORMATION

Item No. 7B

PROJECT NAME:

WISE VALLEJO AUTO COMPLEX

DATE OF MEETING:

October 10, 2024

PROJECT NUMBER:

Design Review (DR23-0014)
Development Review (DVR23-0032)
Landscape Review (LR23-0006)
Minor Use Permit (MUP23-0014)
Parcel Map (PM23-0004)
Variance (VAR23-0003)
Exception (EXC24-0005)

PREPARED BY:

Laura Solomon, Associate Planner

PROJECT LOCATION:

500 Redwood Street / APN: 0051-010-320

GENERAL PLAN DESIGNATION:

Business / Limited Residential (B/LR)

ZONING DISTRICT:

Central Commercial Corridor (CC)

PROJECT SUMMARY:

The project consists of a Design Review, Development Review, Landscape Review, Minor Use Permit, Parcel Map, Variance, and Exception to subdivide a 12.45-acre parcel into three parcels and develop one of the lots into an auto dealership. The proposed auto dealership includes a new 24,963 square foot building and a detached 1,437 square-foot car wash. The project also includes a total of 37,792 square feet of new landscaping frontage improvements along Sonoma Boulevard and 199 off-street parking spaces. The Design Review Board only has purview over the Design Review and Landscape Review.

RECOMMENDATION:

Staff recommends that the Design Review Board adopt a resolution recommending that the Planning Commission approve Design Review (DR23-0014) and, Landscape Review (LR23-0006), for the overall design and landscaping improvements for the proposed new auto dealership, subject to the findings contained in the resolution.

APPLICANT:

Goree Whitfield

PROPERTY OWNER:

Yanni Limited, LLC

II. PROJECT DESCRIPTION

A. Background

The project site was formerly developed as a commercial complex with a Kmart; however, following closure of the Kmart, no other businesses moved into the complex and the facility was subsequently demolished in 2004, per DM04-0009. The site has remained vacant since that time.

On November 28, 2022, Goree Whitfield, the applicant, submitted a preliminary review application to request feedback from City staff on a concept plan to develop the vacant site as an automotive dealership complex. On February 14, 2023, Staff sent a letter to the applicant, providing information on relevant General Plan 2040 policies, zoning code regulations, and development review procedures as they would apply to the project upon formal submittal.

On June 22, 2023, the applicant formally submitted for a Design Review, Development Review, Landscape Review, Minor Use Permit, Parcel Map, Variance and Exception, to subdivide an existing 12.45 vacant parcel and develop three auto dealerships. The project plans were routed to various agencies for their review and the city determined the application to be complete on September 20, 2024.

On September 30, the applicant requested a modification to the application to reduce the scope of the project. The revised scope would subdivide the vacant parcel into three lots, but propose the development of only one auto dealership and a car wash, instead of the three dealerships originally proposed.

Location and Land Use Context

The project site is located between Sonoma Boulevard and Redwood Street and is surrounded by existing commercial uses. The subject site is bounded to the north by a commercial complex and vacant land. To the east of the site is Sonoma Boulevard and commercial retail center on the other side. To the south is a cannabis retail sales, a vacant parcel and Redwood Street. To the west of the site is a commercial complex and the White Slough area.

Interstate 80 (I-80) is approximately 1.5 miles to the east and State Route 37 (SR 37) is approximately 0.75 mile North and Sonoma Boulevard (State Route 29) is adjacent to the east of the project site. Each provides regional access while both Sonoma Boulevard and Redwood Street provide direct access to the project site. The immediate vicinity of the project site is characterized by existing commercial uses (see Figure 1 in Attachment 4). The site's General Plan 2040 Land Use Designation is Business/ Limited Residential (B/LR) and is implemented by Zoning District of Central Commercial Corridor (CC).

B. Project Description

The proposed project consists of a Design Review, Development Review, Landscape Review, Minor Use Permit, Parcel Map, Variance, and an Exception to subdivide an existing 12.45 vacant parcel into three parcels and develop one site with a new automotive dealership. As proposed, Parcel A would

have a total area of 4.46-acres, Parcel B would have a total area of 4.17-acres, and Parcel C would have a total area of 3.64-acres. Parcel A and C would be left vacant with future uses undetermined at this time; however, Parcel B would be developed into a 24,963 square-foot auto dealership for the “Hyundai” automotive brand. The auto dealership is proposed to have 6,672 square feet of the building dedicated to the showroom and customer focus area, 787 square feet of general office space, 13,310 square feet for 16 service bays and service reception, and 4,194 square feet for the parts department and parts mezzanine. Additionally, a 1,437 drive-through car wash would be installed solely for the use of the dealership.

The project also includes a total of 37,792 square feet of new landscaping throughout the site; frontage improvements along Sonoma Boulevard which would include repair and replacement of sidewalk, curb and gutter (as needed), new trash receptacles, benches and street lighting; a 448 square-foot trash enclosure; lighting throughout the site; short term and long term bicycle parking; and 294 off-street parking spaces for customers, employees and storage of vehicles (see Figure 2 in Attachment 4).

III. STAFF ANALYSIS

Required Permits

The project requires the following approvals under the Vallejo Municipal Code (VMC): Design Review¹ and Landscape Review² for commercial development greater than 5,000 square feet and new landscaping. The Design Review Board is requested to make a recommendation to the Planning Commission on the overall design and landscaping. The Development Review³ and Variance⁴ require Planning Commission action for the development of the auto dealership and the requested increased front setback of the main building. Also, the Minor Use Permit⁵, Exception⁶ and Parcel Map⁷ for the subdivision of the site, car wash, and the overall length of the building, would typically be considered director level approvals; however, because the project includes other higher-level entitlements, the Planning Commission would make the final decision on these requests.

As noted above, the Planning Commission will refer to the recommendation of the Design Review Board for the Design Review and Landscape Review in its action on those entitlements and they will act on the Development Review, Variance, Minor Use Permit, Parcel Map, and Exception entitlements directly. In addition to these entitlements, this project would also require a building permit(s) from the City of Vallejo.

General Plan Consistency

The General Plan 2040 Land Use Designation for the subject property is Business/ Limited Residential (B/LR). The General Plan characterizes this designation as follows:

The B/LR designation is intended to facilitate high quality employment-based businesses, including professional office; health care and life sciences; research and development; production, distribution, and repair (PDR); and light industrial, manufacturing and similar uses conducted primarily inside of buildings. A mix of lot sizes is encouraged to accommodate small businesses as well as larger campus style uses. Restaurants, retail stores, automotive services, personal and business services, hotels, and recreational facilities that cater to the needs of businesses, employees, and residents of the surrounding

¹ VMC Chapter 16.604 – Design Review

² VMC Chapter 16.504 – Landscaping

³ VMC Chapter 16.605 – Development Review

⁴ VMC Chapter 16.607 – Variance

⁵ VMC Chapter 16.606 – Minor and Major Use Permits

⁶ VMC Chapter 16.602 – Exception

⁷ VMC Chapter 15.14 – Parcel Map

area are accommodated in the B/LR designation. Residential-only or mixed-use projects containing a residential component are also accommodated, providing that findings of compatibility can be made. The maximum permitted FAR in the B/LR designation is 2.0, with minimum residential density of 25 dwelling units per acre up to 50 dwelling units per acre.

The project is consistent with the B/LR land use designation in that it incorporates the development of an automotive dealership providing automotive services for the needs of local residents and residents in the surrounding area. The proposed 24,963 square-foot auto dealership has a floor area ratio (FAR) of 0.14, meeting the maximum FAR of 2.0. Additionally, the project is also consistent with applicable General Plan 2040 policies and actions such as Urban Forest, Inviting, Compatible Design, Infill Development, and Energy Efficiency (see Table 1 in Attachment 2 for staff's analysis).

White Slough Specific Plan

The White Slough Specific Area Plan is intended to provide for the protection and enhancement of habitat value, and the improvements of transportation, flood control and other infrastructure facilities. The White Slough area is bounded generally by the Napa River to the west, the California Meadows residential to the north, Sonoma Boulevard (Interstate-80), and makes up about 415-acres to the north and 365 acres to the south. Approximately half of the area is within Vallejo city Limits, while the remaining area is unincorporated within Vallejo's Sphere of influence. The White Slough Specific Plan provides the following five policies:

1. The Department of Fish and Game, Wildlife Conservation Board, State Lands Commission, State Coastal Conservancy and Department of Transportation shall exercise their powers and allocate available resources to acquire, enhance, or manage wetlands and public access areas within the White Slough area in manner consistent with the Plan, subject to statewide goals and priorities.
2. Prior to construction of any improvements to State Route 37, permanent protection of North and South white Slough shall be assured. The term "permanent protection" means sufficient property interest to assure that the land in question will be secured as wetlands and used for wetland purposes.
3. The identification of a project sponsor or sponsors for the habitat enhancement project and project mitigation programs and the development of an acquisition and maintenance program shall be the first priority for implementation of the projects described in this plan. The City, County, Caltrans and VSFCD shall be committed to developing an acquisition and miniatous program in cooperation with State and Federal resources agencies.
4. The implementation of the habitat enhancement, highway improvement, flood control, public access, and sanitary sewer projects will be coordinated as much as possible in terms of design and construction schedules.
5. Acquisition of interests in real property shall be sufficient to preserve and maintain permanently the wetland, tidal, water-covered areas.

The policies of the White Slough Specific Plan are not applicable to the proposed project.

Vallejo Municipal Code Compliance

The project site has a zoning designation of Central Commercial Corridor (CC). The Zoning Code provides the following description for the CC Zoning District:

The CC Zoning District is intended to create and establish regulations for community serving mixed-use areas along the Sonoma Boulevard Central Corridor and areas subject to the Sonoma Boulevard Specific Plan. Land uses include mixed-use with housing, medium and high density residential or non-residential uses at street level, subject to design and development standards to promote a mixed-use and pedestrian orientation.

VMC Table 16.301 – A: Land Use Regulations, states in part that “Auto/Vehicle New Sales” is permitted after obtaining a Minor Use Permit and is subject to the standards found in VMC Chapter 16.308 – Automobile/Vehicle Sales, Leasing and Rentals.

The project is consistent with the applicable development standards in the CC zoning district, such as setbacks, FAR, height, landscaping requirements, etc., as demonstrated in the attached table (see Table 2 in Attachment 2). In addition to the applicable development standards in the CC zoning district, the project is consistent with applicable development standards found in VMC Chapter 16.308 – Automotive/Vehicle Sales, Leasing and Rentals, as demonstrated in the attached table (see Table 3 in Attachment 2).

Discussion

The following comments provide a summary of the staff analysis of the project. They are separated by subject to facilitate the review by the Design Review Board.

Architecture

The architectural design of the proposed dealership would reflect a modern and minimalist style with recessed windows and rooflines. The proposed building is intended to be visually interesting and would be constructed with a variety of high-quality building materials and painted with different colors. Vertical and horizontal façade breaks, and appropriate building massing have been incorporated into the design of the building.

The proposed Hyundai dealership building would be one-story with an overall building height of 26 feet and would be oriented towards the public right-of-way facing Sonoma Boulevard. The car wash structure would have an overall height of 15 feet and be located in the rear half of the site. Exterior materials proposed for the dealership include a mixture of Exterior Insulation Finishing System (EIFS) wall finish with the sandblast stucco finish, to be painted a soft tan with accents of medium brown. The proposed façade along Sonoma Boulevard incorporates an insulating glass system and “Sky-Shaped” Aluminum Composite (ACM) wall panels in medium brown along, with the above stucco finish (see Figures 3 and 4 in Attachment 4). Both exteriors of the car wash and trash enclosure structures would be similar in style to the main structure having the same stucco sandblast finishes of soft tan and medium brown EIFS walls, built of CMU construction. The trash enclosure would also have a standing seam metal roof painted to match the main structure.

Landscaping and Open Space

The proposed landscaping is designed to complement the new buildings and provide transition from the buildings to the public realm. A variety of new drought tolerant shrubs, ground cover and trees totaling 37,792 square feet of new landscaping, would be planted throughout the site to enhance the public realm within the property. The twelve trees proposed include London Planetree and Purple Crape Myrtle which are both found on the City of Vallejo approved tree list. (See Figure 2 in Attachment 4).

As proposed, landscaping islands would be installed throughout the new parking lot with landscaping caps at the end of each row of parking and around the perimeter of the site. To ensure compliance with the VMC Landscape standards, staff is recommending that a condition of approval be added to require at least one 15-gallon tree be installed in each landscaping island and row-end cap, as well as for each 30 linear feet along the side and rear property lines.

Staff is also recommending a condition of approval be added regarding the seven (7) new street trees proposed along Sonoma Boulevard, to ensure coordination with PG&E and Caltrans in the final selection of street tree species for areas below overhead power lines.

Lastly, it should be noted that as part of this project, some existing landscaping and trees on site would be removed; however, the existing trees on the subject site proposed for removal do not meet the minimum dimensions (24-inches in diameter as measured six-inches from the ground) to be considered significant or specimen trees.

IV. NOTICING AND PUBLIC COMMENTS

On September 26, 2024, pursuant to VMC Section 16.602.08(A), notice of this hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property and electronically mailed to the members of the Design Review Board and the applicant.

Staff have not received any comments or questions from the public on the application as of writing this staff report.

V. FINDINGS

Design Review Findings

The Design Review Board is being requested to make a recommendation to the Planning Commission based on the required findings below, in accordance with VMC Section 16.604.03 (B), that the project:

1. Is consistent with the purposes of this chapter, the design policies of the general plan and any applicable specific plan, any adopted applicable design guidelines;
2. Is consistent with any planning and zoning approvals by the director or the planning commission;
3. Complies with any other relevant city policies or regulations; and
4. Meets the following criteria:
 - a. The aesthetic design, including its exterior design and landscaping, is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.
 - b. Project details, colors, materials, and landscaping are fully integrated with one another and used in a manner that is visually consistent with the proposed architectural design.
 - c. The project has been designed with consideration of neighboring development.
 - d. The project contributes to the creation of an attractive and visually interesting built environment that includes well-articulated structures that present varied building facades, rooflines, and building heights and encourages increased pedestrian activity and transit use.
 - e. Street frontages are attractive and interesting for pedestrians, address the street and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.
 - f. The proposed design is compatible with the historical or visual character of any area recognized by the city as having such character.

- g. The aesthetic design preserves significant public views and vistas from public streets and open spaces and enhances them by providing areas for pedestrian activity.
- h. The proposed landscaping plan is suitable for the type of project and will improve the appearance of the community by enhancing the building, minimizing hardscape and softening walls; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Vallejo's climate.
- i. The project has been designed to be energy efficient including, but not limited to, landscape design and green or eco-friendly design and materials.
- j. The project design protects and integrates natural features including creeks, open space, significant vegetation, and geologic features.

Staff believes all the applicable design review findings above can be made for the proposed project. The findings and recommended statements of fact are incorporated into the attached resolution (see Attachment 1 of this report).

VI. CONCLUSION / STAFF RECOMMENDATION

Based on the analysis contained in this staff report, staff recommends that the Design Review Board make a recommendation to the Planning Commission to APPROVE Design Review (DR23-0004) and Landscape Review (LR23-0001), based on the findings provided in the attached resolution.

VII. LEVINE ACT: GOVERNMENT CODE 84308

This item is subject to the Levine Act. City elected and appointed officials, including candidates for City elected office, (City Officers) who have received a campaign contribution of more than \$250 within 12 months prior from a party, participant, or their representatives involved in this proceeding may do either of the following: (1) disclose the contribution on the record and recuse themselves from this proceeding; OR (2) return the portion of the contribution that exceeds \$250 within 30 days from the time the elected official knew or should have known about the contribution and participate in the proceeding.

All parties, participants, and their representatives must disclose on the record of this proceeding any contribution of more than \$250 made to the City Officers, such as the mayor and/or Councilmembers, within 12 months prior to the date of the proceeding. City Officers are prohibited from accepting, soliciting, or directing a contribution of more than \$250 from a party, participant, or their representatives during a proceeding and for 12 months following the date a final decision is rendered.

VIII. ATTACHMENTS

- 1. DRB Resolution
- 2. Tables
- 3. Project Plans
- 4. Images and Material Sample Board

Approved as to form:

ATTACHMENT 1

By:  for
Veronica A.F. Nebb
City Attorney

CITY OF VALLEJO DESIGN REVIEW BOARD

RESOLUTION NO. DRB 24-__

**A RESOLUTION RECOMMENDING APPROVAL TO THE PLANNING COMMISSION
OF DESIGN REVIEW (DR23-0014) AND LANDSCAPE REVIEW (LR23-0006) FOR
THE WISE VALLEJO AUTO COMPLEX AT 500 REDWOOD STREET
(APN: 0051-010-320)**

I. GENERAL FINDINGS

WHEREAS, On November 28, 1995, the Vallejo City Council approved the White Slough Specific Area Plan to provide for the protection and enhancement of habitat value, and the improvements of transportation, flood control and other infrastructure facilities; and

WHEREAS, on August 29, 2017, the City Council adopted General Plan 2040; and

WHEREAS, the Project has a General Plan 2040 land use designation of Business/Limited Residential; and

WHEREAS, on July 22, 2021, the City Council adopted a new Zoning Code and Zoning Map; and

WHEREAS, the Project is located in the Central Corridor Commercial Zoning District; and

WHEREAS, on June 22, 2023, Goree Whitfield formally submitted an application for a Design Review, Development Review, Landscape Review, Minor Use Permit, Parcel Map, Variance, and Zoning Compliance, to subdivide an existing 12.45 vacant parcel into three parcels (Parcels A, B, and C) and to develop the site with three new automotive dealerships at 500 Redwood Street (APN: 0051-010-320); and

WHEREAS, on September 20, 2024, the application for the project was determined to be complete for processing; and

WHEREAS, on September 26, 2024, pursuant to Vallejo Municipal Code (VMC) Section 16.602.08(A), notice of this hearing was published in the Times Herald and mailed to all active neighborhood groups and property owners within 500 feet of the subject property and electronically mailed to the members of the Design Review Board and to the applicant; and

WHEREAS, on September 27, 2024, the applicant revised the application to reduce the scope of the project. The revised scope would subdivide the vacant parcel into three lots, but would develop only one auto dealership with a car wash, instead of the three auto dealerships originally proposed; and

WHEREAS, the Design Review Board is authorized to make a recommendation to the Planning Commission for Landscape Review and Design Review upon referral by the Planning and Development Services Director; and

WHEREAS, on October 10, 2024, the City of Vallejo Design Review Board, after giving all public notices required by State law and the City of Vallejo Municipal Code, conducted a duly noticed public hearing; and

WHEREAS, the Design Review Board considered testimony and evidence, both written and oral, provided at the public hearing, as well as other documents contained in the record of proceedings relating to the project, which are maintained in the offices of the City of Vallejo Planning Division; and

WHEREAS, based on evidence received in the staff report and at the public hearing, the Design Review Board makes the following factual findings:

II. FINDINGS RELEVANT TO THE APPROVAL OF THE DESIGN REVIEW PERMIT (VMC Section 16.604.03.B)

- 1. That the application is consistent with the purposes of this chapter, the design policies of the general plan and any applicable specific plan, any adopted applicable design guidelines.**

Purposes of the Chapter

Establish regulations for an objective process that applies urban design principles to ensure that new construction supports the best of the city's architectural traditions.

Not applicable to this Project.

Encourage new structures that show creativity and imagination, add distinction, interest, and variety to the community, and are environmentally sustainable.

The project would be constructed with a variety of high-quality building materials and painted with simple, earth tone colors. Vertical and horizontal façade breaks and appropriate building massing have been incorporated into the design of the building and would create distinction in the established commercial district. The project would incorporate short and long-term bicycle parking and provide electric vehicle (EV) chargers, to be environmentally sustainable. Additionally, the project would be designed to meet the California Building Code Title 24 (energy efficiency standards) and the Green Building Standards.

Promote architectural and design excellence in new construction and discourage poor quality development.

Exterior materials the dealership would include a mixture of Exterior Insulation Finishing System (EIFS) wall finish with the sandblast stucco finish to be painted a soft tan with accents of medium brown. The façade on Sonoma Boulevard would incorporate an insulating glass system and "Sky-Shaped" Aluminum Composite (ACM) wall panels in medium brown along with the above stucco finish (see Figures 3 and 4 in Attachment 4). Overall, the project would use high-quality, long-lasting material which promotes architectural excellence through new construction and will discourage poor quality development on adjacent vacant parcels.

Ensure that future development should:

- a. Reflect the values of the community.**
- b. Enhance the surrounding environment.**

- c. **Visually harmonize with its surroundings and not unnecessarily obstruct scenic views; and**
- d. **Avoid nostalgic misrepresentations that may confuse the relationships among structures over time.**

The project proposes infill development of an underutilized vacant site, which is consistent with Policy NBE-2.5 in the General Plan. The project would enhance the surrounding environment by adding new landscaping and street frontage improvements while not unnecessarily obstructing scenic views.

Ensure that decisions on housing development projects are based on objective design standards as required by the State Housing Accountability Act (Government Code Section 65589.5).

Not applicable to this Project.

Provide for new landscaping to create a visually pleasing setting for structures on the site.

The project includes a total of 37,792 square feet of new drought tolerant landscaping throughout the site. The trees proposed include London Planetree and Purple Crape Myrtle, which are both found on the City of Vallejo approved tree list. As proposed, landscaping islands would be installed throughout the new parking lot with landscaping caps at the end of each row of parking and around the perimeter of the site. Staff has determined that the new landscaping would create a visually pleasing setting.

To ensure compliance with the VMC Landscape standards, staff is recommending that a condition of approval be added to require at least one 15-gallon tree be installed in each landscaping island and row-end cap, as well as for each 30 linear feet along the side and rear property lines.

Staff is also recommending a condition of approval be added regarding the seven (7) new street trees proposed along Sonoma Boulevard, to ensure coordination with PG&E and Caltrans in the final selection of street tree species for areas below overhead power lines.

Lastly, it should be noted that as part of this project some existing landscaping and trees on site would be removed; however, the existing trees on the subject site proposed for removal do not meet the minimum dimensions (24-inches in diameter as measured six-inches from the ground) to be considered significant or specimen trees

Promote the protection and retention of landmark, native, and specimen trees and if feasible mature canopy trees and other significant landscaping of aesthetic and environmental value.

Not applicable, as noted above the existing trees proposed for removal do not meet the minimum dimensions (24-inches in diameter as measured six-inches from the ground) to be considered significant or specimen trees

Ensure that the design, quality, and location of signs are consistent with the character and scale of the structures to which they are attached and are visually harmonious with surrounding development.

Not applicable; the applicant has requested signage be reviewed later under a separate Zoning Compliance Review application.

Promote the conservation, enhancement, preservation, and protection of historic resources.

Not applicable; there are no historic resources near this project's location.

Design policies of the General Plan

The project site is designated as Business/Limited Residential (B/LR) on the General Plan Land Use Map. The General Plan 2040 B/LR designation is intended to facilitate high quality employment-based businesses, including professional office; health care and life sciences; research and development; production, distribution, and repair (PDR); and light industrial, manufacturing and similar uses conducted primarily inside of buildings. A mix of lot sizes is encouraged to accommodate small businesses as well as larger campus-style uses. Restaurants, retail stores, automotive services, personal and business services, hotels, and recreational facilities that cater to the needs of businesses, employees, and residents of the surrounding area are accommodated in the B/LR designation.

As proposed, the project is consistent with the B/LR land use designation in that it provides a high-quality employment-based business through the development of automotive services and retail. Additionally, the project is also consistent with applicable General Plan 2040 policies and actions.

- 2. Is consistent with any planning and zoning approvals by the director or the planning commission.**

Not applicable.

- 3. Complies with any other relevant city policies or regulations.**

The project is consistent with the objective development standards in VMC Chapter 16.308 in that the showroom shall be constructed to achieve the minimum required façade height of 15 feet by proposing a height of 18 feet. As proposed the street-facing façade will have transparent glazing of at least 75 percent of the building wall area and no wall will include a continuous horizontal plane for more than 25 feet without an opening. No parking is proposed between the vehicle showroom and Sonoma Boulevard.

The project is consistent with the development standards in VMC Chapter 16.310 in that it does not abut a Residential Zoning District, and all related activities of the car wash facility will be located within an enclosed service building. As proposed, the project meets the minimum landscaping of 15 percent of the site by providing 20.8 percent total landscaping area with planters being surrounded by concrete curbs to preclude motor vehicles from driving across the sidewalk at locations other than access driveways.

- 4. a. The aesthetic design, including its exterior design and landscaping, is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.**

The overall design and landscaping of the project is appropriate to the function of the project and will provide an attractive environment for visitors and the general community. The proposed project will activate and enhance an underutilized vacant site with a new project and landscaping.

- b. Project details, colors, materials, and landscaping are fully integrated with one another and used in a manner that is visually consistent with the proposed architectural design.**

The automobile dealership, car wash and trash enclosure will be constructed with various materials, such as Exterior Insulation Finishing System (EIFS) wall finish with the sandblast stucco finish to be painted a soft tan with accents of medium brown. The façade on Sonoma Boulevard will incorporate an insulating glass system and “Sky-Shaped” Aluminum Composite (ACM) wall panels in medium brown along with the above stucco finish. The project details, colors, materials, and landscaping are integrated with one another in a way that will create a visually consistent proposal.

- c. The project has been designed with consideration of neighboring development.**

The project has been designed with consideration of existing neighboring development in that the materials and colors chosen are neutral in tone and the structure would enhance the currently underutilized vacant parcel. The project also includes appropriate landscaping throughout, and all lighting on the site will be properly screened and directed to point to the ground to avoid unintended light spillage onto neighboring development.

- d. The project contributes to the creation of an attractive and visually interesting built environment that includes well-articulated structures that present varied building facades, rooflines, and building heights and encourages increased pedestrian activity and transit use.**

The proposed building is visually interesting and would be constructed with a variety of high-quality building materials and painted with simple, complementary colors. Vertical and horizontal façade breaks and appropriate building massing have been incorporated into the design of the building. The building features undulation, wall articulation, and materials that are aesthetically pleasing and compatible with other newer developments in the community.

- e. Street frontages are attractive and interesting for pedestrians, address the street and provide for greater safety by allowing for surveillance of the street by people inside buildings and elsewhere.**

The proposed project will activate an underutilized vacant site, by maintaining and enhancing existing street frontage and site improvements to create an attractive street presence for pedestrians and passing motorists.

- f. The proposed design is compatible with the historical or visual character of any area recognized by the city as having such character.**

Not applicable; subject site is not within any historic district of the city.

- g. The aesthetic design preserves significant public views and vistas from public streets and open spaces and enhances them by providing areas for pedestrian activity.**

The project has been designed to preserve the public views and maintain the existing wetlands west of Sonoma Boulevard. Additionally, the project will enhance the surrounding environment by adding new landscaping and street frontage improvements, while not unnecessarily obstructing scenic views.

- h. **The proposed landscaping plan is suitable for the type of project and will improve the appearance of the community by enhancing the building, minimizing hardscape and softening walls; and the landscape plan incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with Vallejo's climate.**

The proposed landscaping, including trees, shrubs and ground covering, has been designed to improve the appearance of an underutilized site and minimize hardscape. The landscaping incorporates plant materials that are drought-tolerant, will minimize water usage, and are compatible with City of Vallejo's climate.

- i. **The project has been designed to be energy efficient including, but not limited to, landscape design and green or eco-friendly design and materials.**

As required by the California Building Code, the project has been designed to be energy efficient and will include features such as properly shielded LED lighting installed throughout the site and 2 EV charging stations. Further, the proposed landscaping has been designed to incorporate plant materials that are drought tolerant, consistent with the California Water Efficient Landscaping Standards.

- j. **The project design protects and integrates natural features including creeks, open space, significant vegetation, and geologic features.**

Not applicable; other than the existing wetland west of Sonoma Boulevard which the project layout avoids, there are no natural features including creeks, open space, significant vegetation, and geologic features are on the subject site.

NOW, THEREFORE, LET IT BE RESOLVED that the Design Review Board hereby recommends that the Planning Commission **APPROVE** Design Review (DR23-0014) and Landscape Review (LR23-0006) based on the above findings and with the following conditions:

1. At least one 15-gallon tree shall be installed in each landscaping island and row-end cap, as well as for each 30-linear feet along the side and rear property lines.
2. The applicant shall coordinate with PG&E and Caltrans to determine appropriate street trees species for planting below the overhead power lines.

PASSED AND ADOPTED at a regular meeting of the Design Review Board of the City of Vallejo, State of California, on the 10th day of October 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

MATTHEW KENNEDY, CHAIRPERSON

City of Vallejo Design Review Board

Attest:

CESAR OROZCO, SECRETARY
City of Vallejo Design Review Board

Attachment 2 - Tables

Key policies and actions relevant to the project are shown in **bold**, followed by staff's analysis in *italic* (See table 1):

Table 1 – General Plan 2040 Policies and Actions	
Policies and Actions	Staff's Analysis
Policy NBE-1.8: Urban Forest. Encourage planting of street trees and landscaping to beautify the city, encourage walking and biking and create a stronger sense of identity.	<i>The project involves the planting of many trees, shrubs, and groundcovers contributing to the beautification of Vallejo and the cultivation of an urban forest. The construction of sidewalk improvements along the new commercial buildings will contribute to the pedestrian realm within the subject site.</i>
Policy NBE-2.3: Inviting, Compatible Design. Promote attractive development that is compatible with surrounding uses.	<i>The project architecture is of a high quality that unifies the buildings of the proposed development with a variety of materials and architectural features that break up the expanse of wall unarticulated planes.</i>
Policy NBE-2.8: Infill Development. Promote infill development targets vacant and underutilized sites for community-desired and enhancing uses that is compatible with surrounding uses.	<i>The project would result in the development of new commercial buildings on a currently vacant parcel enhancing this underutilized site in the community and is compatible with surrounding uses.</i>
Policy NBE-1.15: Energy Efficiency: Support measures to reduce energy consumption and increase energy efficiency in residential, commercial, industrial, and public buildings.	<i>The project shall be required to comply with standards set in California Building Code (CBC) Title 24, which would minimize the wasteful, inefficient, or unnecessary consumption of energy resources during operation. California's Green Building Standards Code (CBC Title 24, Part 11) requires implementation of energy efficient light fixtures and building materials into the design of new construction projects. The project includes sustainable and energy-efficient features and electric vehicle (EV) chargers, each provided at or exceeding City requirements.</i>

Attachment 2 - Tables

Table 2 –Central Corridor Commercial Development Standards (VMC Chapter 16.204)			
Code Section	Development Standard	Proposal	Compliant
Table 16.204-A: Minimum Lot Size (sq. ft.)	50 ft.	210.04 ft.	Yes
Table 16.204-A: Minimum Lot Width	50 ft.	210.04 ft.	Yes
Table 16.204-A: Maximum Non-Residential Floor Area Ration (FAR)	3.0	0.14	Yes
Table 16.204-A: Maximum Height (ft.)	8 stories	26 feet (1 story)	Yes
Table 16.204-A: Street Frontage	0 or 10 when adjacent to Residential District	40	Variance requested due to FEMA requirements of site
Table 16.204-A: Interior Side	5 or 10 when adjacent to Residential District	56 feet	Yes
Table 16.204-A: Rear	5 or 10 when adjacent to Residential District	315 feet 6 inches	Yes
Table 16.204-A: Ground Floor non-residential Use	15 ft.	21 ft.	Yes
Table 16.204-A: Ground Floor Ceiling Height, Non-Residential Uses	12 ft.	15 ft.	Yes
Table 16.204-A: Minimum Amount of Landscaping (% of Site)	20% (Total of 43,647 sq. ft.)	20.8% (37,792 sq. ft.)	Yes
Table 16.204-A: Street Trees (ft. frontage)	1 per 30 ft. of frontage 210.04 ft. frontage = 7 street trees	0	Staff is asking DRB to recommend 7 Crape Myrtle trees be installed at back of landscaping area, behind bioretention basin, outside of 10 foot PG&E pipeline easement.
VMC Section 16.204.03 (C.1) – Pedestrian Entrances and Paths.	All non-residential activities located at the street level shall provide one direct at grade entrance from the public right-of-way for each street frontage exceeding 50 feet.	A pedestrian path leading to the restaurant entrance is provided from Sonoma Boulevard.	Yes
VMC Section 16.204.03 (E) - Street Preservation	Existing public right-of-way shall be preserved.	No public right-of-way is being eliminated	Yes

Attachment 2 - Tables

VMC Section 16.204.03 (F) – Frontage Improvements	New Development shall provide street frontage improvements	The existing public improvements such as drainage, and sidewalk, curb and gutter Sonoma Boulevard are identified to the protected during the construction process.	Yes
VMC Section 16.204.03 (G) – Building Orientation and Entrances	Buildings shall be oriented to face public streets; building shall be generally parallel to streets	Building is oriented to face Sonoma Boulevard	Yes
VMC Section 16.204.03 (H) – Building Transparency	Exterior walls facing and within twenty feet of a front or street side property line shall include windows, glass doors, or other openings for at least sixty percent of the building wall area located between 2.5 and seven feet above the level of the sidewalk.	The building façade which is 40 feet from right-of-way line of Sonoma Boulevard, is designed with a least five (5) contrasting building materials, decorative wall panels and an insulated window system.	Yes

Table 3 –Automobile/Vehicle Sales, Leasing and Rentals Development Standards (VMC Chapter 16.308)			
Code Section	Development Standard	Proposal	Compliant
VMC Section 16.308.02 (A) - Showrooms	1. Maximum Setback. Showrooms shall be located no farther than fifteen feet from the property lines facing any boulevard and shall occupy at least sixty percent or one hundred feet, whichever is greater, of the site frontage along such boulevards.	40 ft.	Variance requested due to FEMA requirements of site.
	2. Treatment of Setbacks. If a setback is provided along any street frontage, the setback area (any area between building and sidewalk) shall be landscaped or improved as an extension of the public sidewalk to include pedestrian amenities. This requirement applies to all portions of a street-facing setback area that are not used for driveways or other accessways.	30-foot landscaping strip provided within front setback area	Yes
	3. Façade Height. Showrooms shall be constructed to achieve at least the minimum required facade height of the zoning district in which they are located.	15 ft.	Yes
	4. Transparency. Street-facing facades fronting major arterials or corridors shall have transparent glazing that provides views into display and sales areas. Transparent windows or doors shall be provided for at least seventy-five percent of the building wall area located between 2.5 and seven feet above the level of the sidewalk. No wall may run in a continuous horizontal plane for more than twenty-five feet without an opening.	The building façade which is 40 feet from right-of-way line of Sonoma Boulevard, is designed with a least five (5) contrasting building materials, decorative wall panels and an insulated window system.	Yes
VMC Section 16.308.02 (B) – Location of Required Parking and Storage	Parking and vehicle storage shall be located behind the street frontage or in a garage structure	All parking is located behind the street frontage.	Yes

Attachment 2 - Tables

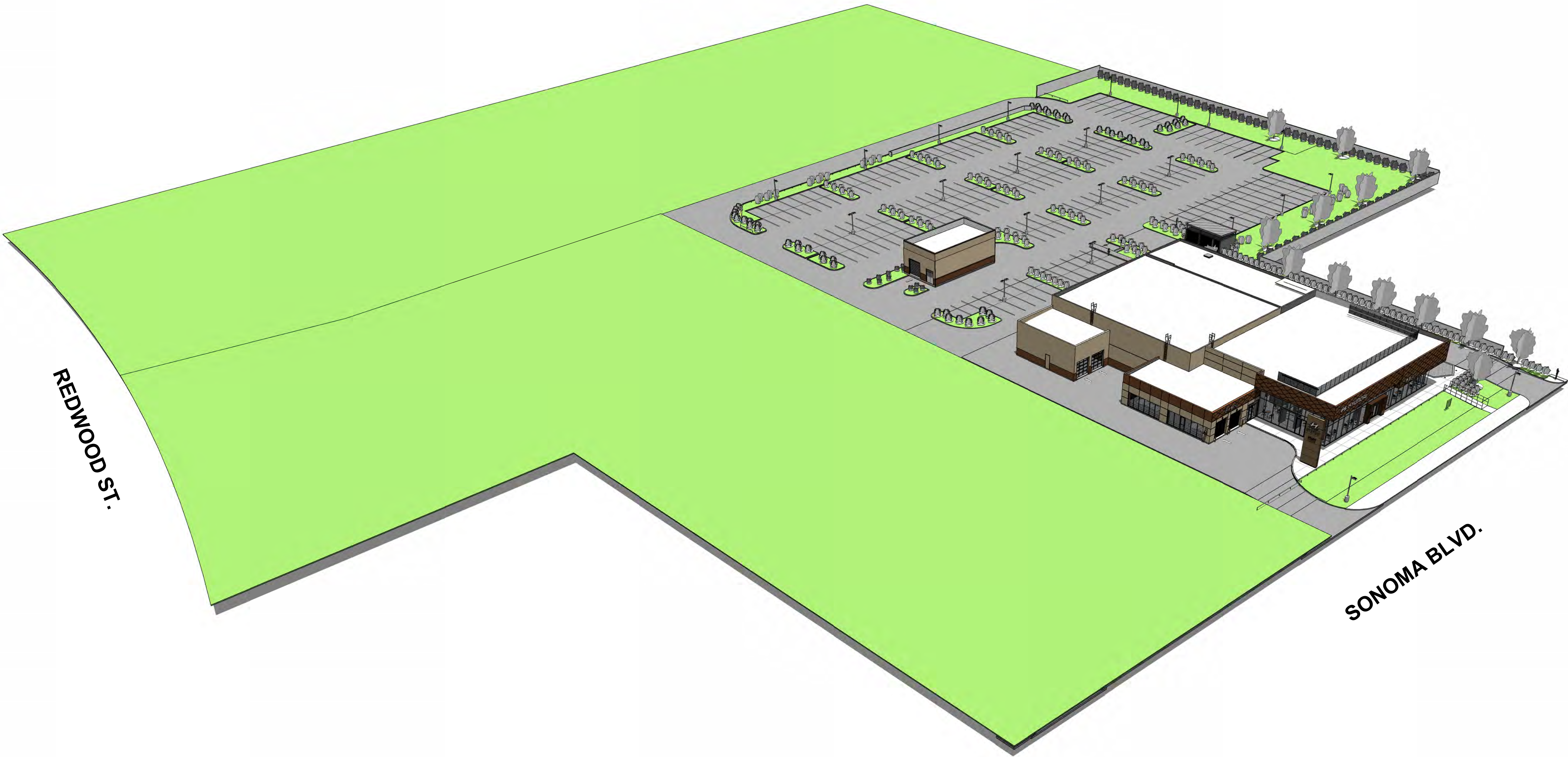
	that complies with the applicable requirements of Chapter 16.508, Off-Street Parking and Loading. Parking and vehicle storage may not be located between a vehicle showroom and any adjacent street.	Parking and vehicle storage is not located between vehicle showroom or any adjacent street.	
VMC Section 16.308.02 (C) – Transition Requirements Adjacent to Residential Zoning Districts.	Where an automobile/vehicle sales and leasing use is adjacent to a residential zoning district, minimum Setbacks, Landscaping and Screening standards apply.	Project is not adjacent to a residential zoning district	Yes
VMC Section 16.308.02 (D) – Screening	All outdoor areas used in conjunction with the business shall be screened in compliance with the requirements of Chapter 16.505, Fences, Walls and Screening.	Outdoor vehicle storage has been adequately screened from the public right of way and adjacent parcels.	Yes
VMC Section 16.308.02 (E) – Parking, Vehicle Storage, and Display. Parking structures and automobile storage uses associated with an automobile/vehicle sales and leasing business permitted to maintain inventory on the same site shall comply with the following development and design standards:	1. Customer parking shall comply with all standards of Chapter 16.508 , Off-Street Parking and Loading.	Customer parking area is separated from the exterior wall by a walkway a minimum of four feet in width and is paved to avoid dust, mud and standing water with each parking space clearly striped with paint or similar distinguishable material.	Yes
	2. Employee and inventory parking may be provided in tandem and is not subject to the minimum parking space and aisle dimensions of Chapter 16.508 , Off-Street Parking and Loading. Final design of all parking and inventory storage areas shall be subject to review and approval by the director.	Inventory parking is provided in tandem	Yes
	3. Parking structures shall comply with the standards found in this section.	No parking structure is proposed as part of this project.	Yes
	4. Lighting. Lighting shall comply with Chapter 16.506, Lighting and Glare. Light sources shall be designed to contain direct and diffuse lighting and glare on the subject property.	Each light fixture will be directed downward and away from adjoining properties and public rights-of-way, so that no on-site light fixture directly	Yes

Attachment 2 - Tables

		illuminates an area off the site.	
	5. Queuing of Vehicles. An adequate on-site queuing area for service customers shall be provided. On-site driveways may be used for queuing but may not interfere with access to required parking spaces. Required parking spaces may not double as queuing spaces.	No queuing of vehicles is proposed or required as part of this project.	Yes
	6. Vehicle Stacking Equipment. Vehicle-stacking equipment is permitted within structures and on surface lots for employee parking and vehicle storage when screened with an eight-foot-high solid masonry wall. The wall shall be set back from the property line at least two feet so that a landscaped buffer of up to two feet in width can be provided. Parking spaces in lifts shall not be applicable in calculating parking requirements. All facilities shall comply with the city's noise ordinance and Section 16.502.10, Noise, of this Zoning Code.	8-foot-high solid masonry wall is proposed at interior property line to screen vehicle storage from adjacent parcel.	Yes
	7. Resource Recovery Storage. Floor area dedicated to employee and customer parking and vehicle storage shall be excluded when applying resource recovery and recycling requirements in Section 16.501.08, Solid Waste, Recycling, and Organic Waste Storage, unless otherwise required by the director of public works in order to protect the public health, safety, and general welfare.	No indoor floor area is dedicated to employee or customer parking. Showroom vehicle storage shall be excluded from resource recovery and recycling requirements in Section 16.501.08, Solid Waste, Recycling, and Organic Waste Storage.	Yes

VALLEJO AUTO COMPLEX

500 REDWOOD ST. VALLEJO, CA 94590



DRAWING INDEX

D000	COVER
D001	EXISTING SITE PLAN
D002	PROPOSED MASTER SITE PLAN
D003	BUILDING LOCATION CONCEPT STUDY
D004	SITE DETAILS
D005	SITE DETAILS
C1.1	PRELIMINARY GRADING & UTILITY PLAN
C1.2	PRELIMINARY GRADING & UTILITY PLAN
C1.3	PRELIMINARY GRADING & UTILITY PLAN
C2.1	PRELIMINARY SITE SECTIONS
C2.2	PRELIMINARY SITE SECTIONS
C3.0	PRELIMINARY STORMWATER CONTROL PLAN
L1.0	RECOMMENDED PLANT, LIST, NOTES AND DETAILS
L1.1	PRELIMINARY LANDSCAPE PLAN
L1.2	PRELIMINARY LANDSCAPE PLAN
L1.3	PRELIMINARY LANDSCAPE PLAN
D100	PROPOSED SITE PLAN
D100A	EXTERIOR RENDER
D101	PROPOSED HYUNDAI PLANS
D110	COMPOSITE DIMENSIONED FLOOR PLANS
D111	COMPOSITE DIMENSIONED FLOOR PLANS - LVL 2
D180	REFLECTED CEILING PLANS
D190	PROPOSED ROOF PLAN
D200	PROPOSED HYUNDAI ELEVATIONS
D300	PROPOSED CAR WASH PLANS
D301	PROPOSED CAR WASH ELEVATIONS
D312	ENTRY ELEMENT & INCLINED COLUMNS

PROJECT DATA

GENERAL PROGRAMMING

SP-2 WHITE SLOUGH / CENTRAL CORRIDOR COMMERCIAL DISTRICTS

PROGRAM TYPE	AHJ REQUIRED UNIT / AREA	PROPOSED UNIT / AREA
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PARCEL A (GROSS: 202,116SF / 4.64 AC.) NO PROPOSED DEVELOPMENT

PARCEL B BUILDING (PARCEL B: GROSS 186,827.01 SF / 4.28 AC.)

TOTAL BUILDING:	N/A	24,963 SF
LANDSCAPING	36,291 SF (20%)	37,792 SF (20.8%)
IMPERVIOUS COVERAGE	145,165 SF (80%)	136,012 SF (75%)
PARKING	21 UNITS	294 UNITS

CAR WASH BUILDING		
TOTAL BUILDING AREA:	N / A	1,437 SF

GRAND TOTAL BUILDING	N / A	26,400 SF (12% OF SITE)
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TOTAL PARKING	42 UNITS	294 UNITS
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TOTAL LANDSCAPE AREA	(20%) OF SITE	69,439 SF (21% OF SITE)
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TOTAL IMPERVIOUS COVER	N / A	256,276 SF (79% OF SITE)
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TOTAL LAND	N / A	325,747 SF = 7.47 AC.
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***CITY OF VALLEJO MUNICIPAL CODE**
TABLE 16.508-B: OFF-STREET PARKING REQUIREMENTS
021 TOTAL SPACES REQUIRED

SHOWROOM SF: 6,672
BUSINESS & ADMIN SF: 787
TOTAL (6,672 + 787) = 7,459 SF
SALES AND LEASING: 1 PER 1000 SQ. FT. = (7,459 SF / 1000 SF) = 8 PARKING SPACES

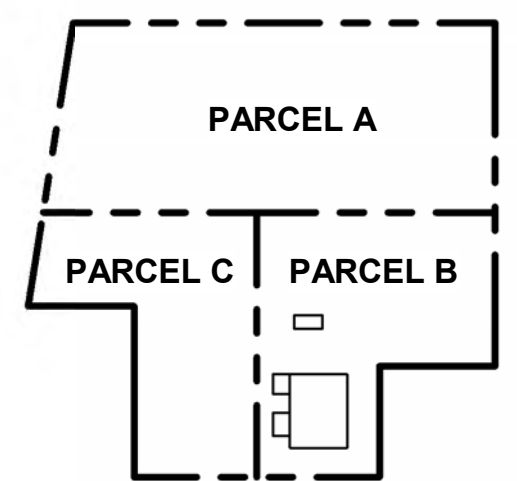
REPAIR AND SERVICE : 2 PER SERVICE BAY OR 1 PER 1000 SQ. FT.
SERVICE SHOP SF: 10,973
SERVICE DRIVE SF: 2,337
TOTAL (10,973 + 2,337) = 13,310
(13,310 SF / 1000 SF) = 13 PARKING SPACES

8 (SALES & LEASING) + 13 (REPAIR & SERVICE) = 21 TOTAL REQUIRED PARKING SPACES

**ALL PARKING SHOWN ARE 9'X18',
WITH 25' MINIMUM TWO WAY DRIVE PER ZONING REQUIREMENT**

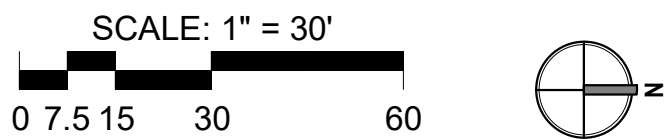
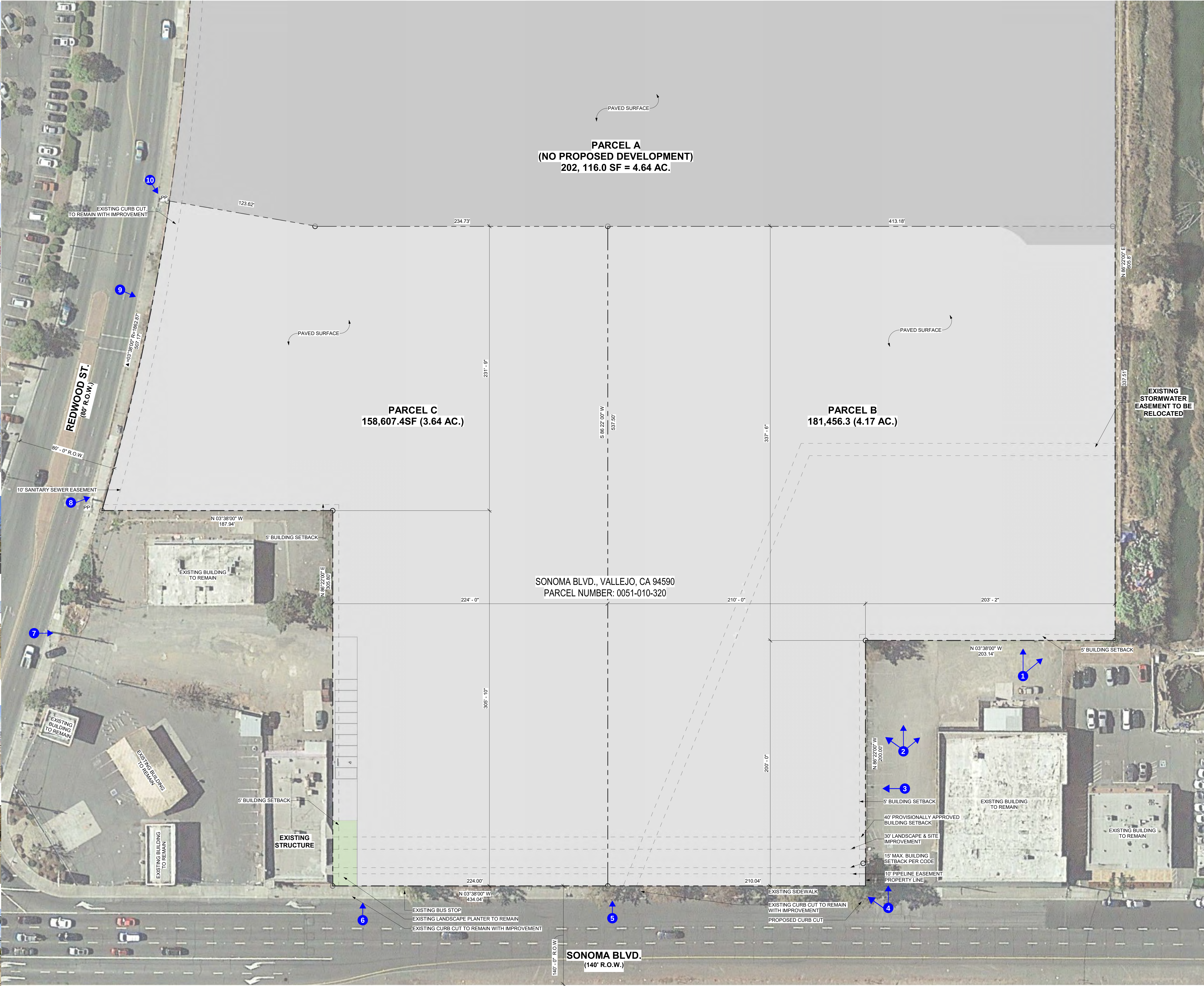
CITY OF VALLEJO MUNICIPAL CODE
TABLE 16.504-A: LANDSCAPE REQUIREMENTS
MIXED-USE AND COMMERCIAL : 20% OF SITE

VICINITY MAP

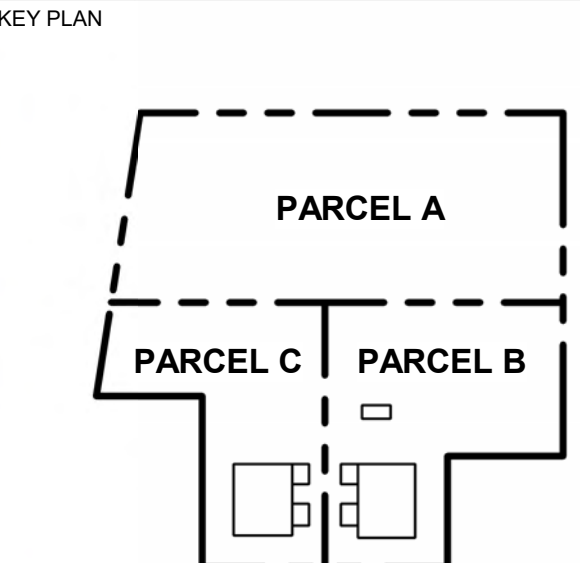


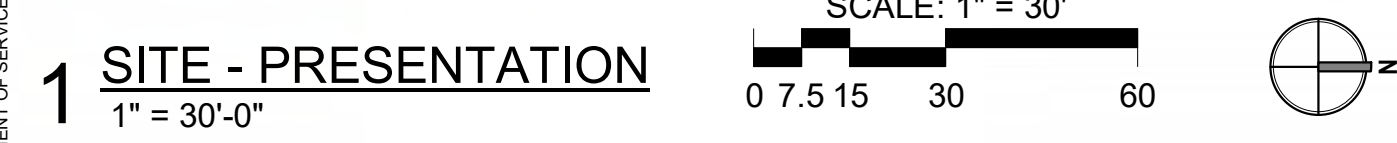


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ISSUE HISTORY		
DATE:	MARK:	DESCRIPTION:
05/10/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		





HYUNDAI SITE DATA (PARCEL B)		
PROGRAM TYPE	AHJ REQUIRED UNIT / AREA	PROPOSED UNIT / AREA
BUILDING		
LEVEL 1 FOOTPRINT	N/A	22,600 SF
LEVEL 2 FOOTPRINT	N/A	2,363 SF
TOTAL BUILDING	N/A	24,963 SF
CAR WASH		
CAR WASH	INCLUDED BELOW	1,437 SF
SITE		
NEW VEHICLE	INCLUDED BELOW	174
USED VEHICLE	INCLUDED BELOW	48
CUSTOMER PARKING	INCLUDED BELOW	21*
EMPLOYEE	INCLUDED BELOW	27
SERVICE	INCLUDED BELOW	24
TOTAL PARKING	21 UNITS*	294 UNITS
TOTAL LAND		
LANDSCAPING	34,796 SF (20%)	37,760 SF (21%)
IMPERVIOUS COVERAGE	N/A	136,217 SF (79%)

PARKING AND LANDSCAPE NOTES			
*CITY OF VALLEJO MUNICIPAL CODE			
TABLE 16.508.B: OFF-STREET PARKING REQUIREMENTS			
021 TOTAL SPACES REQUIRED FOR EACH PARCEL			
SHOWROOM SF: 6,672			
BUSINESS & ADMIN SF: 787			
TOTAL (6,672 + 787) = 7,459 SF			
SALES AND LEASING: 1 PER 1000 SQ. FT. = (7,459 SF / 1000 SF) = 8 PARKING SPACES			
REPAIR AND SERVICE : 2 PER SERVICE BAY OR 1 PER 1000 SQ. FT.			
SERVICE SHOP SF: 10,973			
SERVICE DRIVE SF: 2,337			
TOTAL (10,973 + 2,337) = 13,310			
(13,310 SF / 1000 SF) = 13 PARKING SPACES			
8 (SALES & LEASING) + 13 (REPAIR & SERVICE) = 21 TOTAL REQUIRED PARKING SPACES			
ALL PARKING SHOWN ARE 9'X18',			
WITH 25' MINIMUM TWO WAY DRIVE PER ZONING REQUIREMENT			
CITY OF VALLEJO MUNICIPAL CODE			
TABLE 16.504.A: LANDSCAPE REQUIREMENTS			
REFERENCE LANDSCAPE PLANS			
MIXED-USE AND COMMERCIAL : 20% OF SITE			
EV CHARGER REQUIREMENTS			
PROGRAM TYPE	AHJ REQUIRED PARKING	EV SPACE REQUIREMENTS	PROPOSED EV CHARGERS
SITE			
PARCEL B	21 SPACES REQUIRED	3% OF REQUIRED PARKING = 1 EV CHARGER	2 EV PARKING SPACES

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Interiors | Architecture | Brand

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Houston, Texas 77056
713-660-6102
www.goreearchitects.com

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rak@rakengineers.com

RW STOVER & ASSOCIATES, INC. - LANDSCAPE
Landscape Architect
1620 North Main Street, Suite 4
Walnut Creek, CA 94596
P: 925-933-2583

PROJECT NAME

VALLEJO AUTO COMPLEX

PROJECT DESCRIPTION

NEW MASTER SITE PLAN FOR AUTO COMPLEX

PROJECT ADDRESS

500 REDWOOD ST. VALLEJO, CA 94590

OWNER INFORMATION

Wise Auto Group
Phone: 916-580-8222
jreavis@wiseautogroup.com

GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE

ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024		DEVELOPMENT RESUBMITTAL
07/12/2024	1	DEVELOPMENT RESUBMITTAL

KEY PLAN

SHEET NAME

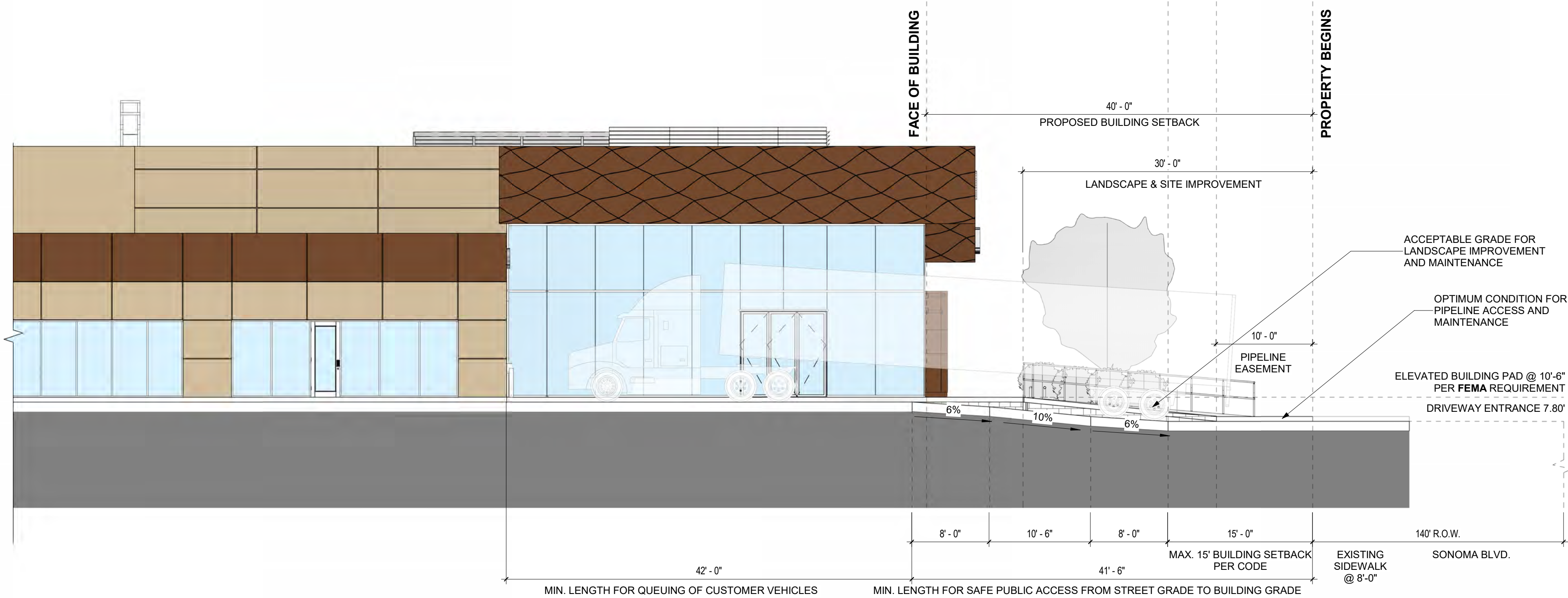
PROPOSED COMPOSITE SITE PLAN

SHEET NUMBER

D002

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1 SITE SECTION - PROPOSED BUILDING LOCATION
1/8" = 1'-0"

CONSULTANTS

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STAMP / SIGNATURE



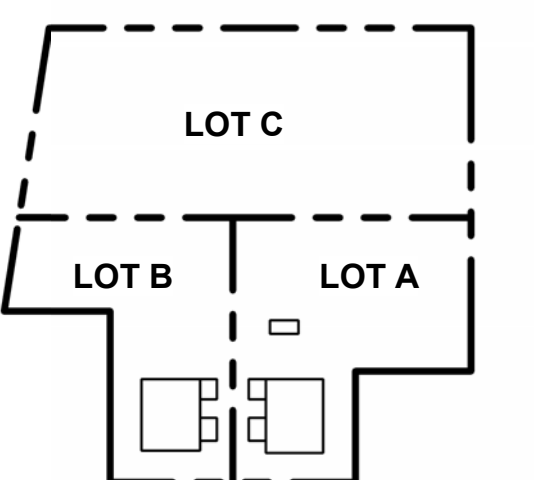
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/10/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN



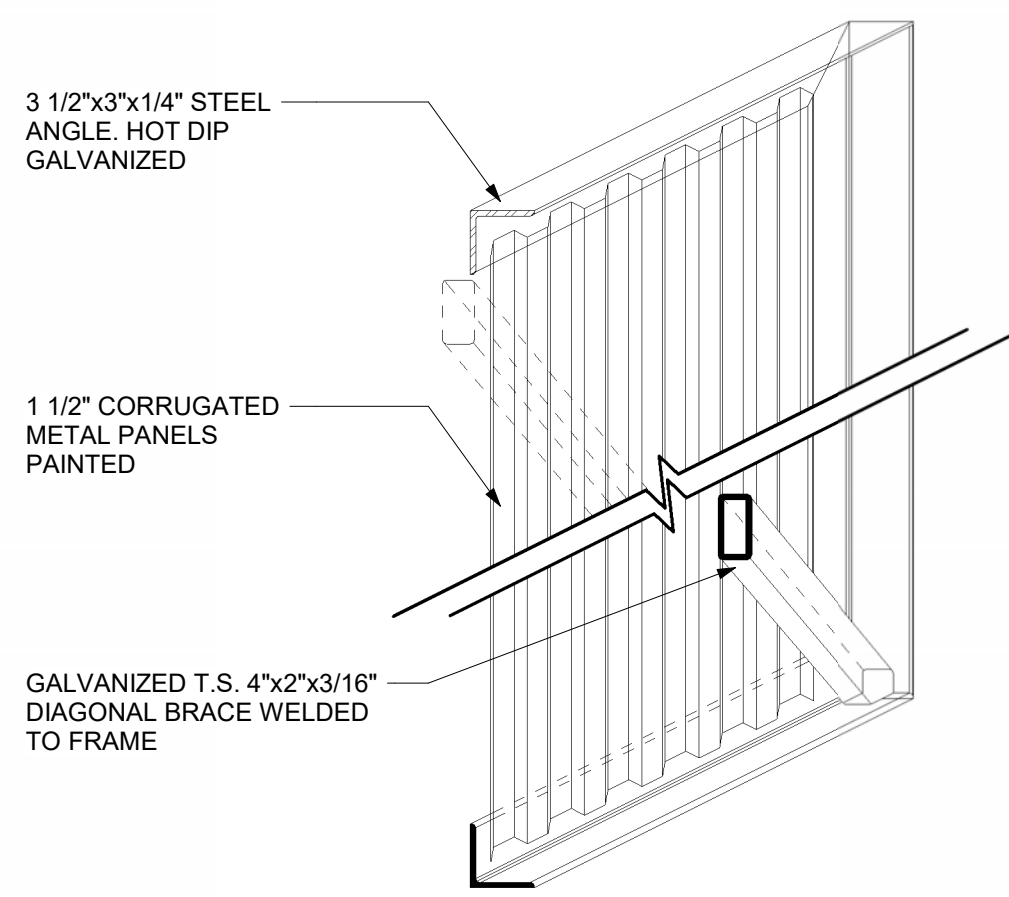
SHEET NAME

BUILDING LOCATION CONCEPT STUDY

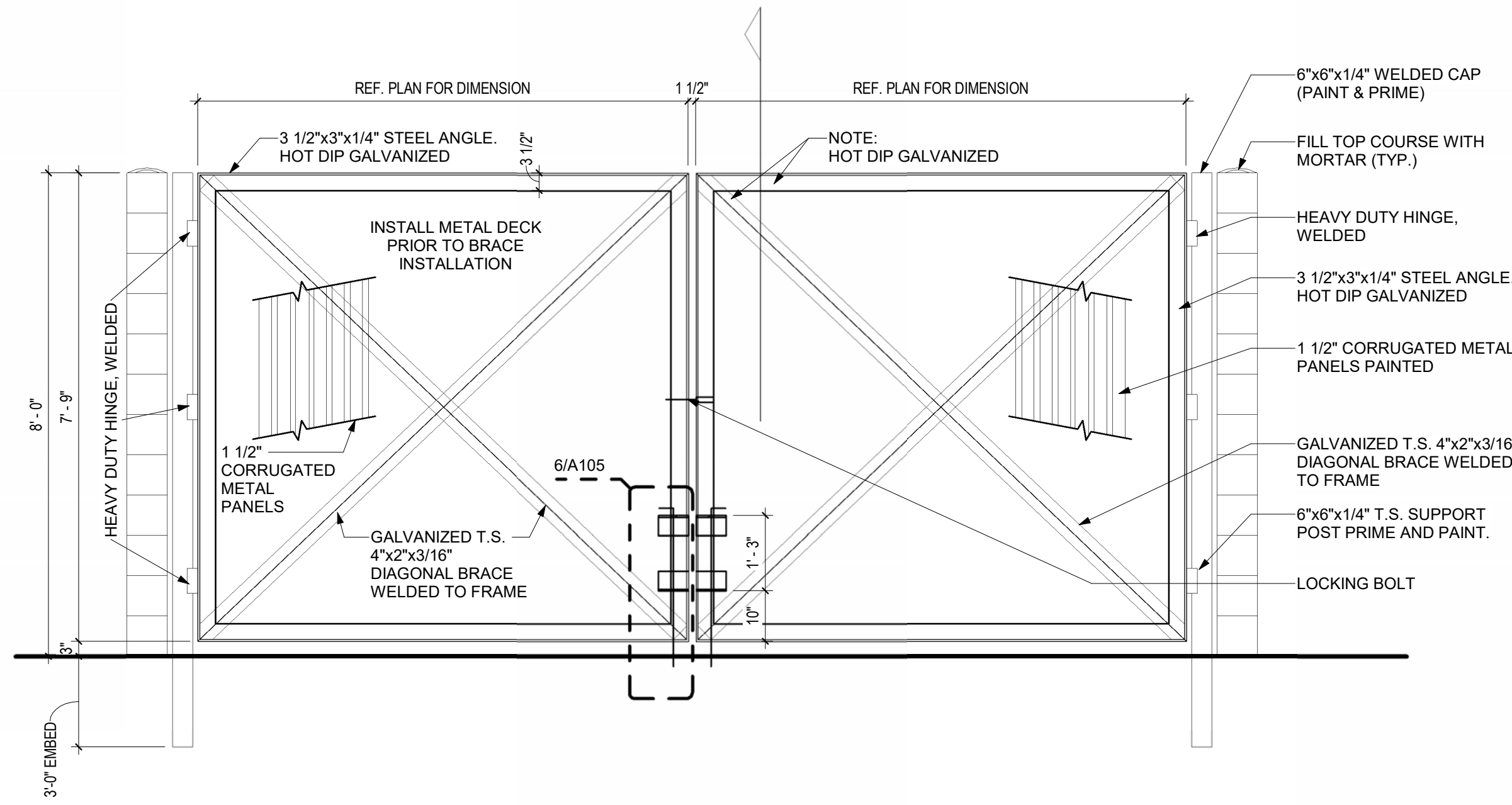
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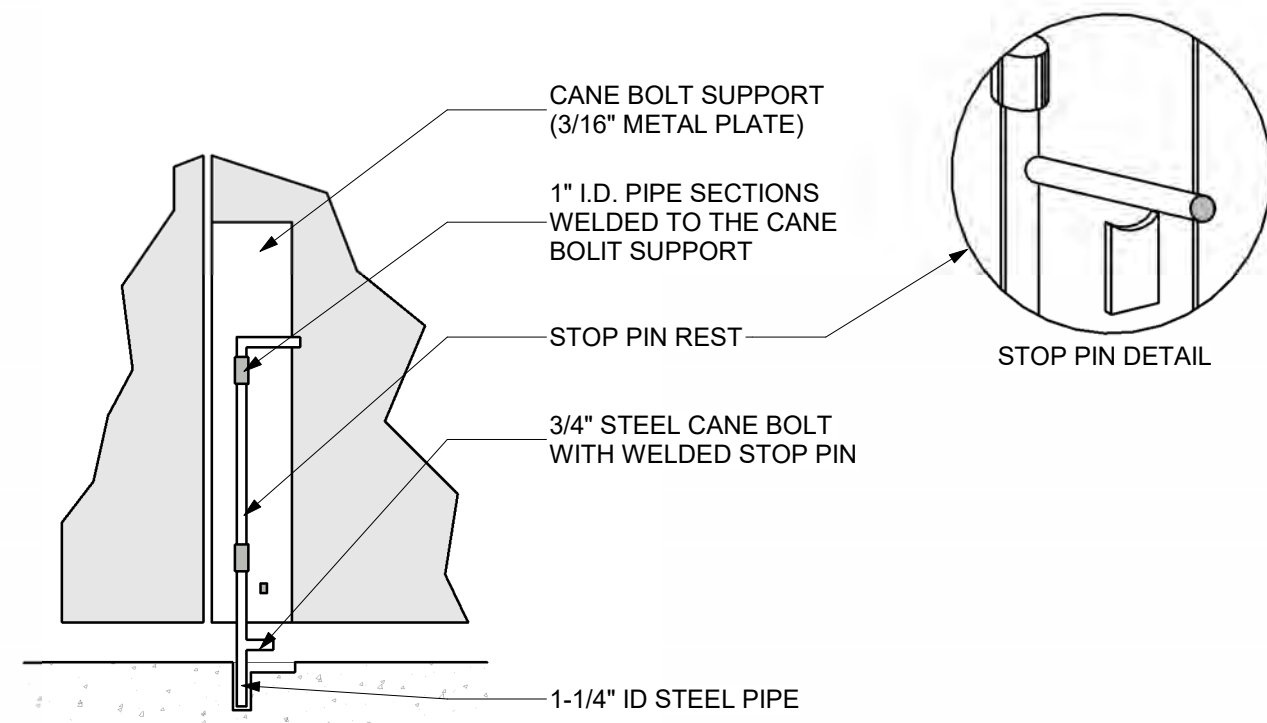
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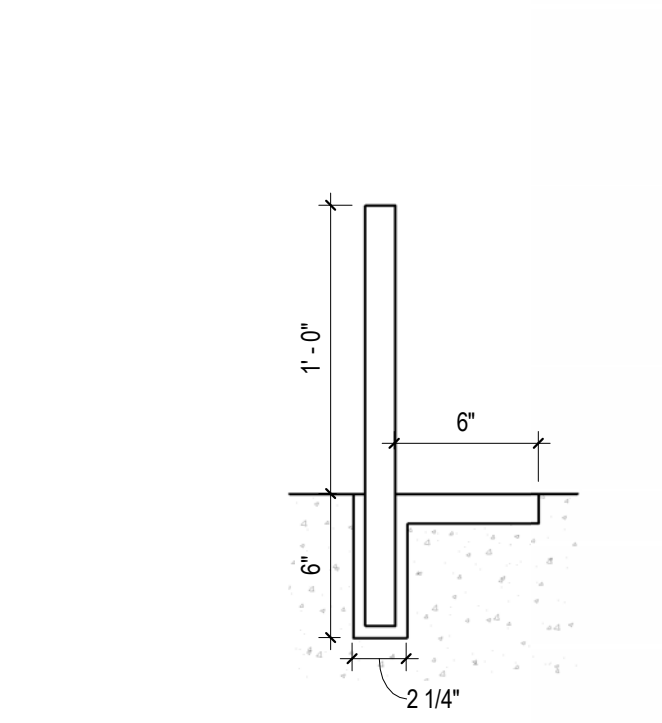
15 DUMPSTER ISOMETRIC
1 1/2" = 1'-0"



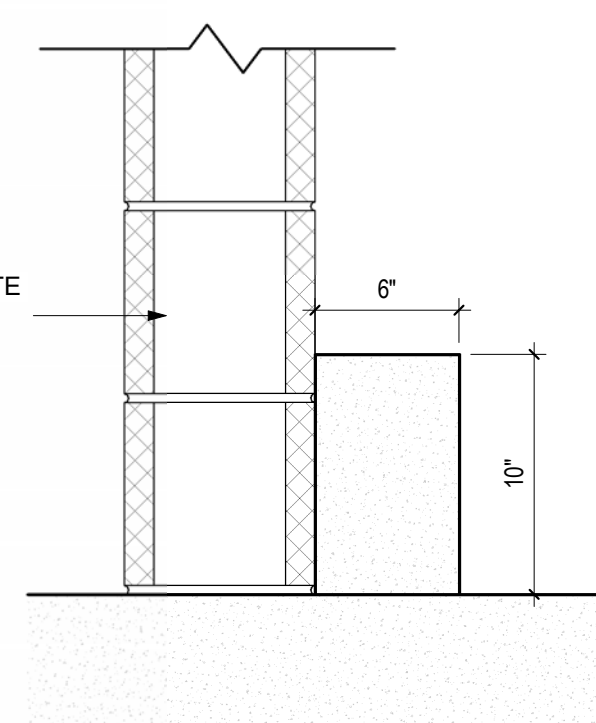
14 TYPICAL DUMPSTER ELEVATION
1/2" = 1'-0"



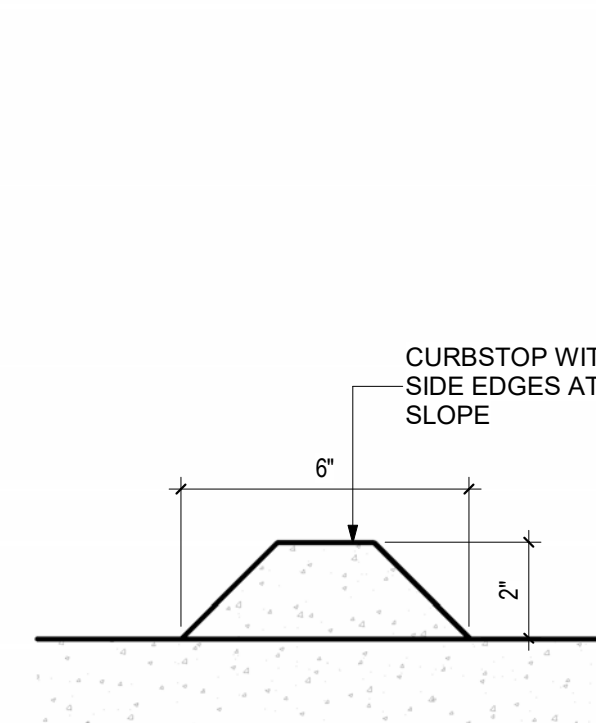
13 CANE SLOT DETAIL B
1/2" = 1'-0"



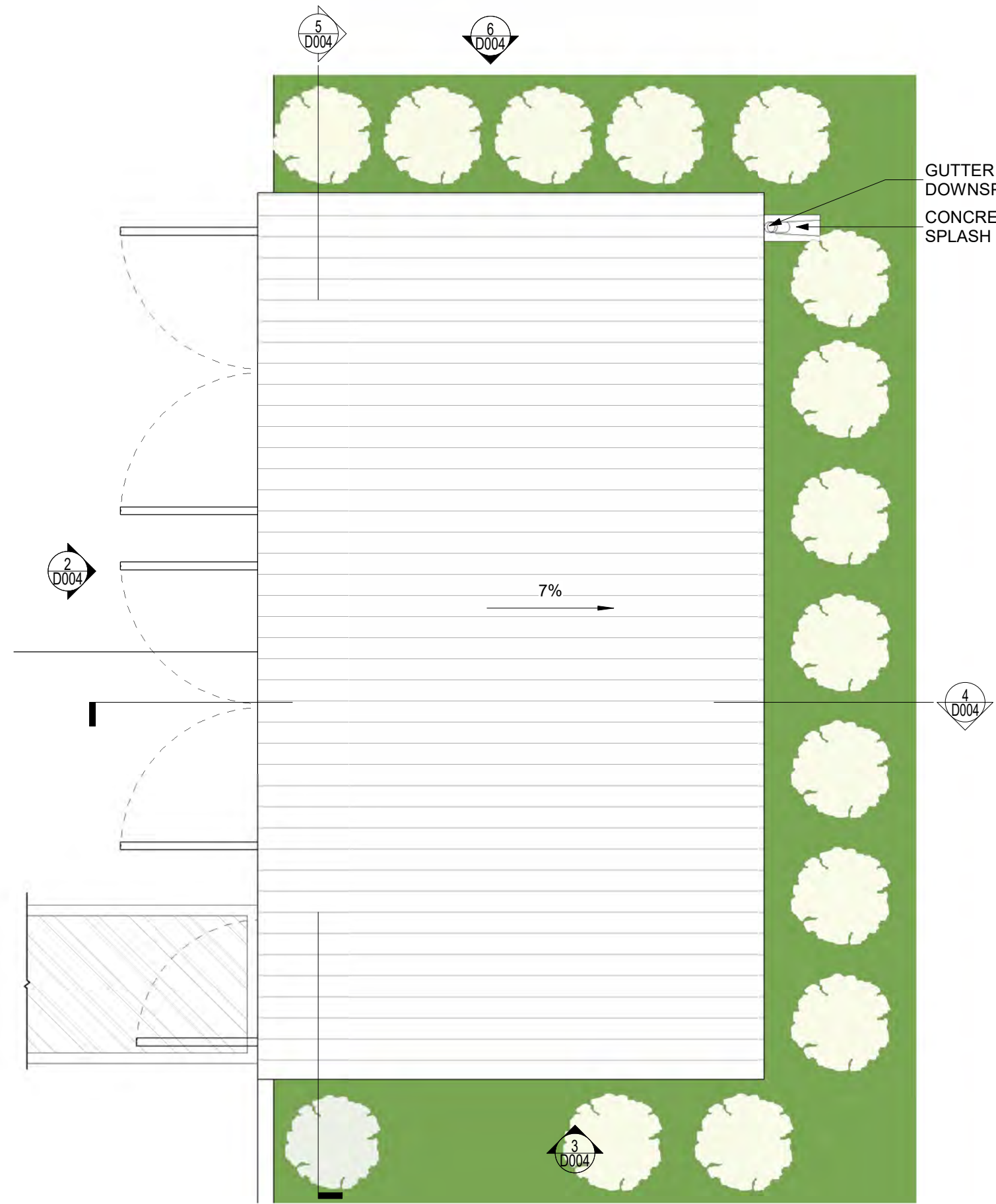
12 CANE SLOT DETAIL A
1 1/2" = 1'-0"



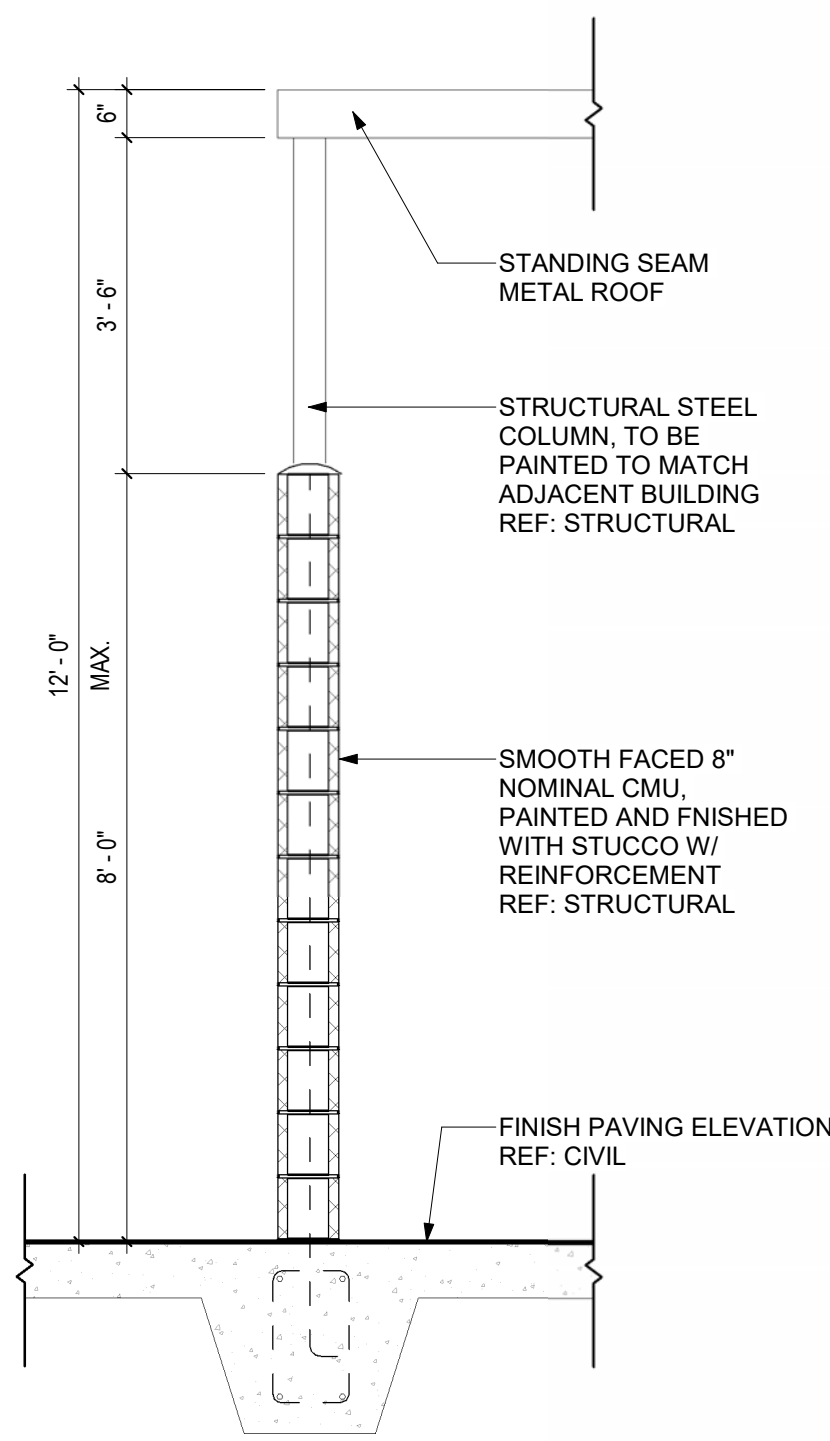
11 CURB STOP @ WALL
1 1/2" = 1'-0"



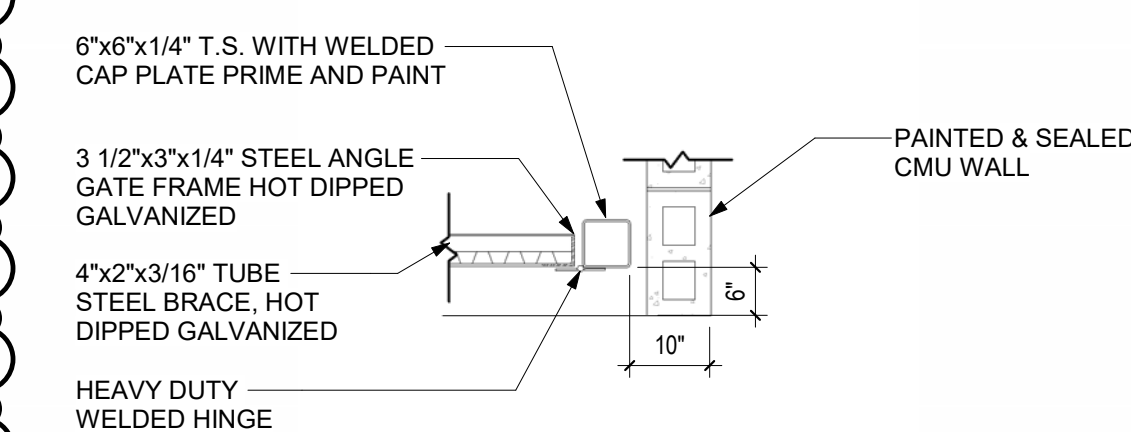
10 CURB STOP
3" = 1'-0"



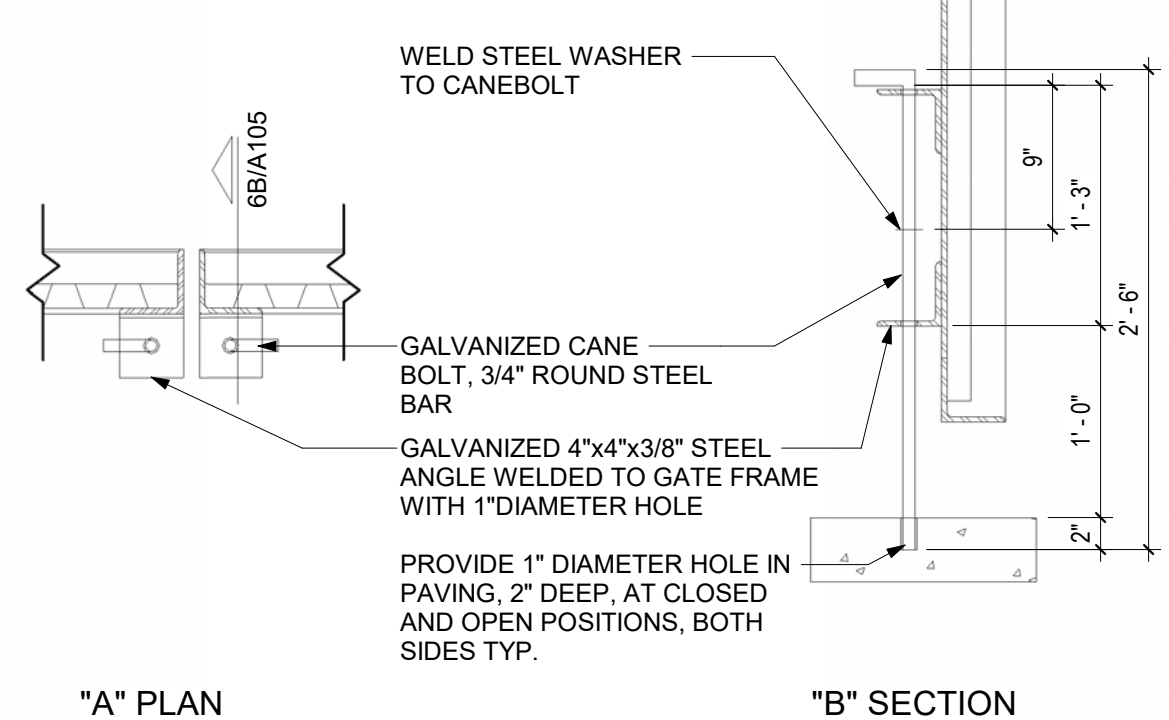
16 COMPOSITE ROOF PLAN
1/4" = 1'-0"



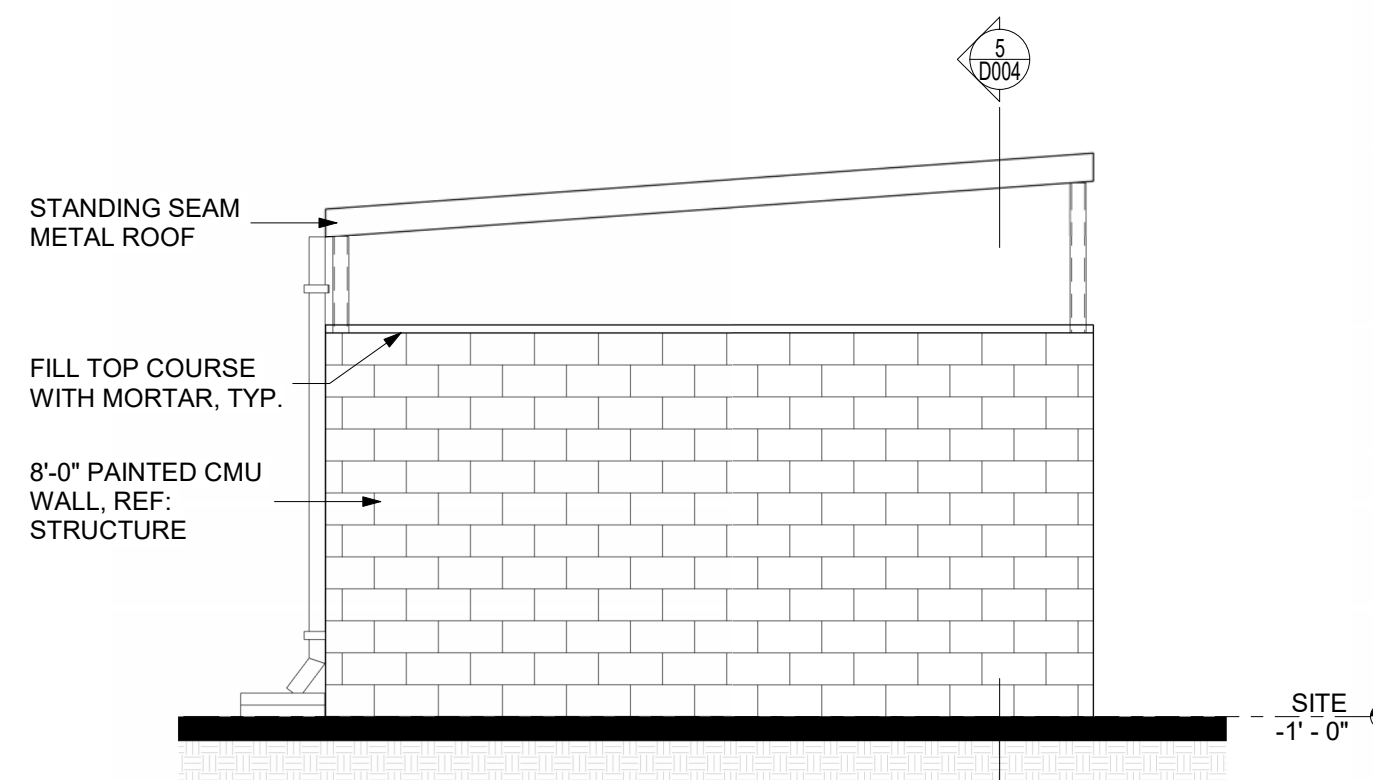
7 DUMPSTER ENCLOSURE WALL SECTION
1/2" = 1'-0"



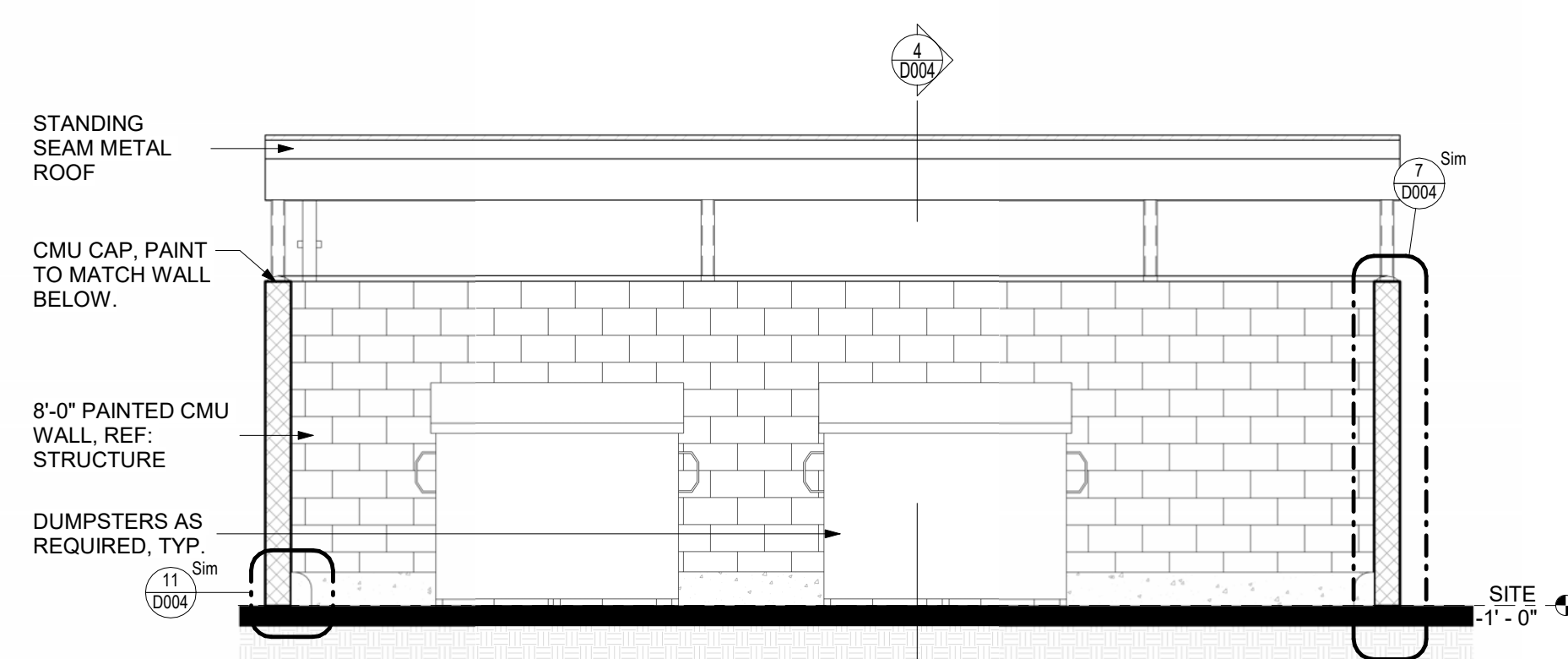
9 GATE DETAILS 2
1/2" = 1'-0"



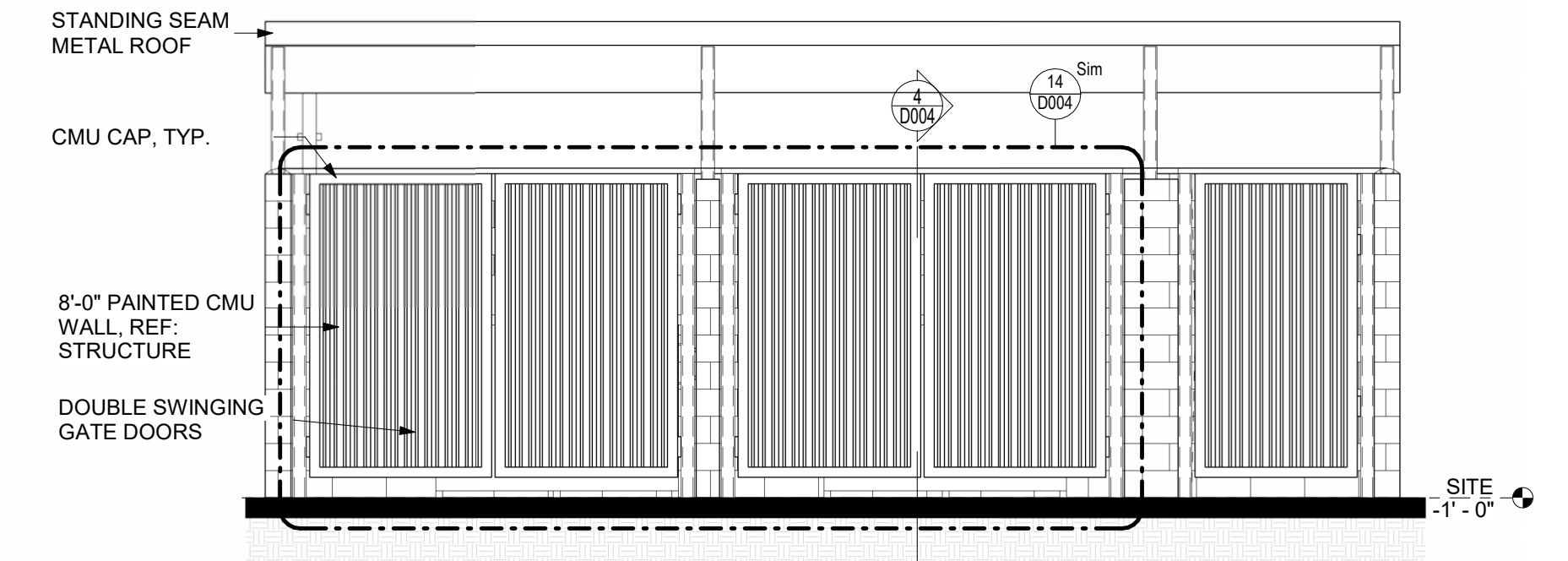
8 GATE DETAILS
1" = 1'-0"



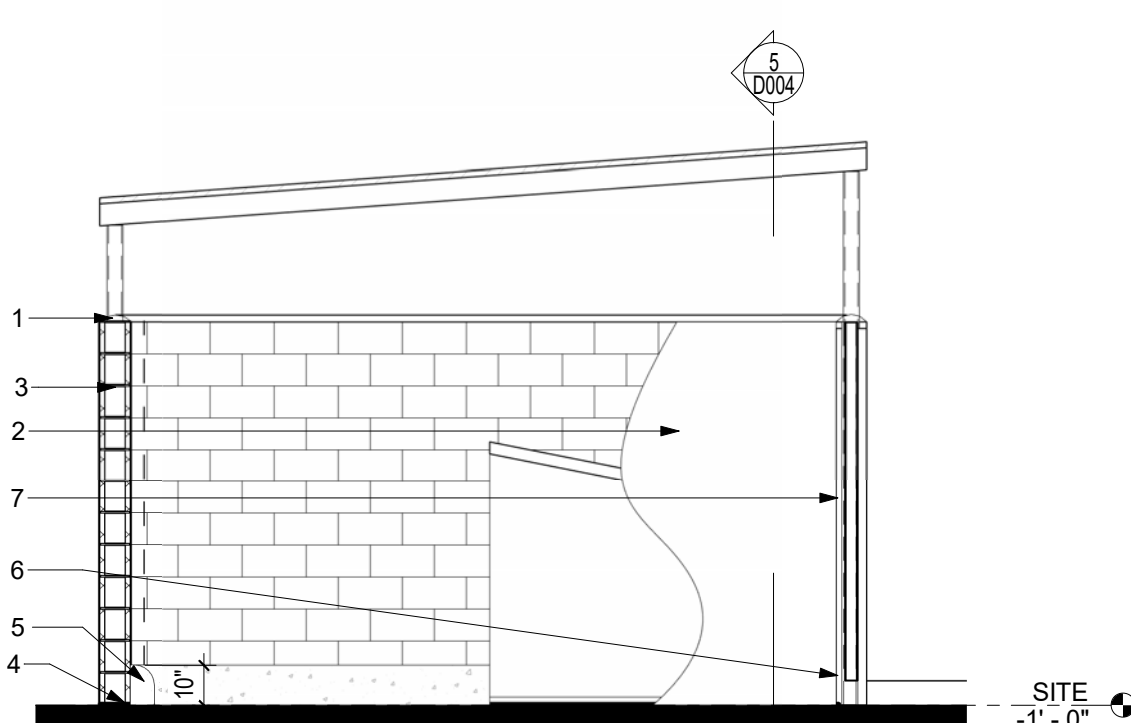
6 SIDE ELEVATION
1/4" = 1'-0"



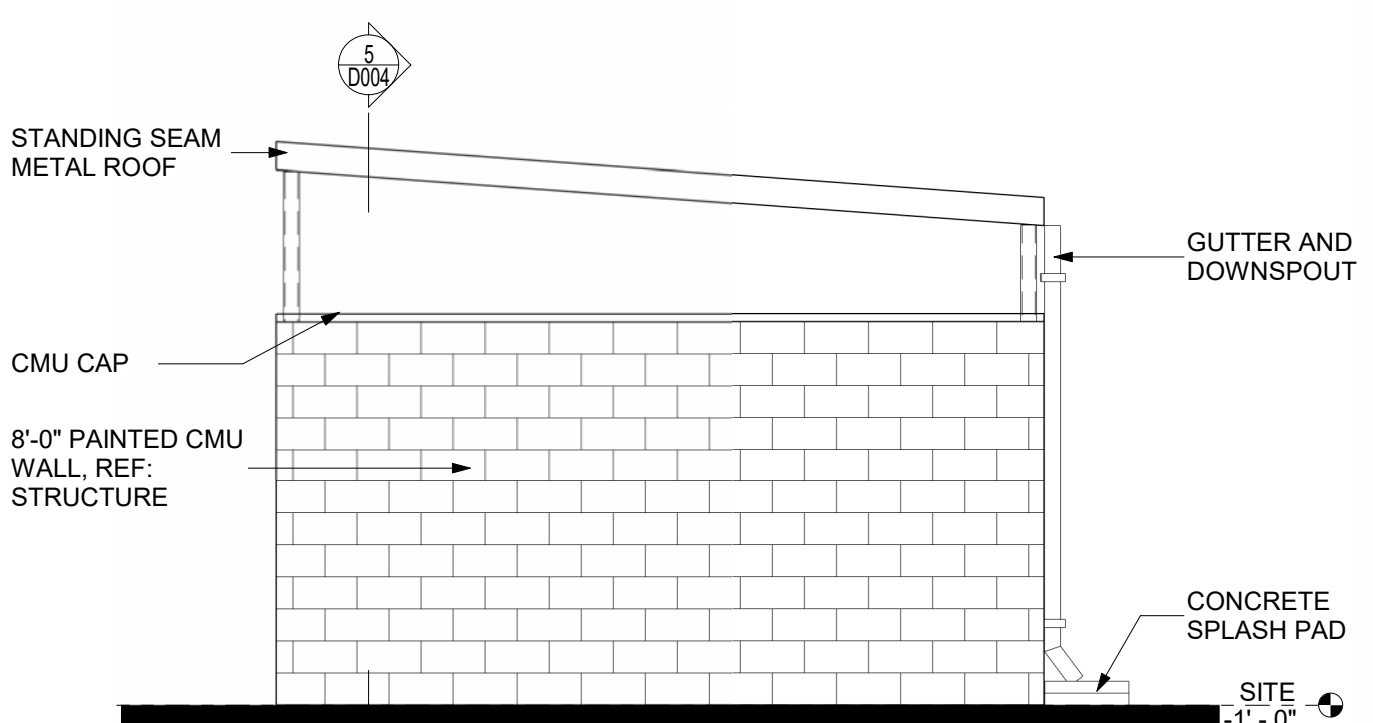
5 DUMPSTER SECTION A
1/4" = 1'-0"



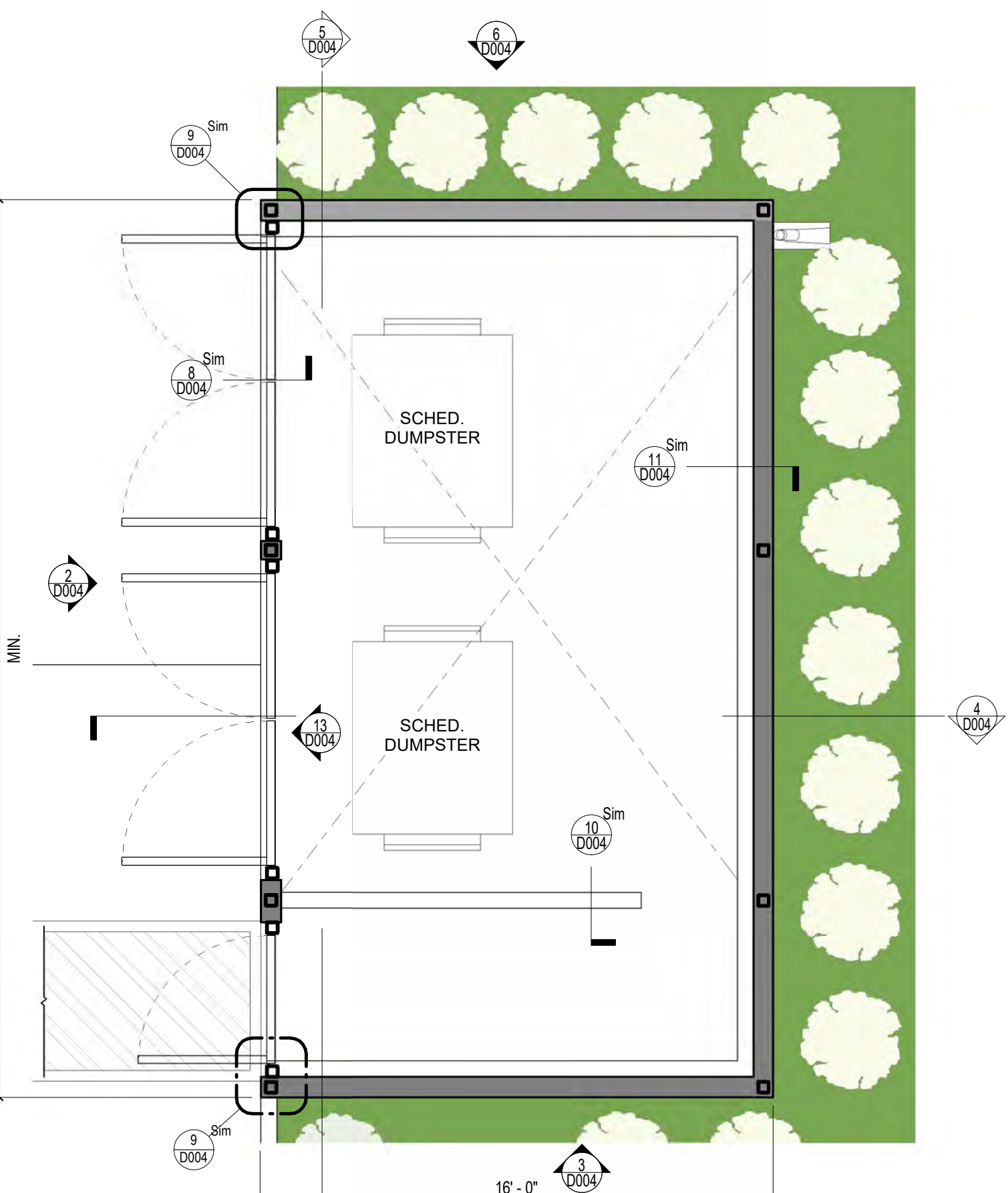
2 FRONT DUMPSTER ELEVATION
1/4" = 1'-0"



4 DUMPSTER SECTION B
1/4" = 1'-0"

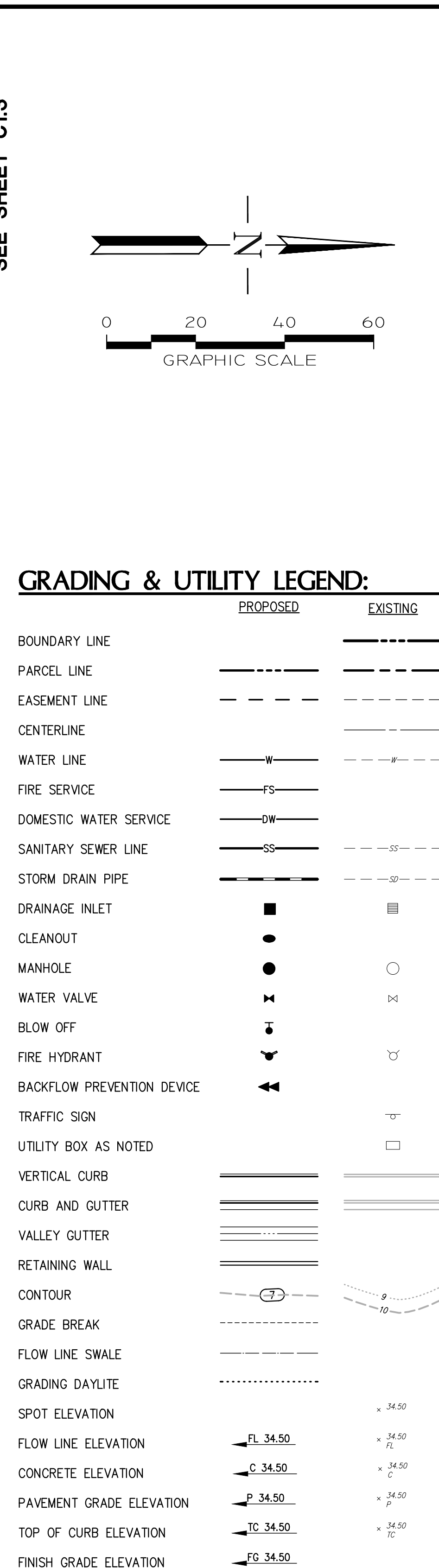


3 DUMPSTER SIDE ELEVATION
1/4" = 1'-0"



1 DUMPSTER ENCLOSURE, TYP.
1/4" = 1'-0"





	PROPOSED	EXISTING
BOUNDARY LINE		
PARCEL LINE		
EASEMENT LINE		
CENTERLINE		
WATER LINE		
FIRE SERVICE		
DOMESTIC WATER SERVICE		
SANITARY SEWER LINE		
STORM DRAIN PIPE		
DRAINAGE INLET		
CLEANOUT		
MANHOLE		
WATER VALVE		
BLOW OFF		
FIRE HYDRANT		
BACKFLOW PREVENTION DEVICE		
TRAFFIC SIGN		
UTILITY BOX AS NOTED		
VERTICAL CURB		
CURB AND GUTTER		
VALLEY GUTTER		
RETAINING WALL		
CONTOUR		
GRADE BREAK		
FLOW LINE SWALE		
GRADING DAYLITE		
SPOT ELEVATION		
FLOW LINE ELEVATION		
CONCRETE ELEVATION		
PAVEMENT GRADE ELEVATION		
TOP OF CURB ELEVATION		
FINISH GRADE ELEVATION		

CONCRETE SURFACE

ASPHALT SURFACE

DRAINAGE TREATMENT AREA

PORTION OF EXISTING STORM DRAIN EASEMENT TO BE ABANDONED

1	NEW FIRE SERVICE CONNECTION TO PUBLIC WATER MAIN WITH CITY STANDARD BACKFLOW PREVENTER. POINT OF CONNECTION TO BUILDINGS AND PROPOSED FIRE HYDRANT LOCATIONS.	7	PROVIDE DRAINAGE OPENING TO BIO-RETENTION BASINS AT LOW POINT AND SPACED ALONG BIO-RETENTION FRONTAGE.
2	INSTALL NEW DOMESTIC WATER METERS AND LANDSCAPE IRRIGATION METERS TO PROVIDE NEW SERVICE TO BOTH BUILDINGS AND PROPOSED CAR WASH FACILITY, WITH NEW REDUCED PRESSURE BACKFLOW PREVENTERS. CONNECT TO EXISTING CITY MAIN. EXISTING WATER METERS TO BE ABANDONED OR REMOVED AT THE DIRECTION OF THE CITY OF VALLEJO OR SOLANO COUNTY.	8	MATCH NEW CONCRETE "FLUSH" CURB AND PAVEMENT ELEVATIONS TO CONFORM TO THE EXISTING CONCRETE SURFACE ELEVATION AT THE FACE OF THE EXISTING BUILDING, ON ADJACENT PROPERTY.
3	PROPOSED SANITARY SEWER SERVICE LINE FROM EXISTING SERVICE ALONG REDWOOD DRIVE RIGHT OF WAY. INSTALL GREASE INTERCEPTORS, WITH SAMPLING STATIONS AND EXTEND LINES TO TRASH ENCLOSURES WITH FLOOR DRAIN. PROPOSED 10" SEWER EASEMENT ACROSS PROPOSED PARCEL C, TO PROVIDE SERVICE TO PARCEL B.	9	PROPOSED CONNECTION TO EXISTING 18"/24" PUBLIC STORM DRAIN PIPE WITHIN EXISTING 10' EASEMENT.
4	PROPOSED LOCATION OF NEW BUS STOP WITH SHELTERED SITTING AREA, PER SOL TRANS DIRECTION.	10	PROPOSED ALIGNMENT OF RELOCATED EXISTING STORM DRAIN EASEMENT, FOLLOWING ABANDONMENT OF EXISTING 10' EASEMENT.
5	PROPOSED IN-GROUND BIORETENTION STORMWATER TREATMENT BASINS WITH SUBDRAIN AND RETAINING WALLS.	11	PORTION OF EXISTING 10' PUBLIC STORM DRAIN EASEMENT TO BE ABANDONED AND RELOCATED, PER NOTE 10. THE EXISTING 24" STORM DRAIN SECTION SHALL REMAIN.
6	PROPOSED IN-GROUND BIORETENTION STORMWATER TREATMENT BASINS WITH SUBDRAIN.	12	REMOVE EXISTING DRIVEWAYS WHERE SHOWN, AND CONSTRUCT WITH STANDARD CURB, GUTTER AND SIDEWALK AT LIMITS SHOWN. CONSTRUCT NEW STANDARD DRIVEWAYS WHERE SHOWN, PER CALTRANS OR THE CITY OF VALLEJO STANDARD DETAILS.
		13	PROPOSED EARTH SWALE TO CONVEY PARCEL A RUNOFF INTO A PROPOSED INLET AT THE SOUTHERN END OF ACCESS ROADWAY.

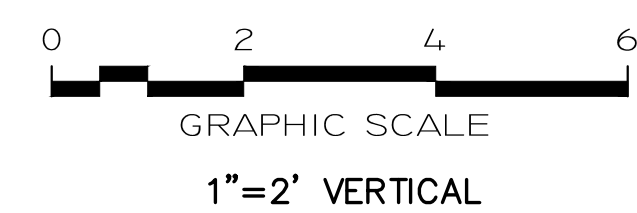
C	CONCRETE	N	NORTH
DI	DROP INLET	P	PAVEMENT
DIAM	DIAMETER	S	SOUTH OR SIGN
DW	DOMESTIC WATER SERVICE	SD	STORM DRAIN
E	EAST	SIG	TRAFFIC SIGNAL
ELEC	ELECTRIC	SL	STREET LIGHT
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
(E)/EX	EXISTING	TC	TOP OF CURB
FL	FLOW LINE DITCH	UB	UTILITY BOX
FS	FIRE SERVICE	W	WATER OR WEST
GUY	GUY ANCHOR	WM	WATER METER
MH	MANHOLE	WV	WATER VALVE

Robert A. Karn
ROBERT A. KARN R.C.E. 33173
ROBERT A. KARN & ASSOCIATES, INC.



SHEET NO.		DATE		DRAWN		CHECKED	
C1.1		9-26-2024		RBL		TWP/JP	
JOB NO.		DATE		BY		SCALE	
A24023		9-26-2024		T		1"=20'	

CRACK
CIVIL ENGINEERS



DATE _____



RAK
CIVIL ENGINEERS

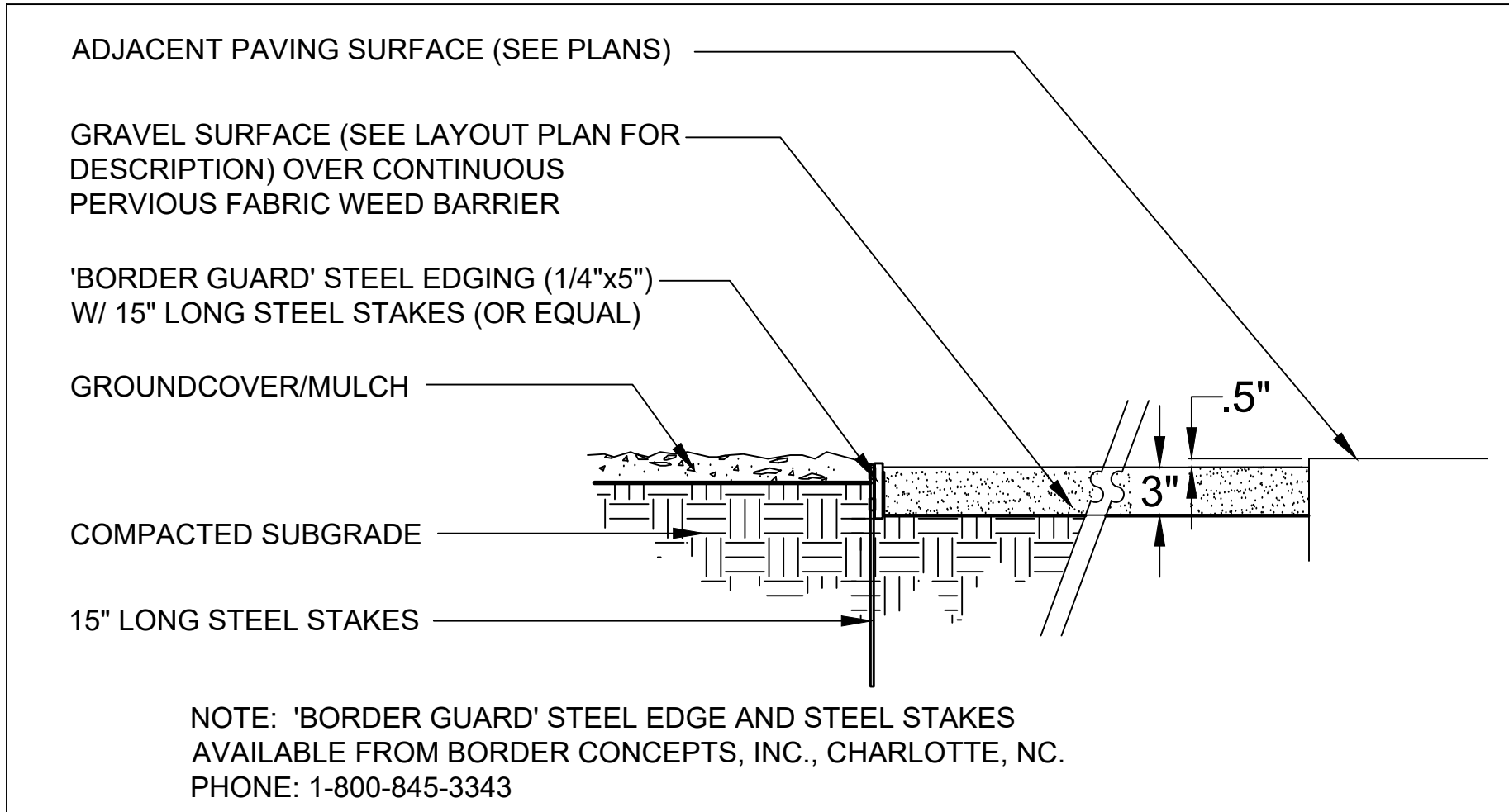
ROBERT A. KARN
& ASSOCIATES, INC.

707 BECK AVENUE
FAIRFIELD, CALIFORNIA 94533
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SHEET	NO.
C2.1	6
B NO.	SHEETS
A24023	

DRAWN	CHECKED	DATE	PROJECT	BY
RBL/r	MPP/KC	9-26-2024	PURVIS	BAK
		7-520		



NOTE: 'BORDER GUARD' STEEL EDGE AND STEEL STAKES AVAILABLE FROM BORDER CONCEPTS, INC., CHARLOTTE, NC. PHONE: 1-800-845-3343

METAL HEADER DETAIL
NO SCALE

PLANTING NOTES

GENERAL NOTES: The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his or her bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making him or herself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

SOIL MANAGEMENT REPORT:

- A. The Contractor shall submit soil samples to the laboratory for analysis and recommendations.
1. Soil sampling shall be conducted in accordance with the laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.
2. Soil analysis may include:
a. Soil texture
b. Infiltration rate determined by laboratory test or soil infiltration rate table
c. pH
d. Total soluble salts
e. Sodium
f. Percent organic matter
g. Recommendations
B. Contractor shall submit soil report and recommendations to the City as part of the certificate of completion.
C. The soil analysis report shall be made available, in a timely manner, to the professionals preparing the landscape design plans and irrigation design plans to make any necessary adjustments to the design plans.
D. The contractor shall submit documentation verifying implementation of the soil analysis report recommendations to the City with certificate of completion. [Ord.3-2010 3 (Exh. A), eff.3-12-2010

SOIL PREPARATION AMENDMENTS AND BACKFILL MIX: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). MIX The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. CCW 'Super Humus' compost and 20 lbs. organic fertilizer 'Phyta-Boost' 7-2-1 per 1,000 sq. ft. into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 compost amendment and 2/3 amended topsoil as noted above.

TREE PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project. backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta Boost' 7-1-2 -pelletted (or equal) for 15 gallon trees: 1 lb., 1/2 lb for 5 gallon trees and shrubs: Mix fertilizer with backfill soil and thoroughly water trees immediately after planting.

ROOT BARRIERS: All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long along adjacent paving edges, centered on the tree trunk. (See detail)

SHRUB PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Boost' 7-1-2 organic fertilizer-pelletted (or equal) at the following rates: For 5 gallon shrubs:1/2 lb. for, 1 gallon shrubs:1/4 lb. Mix fertilizer with backfill soil and thoroughly water shrubs immediately after planting. Do not plant any plant within 20" of any building wall.

MULCHING: Mulch all planting areas, excluding stormwater bioswale basin areas, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized, non-dyed with a PH of no higher than 5.0. and free of noxious weeds and foreign materials. #116 Walk-On Fir Bark from 'Re-User Inc.' or approved equal.

STORMWATER PLANTER COVER: Provide a 2" deep layer of 3/8" river-washed pebbles (no fines) continuous across stormwater planter surfaces; keep pebbles 2" away from plant stem.

MAINTENANCE: The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

SUBSTITUTIONS: Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

GUARANTEE: All construction, trees and shrubs by the Landscape Contractor and/or his or her subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

CLEAN UP: At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

FERTILIZERS: Available California Fertilizers Company Inc. 1-800-269-5690 www.organicag.com
www.californiaorganicfertilizers.com. Compost available from BFI 408-888-7632 www.bfi.com

RECOMMENDED PLANT MATERIALS LIST:

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	WATER USE	SIZE	COUNT
TREES:						
	LAGERSTROEMIA 'MUSKOGEE' (STANDARD)	GRAPE MYRTLE	20'Hx18'W	LOW	24" BOX	4
	PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANETREE	35'Hx30'W	MED	24" BOX	32
SHRUBS:						
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	3'Hx4'W	LOW	5 GAL	46
	CEANOTHUS 'JULIA PHELPS'	WILD LILAC	4'Hx5'W	LOW	5 GAL	26
	CISTUS INCANUS	PINK ROCKROSE	4'Hx4'W	LOW	5 GAL	85
	GREVILLEA 'NOELLI'	NOEL'S GREVILLEA	4'Hx4'W	LOW	5 GAL	37
	LANTANA 'CONFETTI'	CONFETTI LANTANA	3'Hx8'W	LOW	5 GAL	108
	LOROPETALUM 'BURGUNDY'	FRINGE FLOWER	4'Hx5'W	LOW	5 GAL	28
	NERIUM OLEANDER 'CHERRY RIPE'	OLEANDER	6'Hx6'W	LOW	5 GAL	117
	PHORMIUM 'SURFER'	DWARF FLAX	3'Hx3'W	LOW	5 GAL	44
	RHAPHIOLEPIS INDICA 'PINK DANCER'	INDIAN HAWTHORN	3'Hx4'W	LOW	5 GAL	73
	* ROSA CALIFORNICA	WILD ROSE	3'Hx4'W	LOW	5 GAL	32
	ROSA 'MAGIC CARPET RED'	RED CARPET ROSE	3'Hx5'W	MED	5 GAL	30
	SALVIA 'HOT LIPS'	HOT LIPS SAGE	4'Hx4'W	LOW	5 GAL	15
ORNAMENTAL GRASSES:						
	* DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	3'Hx3'W	LOW	1 GAL	120
	* JUNCUS PATENS	BLUE RUSH	3'Hx3'W	LOW	1 GAL	240
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	3'Hx3'W	LOW	5 GAL	168
	* MUHLENBERGIA RIGENS	DEER GRASS	4'Hx4'W	LOW	5 GAL	79
PERENNIALS:						
	* ACHILLEA MILLEFOLIUM	COMMON YARROW	24"Hx4'W	LOW	1 GAL	96
	ANIGOZANTHOS 'BUSH RANGER'	KANGAROO PAW	3'Hx3'W	LOW	1 GAL	76

GROUND COVERS: ONE GALLON CANS AT 42" O.C. SPACING

	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	24"Hx8'W	LOW	5,093 SF
	BACCHARIS PIL. 'PIDGEON POINT'	DWARF COYOTE BUSH	24"Hx5'W	LOW	15,700 SF
	COPROSMA KIRKII	CREEPING COPROSMA	24"Hx6'W	LOW	1,665 SF
	MYOPORUM PARVIFOLIUM	MYOPORUM	12"Hx6'W	LOW	27,067 SF

NOTE: ASTERISK (*) SYMBOL IN PLANT LIST DESIGNATES PLANT SPECIES AS SELECTED FROM THE 'SOLANO COUNTY CLEAN WATER PROGRAM BIORETENTION FACILITY PLANT MATRIX'.

GENERAL NOTES:

- ALL PLANTING AREAS, EXCEPT STORMWATER PLANTER BASINS, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
- A MINIMUM OF 10% OF PROPOSED TREES ARE TO BE 24" BOX CONTAINER SIZE.
- ALL STORMWATER PLANTER BASINS SHALL RECEIVE A 2" LAYER DEEP LAYER OF 3 /8" DIAMETER PEBBLES.
- ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.
- NO TREES ARE PLANTED IN THE PG&E EASEMENT LOCATED ALONG SONOMA BOULEVARD. SHRUB AND GROUND COVER PLANTING IN THAT EASEMENT COMPLIES WITH PG&E 'GUIDE TO SAFE LANDSCAPING NEAR GAS PIPELINES'.

CERTIFICATION STATEMENT:

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION PLANS COMPLY WITH THE LANDSCAPE DESIGN STANDARDS AND REQUIREMENTS FOR THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

RICK STOVER
RW STOVER AND ASSOCIATES, INC.
LANDSCAPE ARCHITECT

SIGNATURE- LANDSCAPE ARCHITECT DATE 4-29-24

#3017
STATE LICENSE NUMBER

WATER EFFICIENT LANDSCAPE WORKSHEET - BY HYDROZONE

REFERENCE EVAPOTRANSPIRATION (ET_o):

48.2

HYDROZONE #	HYDROZONE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	DRIP	0.81	0.37037037	60990	22588.88889	675046.4	82%
2	MEDIUM WATER USE	SHRUBS	0.5	BUBBLER	0.81	0.61728395	1123	693.2098765	20715.9	2%
2	LOW WATER USE	SHRUBS	0.3	SPRAY	0.75	0.4	12122	4848.8	0.0	16%
3	MEDIUM WATER USE	TREES	0.5	BUBBLER	0.81	0.61728395	216	133.3333333	3984.5	0%
TOTALS:							74451	28264		100%

AREA

SPECIAL LANDSCAPE AREAS:

REC. AREA				1		0	0
POOL				1		0	0
WATER FEATURE 2				1		0	0
				TOTALS:	0	0	
ETWU TOTAL:							699,747
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):							1,001,202

ETAF CALCULATIONS:

REGULAR LANDSCAPE AREAS:

TOTAL ETAF x AREA	28,264
TOTAL LANDSCAPE AREA	74,451
AVERAGE ETAF	0.38

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

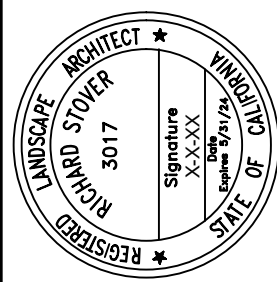
ALL LANDSCAPE AREAS:

TOTAL ETAF x AREA	28,264
TOTAL LANDSCAPE AREA	74,451
SITEWIDE ETAF	0.38

REVISIONS

△	
△	
△	
△	
△	
△	

RW Stover & Associates, Inc.
Landscape Architecture
16201 Sonoma Blvd., Suite 4
Walnut Creek, CA 94596
Ph: 925.932.1283



VALLEJO HYUNDAI
SONOMA BOULEVARD
VALLEJO, CALIFORNIA

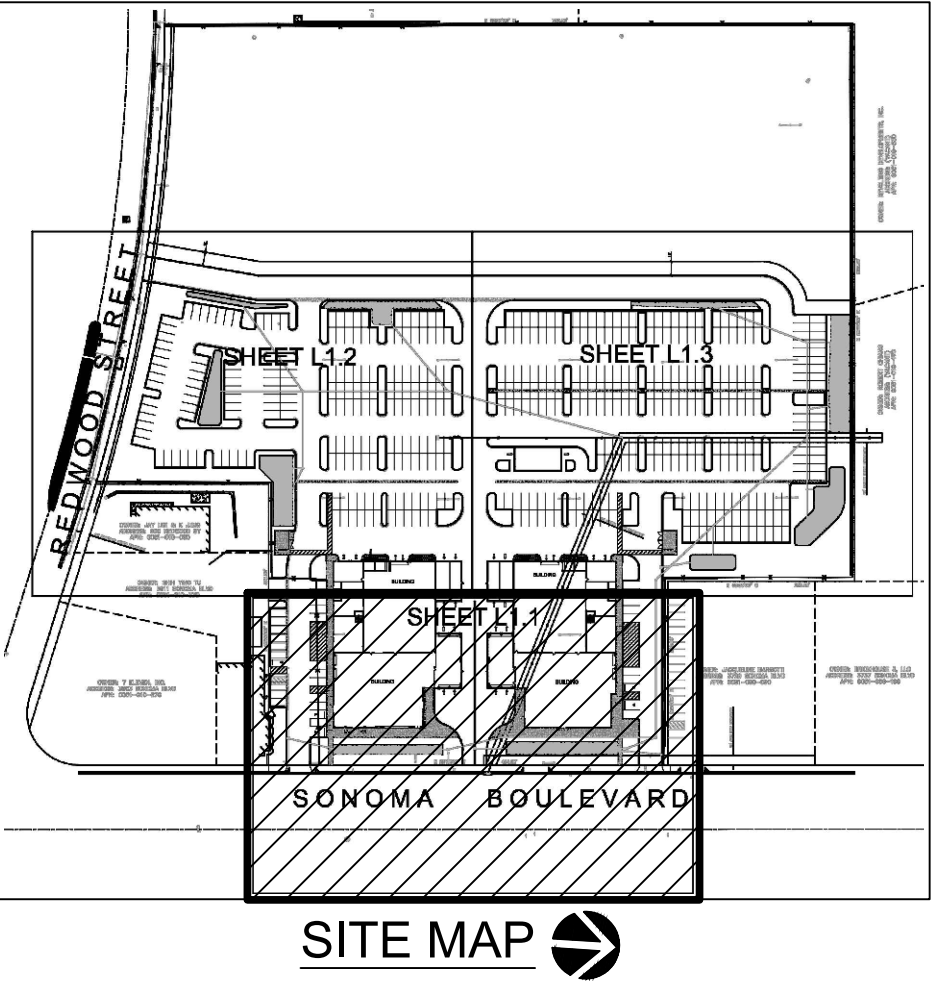
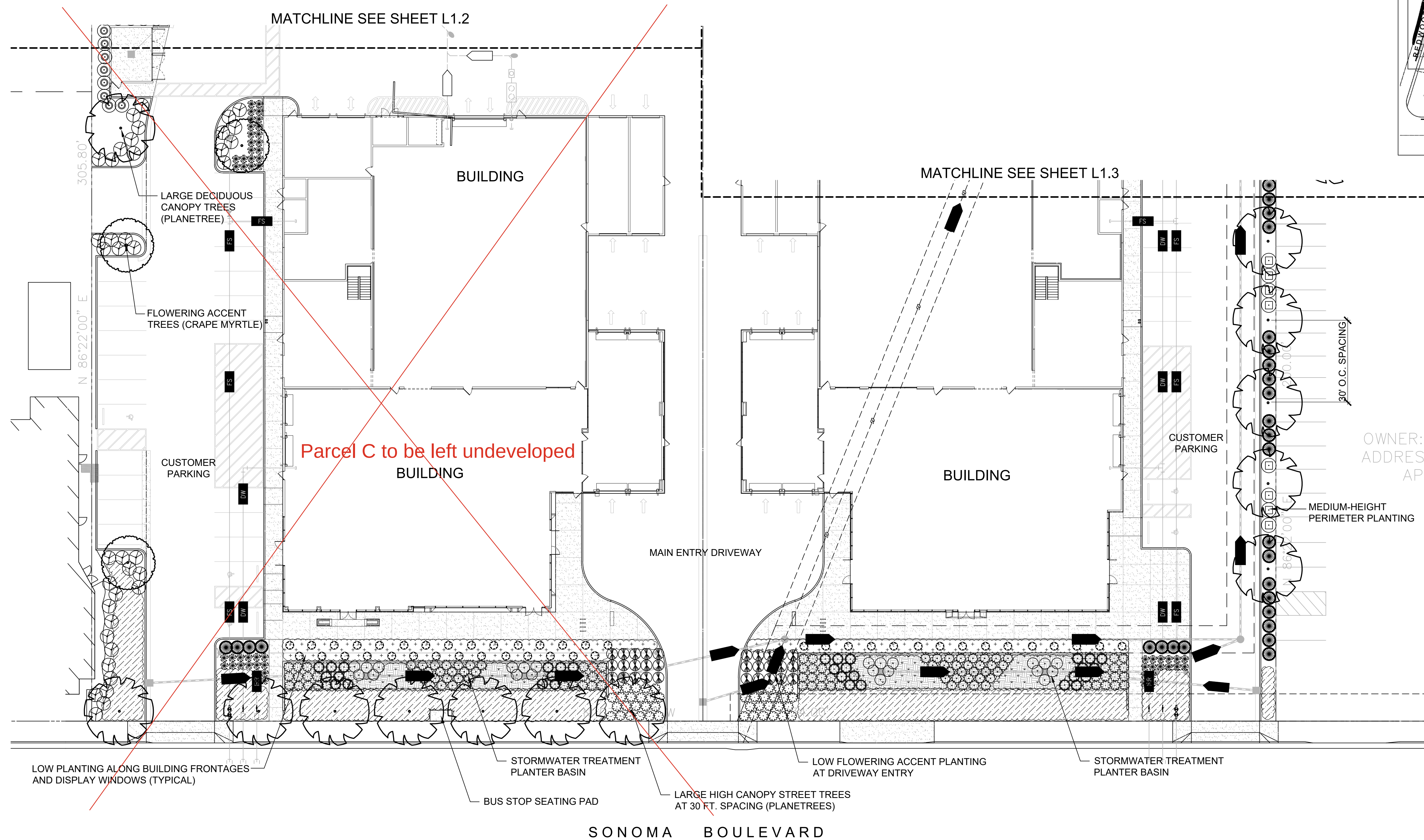
RECOMMENDED PLANT
LIST, NOTES AND DETAILS

DESIGNED:	DRAWN:
CHECKED:	JOB NO:
DATE 05-21-24	
SCALE	

SHEET

L1.0

OF SHEETS



REVISIONS

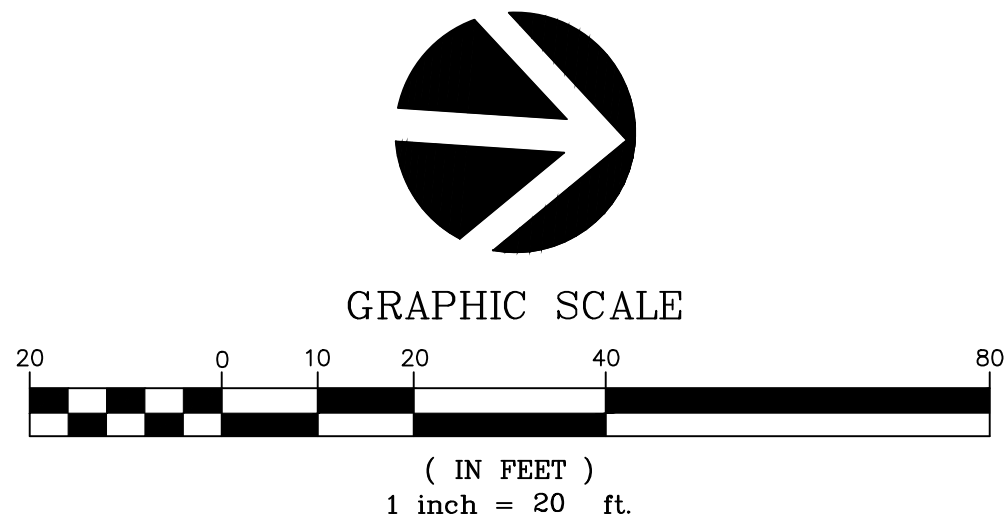
RW Stover & Associates, Inc.
Landscape Architecture
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Walnut Creek, CA 94596
PH: 925.933.2383

VALLEJO HYUNDAI
SONOMA BOULEVARD
VALLEJO, CALIFORNIA

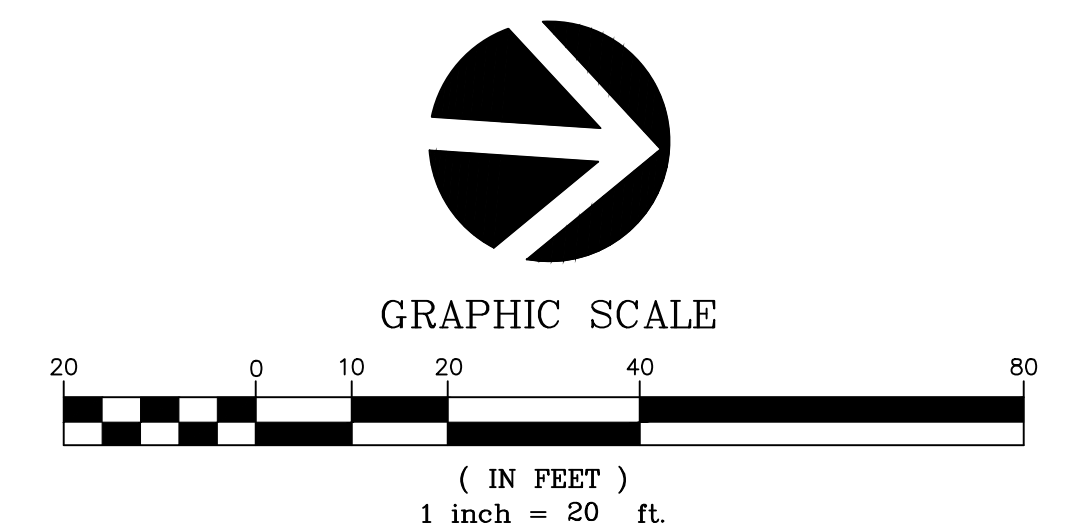
PRELIMINARY
LANDSCAPE PLAN

DESIGNED: DRAWN:
CHECKED: JOB NO:
DATE
05-21-24
SCALE

SHEET
L1.1
OF SHEETS



REFER TO SHEET L1.0 FOR RECOMMENDED PLANT LIST, NOTES AND DETAILS



SHEET
1.3
SHEETS



CONSULTANTS

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RY STOLVER & ASSOCIATES, INC. - LANDSCAPE

Landscape Architect

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PROJECT NAME

VALLEJO AUTO
COMPLEX

PROJECT DESCRIPTION

NEW HYUNDAI FACILITY

PROJECT ADDRESS

500 REDWOOD ST. VALLEJO,
CA 94590

OWNER INFORMATION

Wise Auto Group

Phone: 916-580-8222

jreavis@wiseautogroup.com



GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE



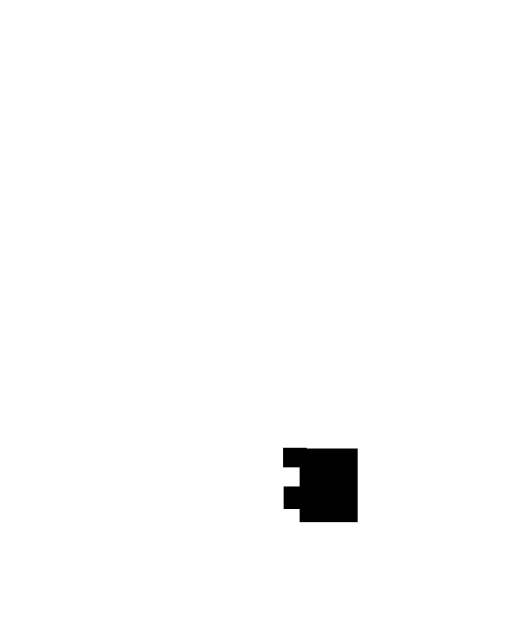
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN



SHEET NAME

EXTERIOR RENDER

SHEET NUMBER

D100A

CONSULTANTS

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P: 925-933-2583

PROJECT NAME

VALLEJO AUTO
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NEW HYUNDAI FACILITY

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500 REDWOOD ST. VALLEJO,
CA 94590

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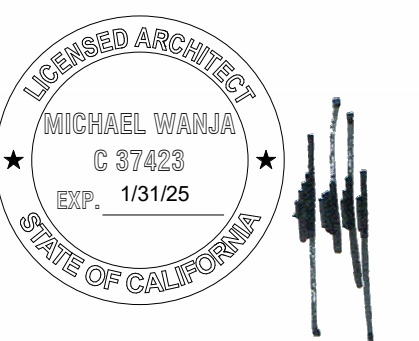
jreavis@wiseautogroup.com



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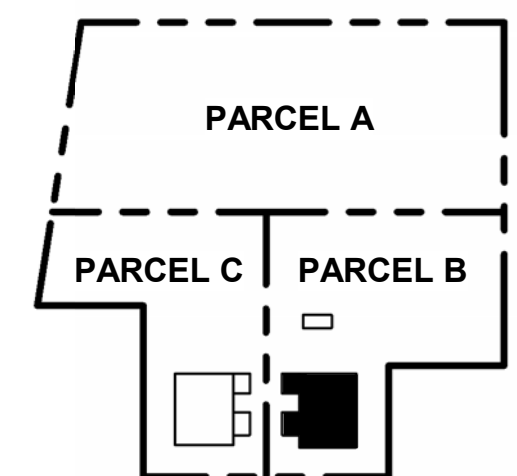
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN



SHEET NAME

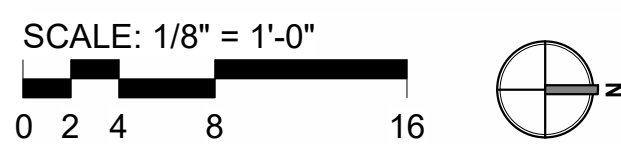
PROPOSED HYUNDAI PLANS

SHEET NUMBER

D101



1 PROPOSED FLOOR PLAN - LEVEL 1
1/8" = 1'-0"



2 MEZZANINE - 2ND FLOOR
1/8" = 1'-0"

HYUNDAI BUILDING

HYUNDAI PROGRAMMING		
PROGRAM TYPE	AHJ REQUIRED UNIT / AREA	PROPOSED UNIT / AREA
SALES / SHOWROOM		
SHOWROOM	TBD	5 VEHICLES / 6,672 SF
CUSTOMER FOCUS AREA	TBD	
GENERAL OFFICE	TBD	787 SF
		7,459 SF
SERVICE DEPARTMENT		
SERVICE SHOP	TBD	16 BAYS / 10,973 SF
SERVICE RECEPTION	TBD	2,337 SF
	TBD	16 BAYS / 13,310 SF
PARTS DEPARTMENT		
PARTS DEPARTMENT	TBD	1,831 SF
PARTS MEZZANINE	TBD	2,363 SF
	TBD	4,187 SF
LEVEL 1 TOTAL	TBD	22,600 SF
LEVEL 2 TOTAL	TBD	2,363 SF
GRAND TOTAL:	TBD	24,963 SF

CONSULTANTS

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PROJECT NAME

VALLEJO AUTO
COMPLEX

PROJECT DESCRIPTION

NEW HYUNDAI FACILITY

PROJECT ADDRESS

500 REDWOOD ST. VALLEJO,
CA 94590

OWNER INFORMATION

Wise Auto Group

Phone: 916-580-8222

jreavis@wiseautogroup.com



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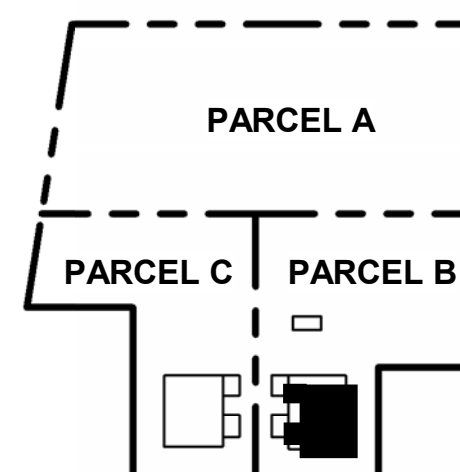
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN

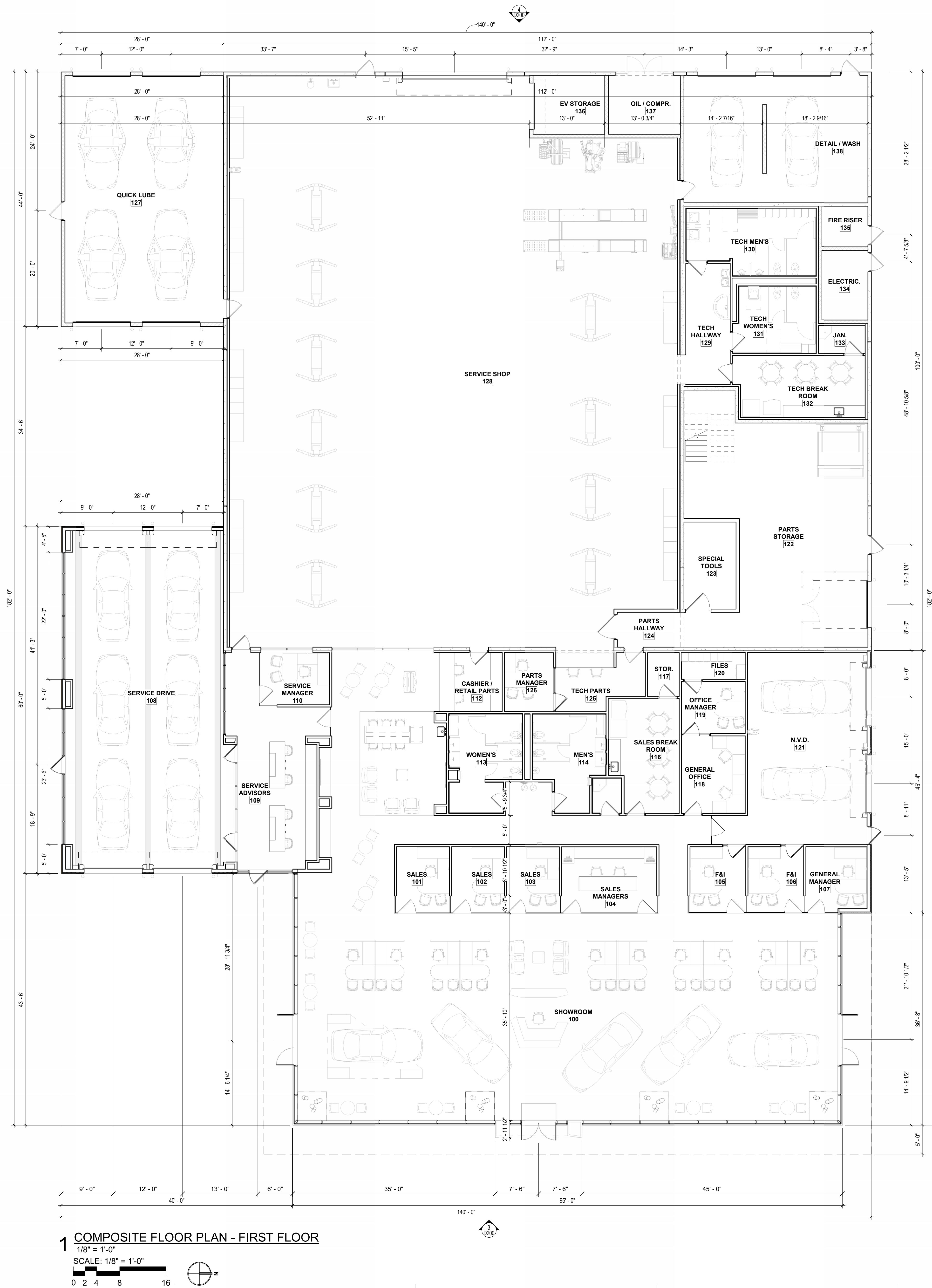


SHEET NAME

COMPOSITE DIMENSIONED
FLOOR PLANS

SHEET NUMBER

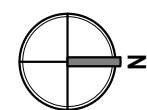
D110

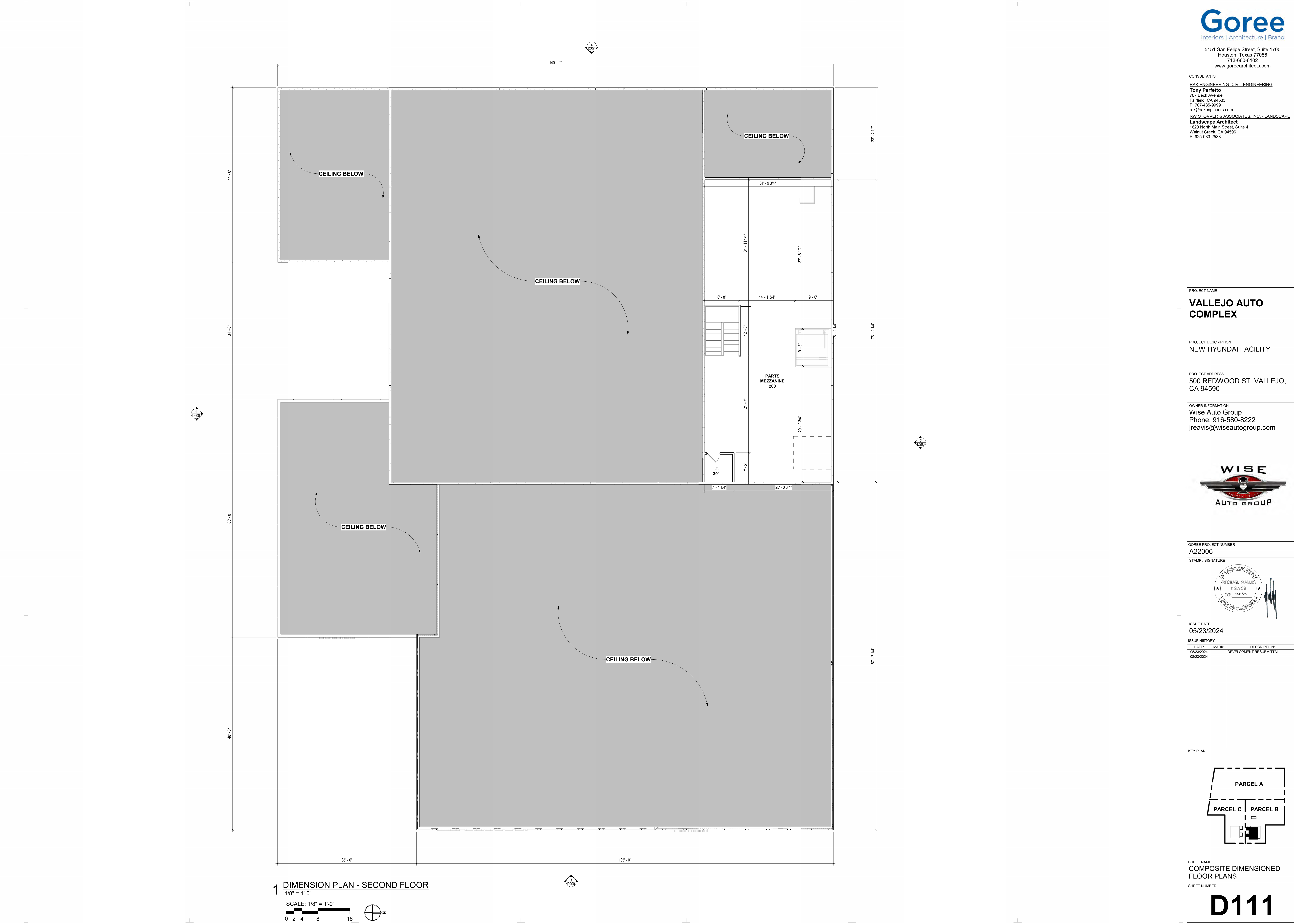


1 COMPOSITE FLOOR PLAN - FIRST FLOOR

1/8" = 1'-0"

SCALE: 1/8" = 1'-0"





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PROJECT NAME

**VALLEJO AUTO
COMPLEX**

PROJECT DESCRIPTION

NEW HYUNDAI FACILITY

PROJECT ADDRESS

**500 REDWOOD ST. VALLEJO,
CA 94590**

OWNER INFORMATION

Wise Auto Group

Phone: 916-580-8222

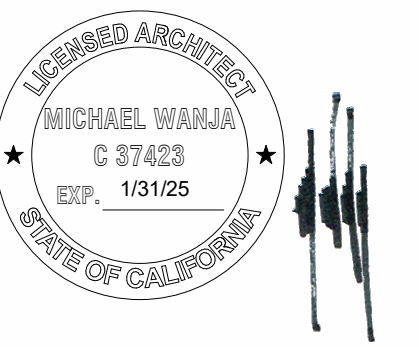
jreavis@wiseautogroup.com



GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE



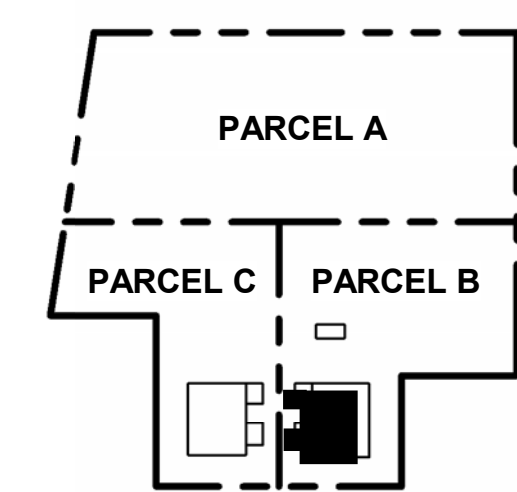
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN

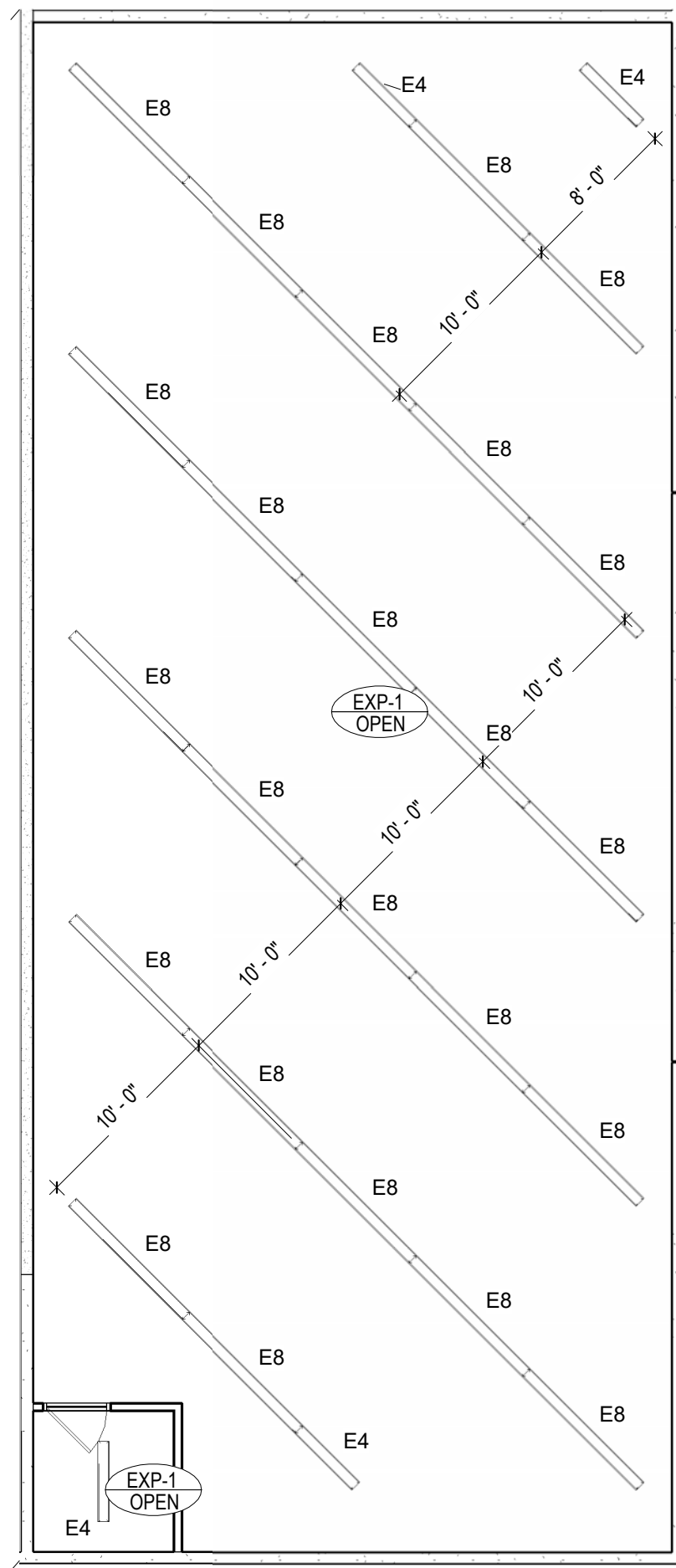


SHEET NAME

**COMPOSITE DIMENSIONED
FLOOR PLANS**

SHEET NUMBER

D111



CONSULTANTS

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PROJECT NAME

VALLEJO AUTO
COMPLEX

PROJECT DESCRIPTION

NEW HYUNDAI FACILITY

PROJECT ADDRESS

500 REDWOOD ST. VALLEJO,
CA 94590

OWNER INFORMATION

Wise Auto Group

Phone: 916-580-8222

jreavis@wiseautogroup.com



GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE



ISSUE DATE

05/08/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

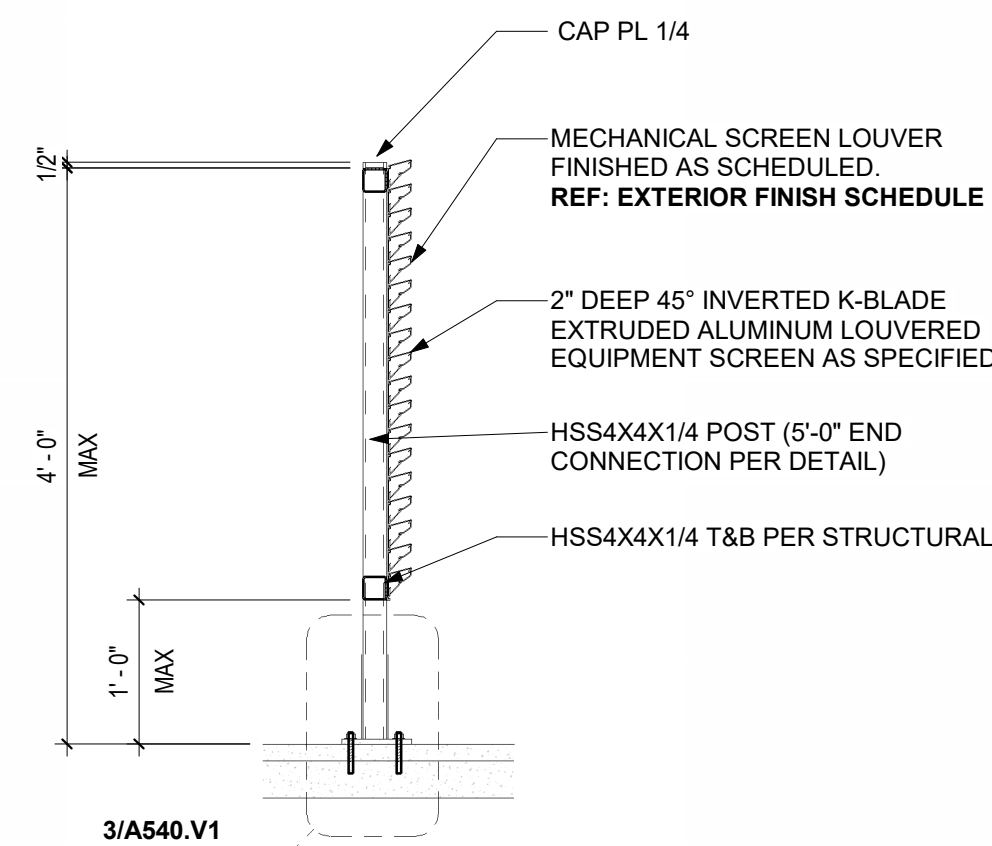
KEY PLAN

SHEET NAME

PROPOSED ROOF PLAN

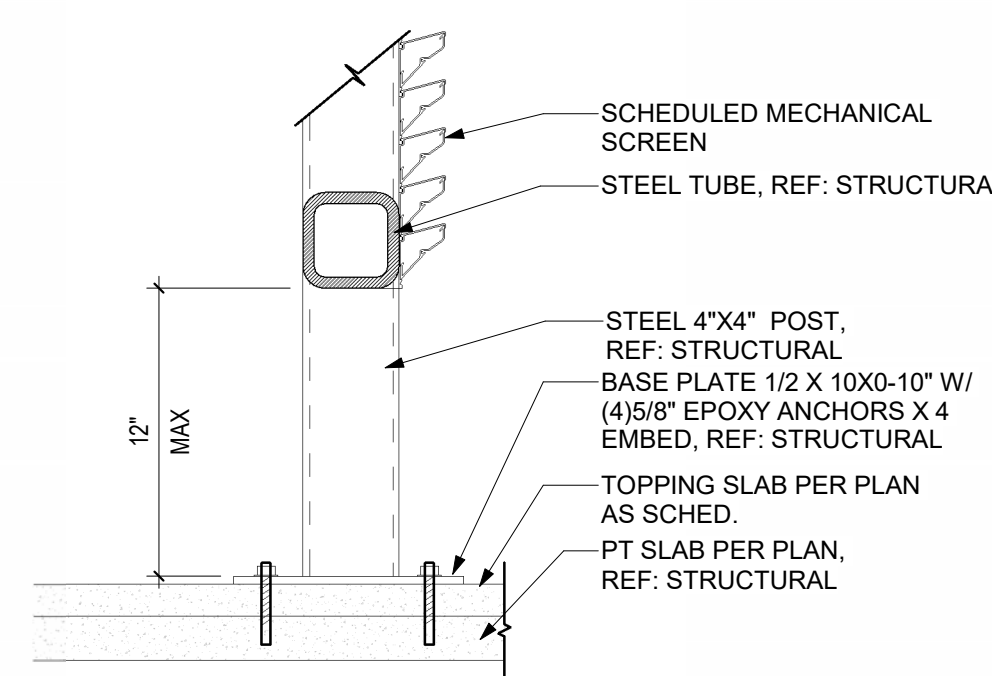
SHEET NUMBER

D190



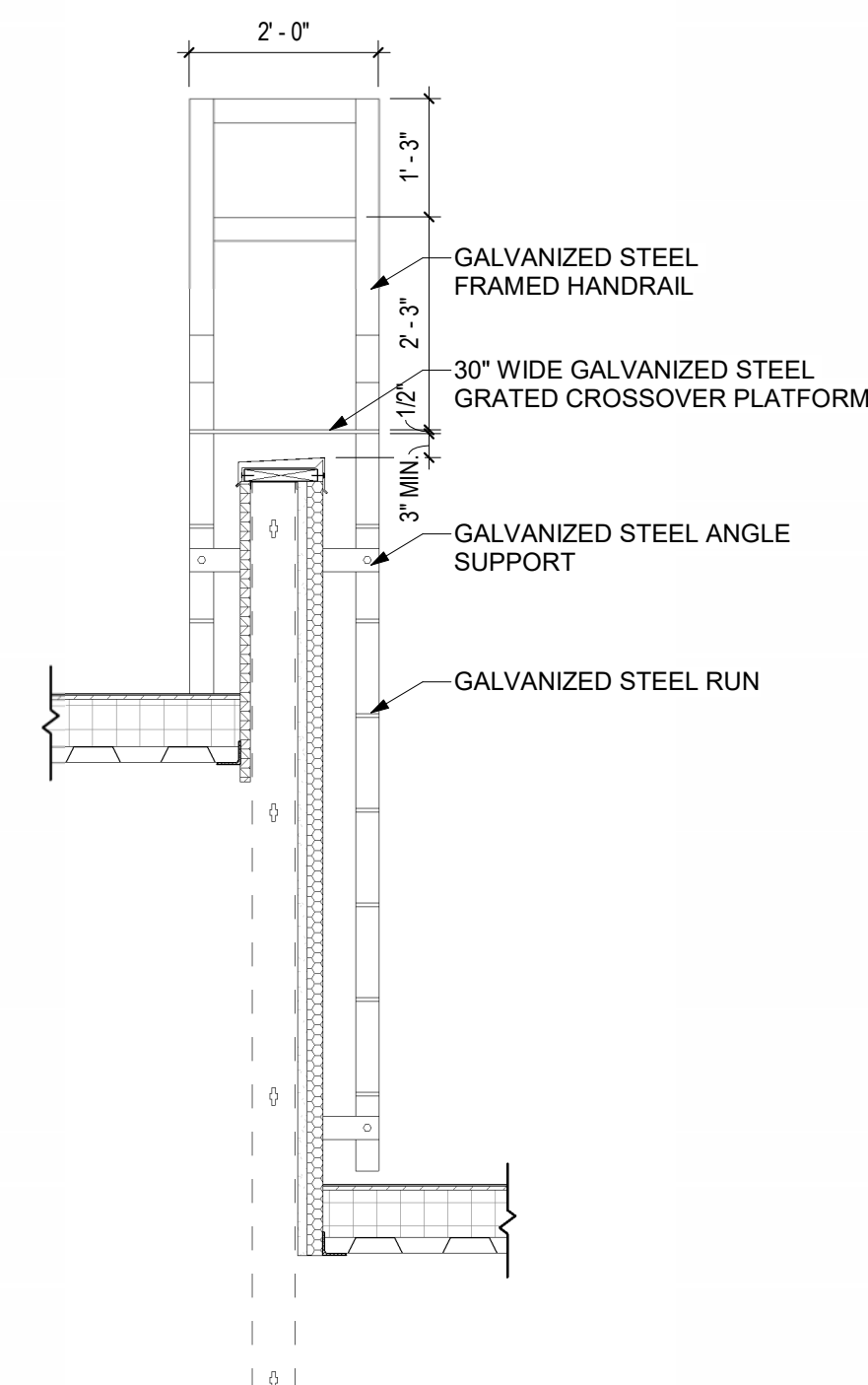
2 MECHANICAL SCREEN

3/4" = 1'-0"



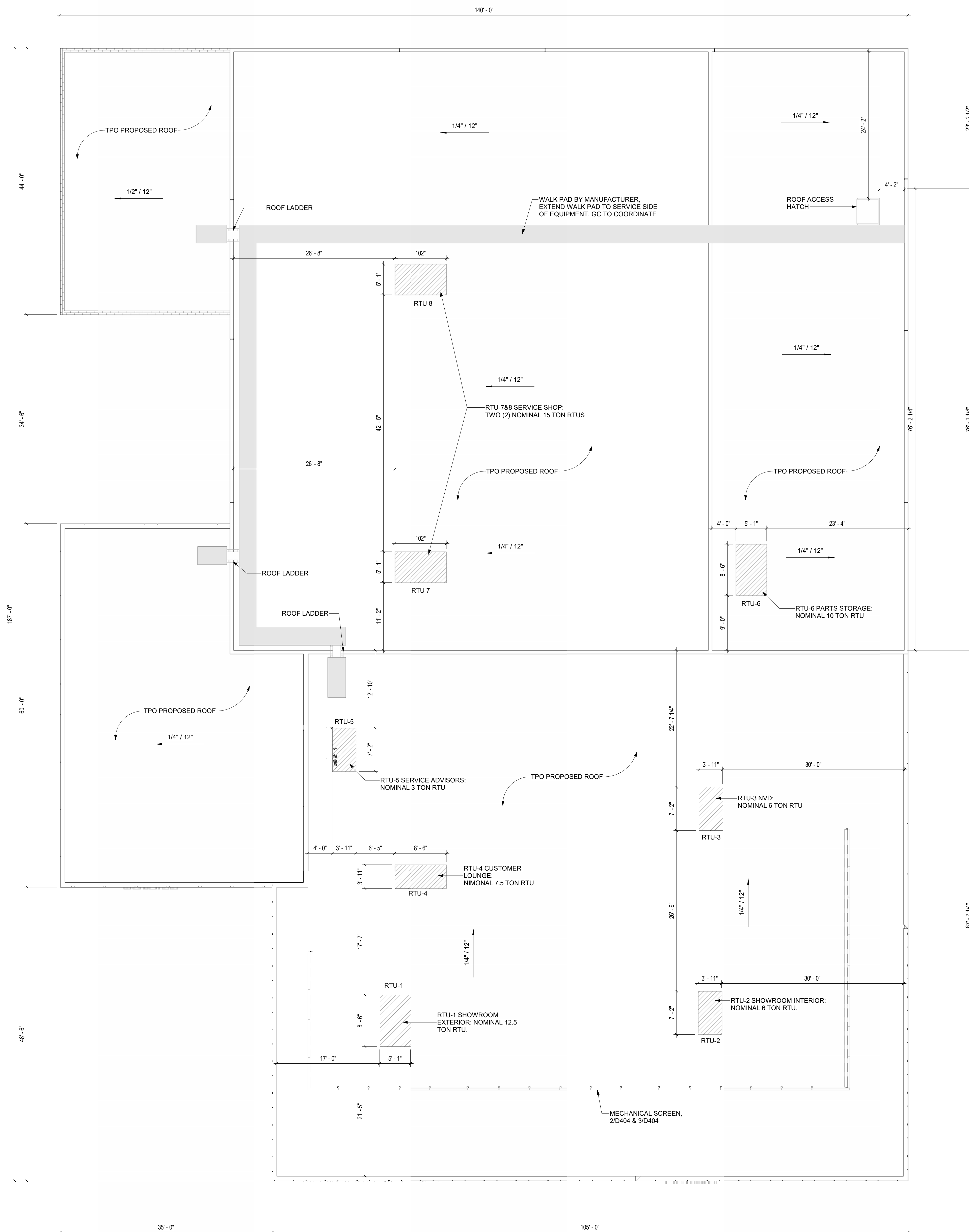
3 SCREEN POST DETAIL

1 1/2" = 1'-0"



4 CROSS ACCESS ROOF LADDER

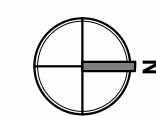
1/2" = 1'-0"

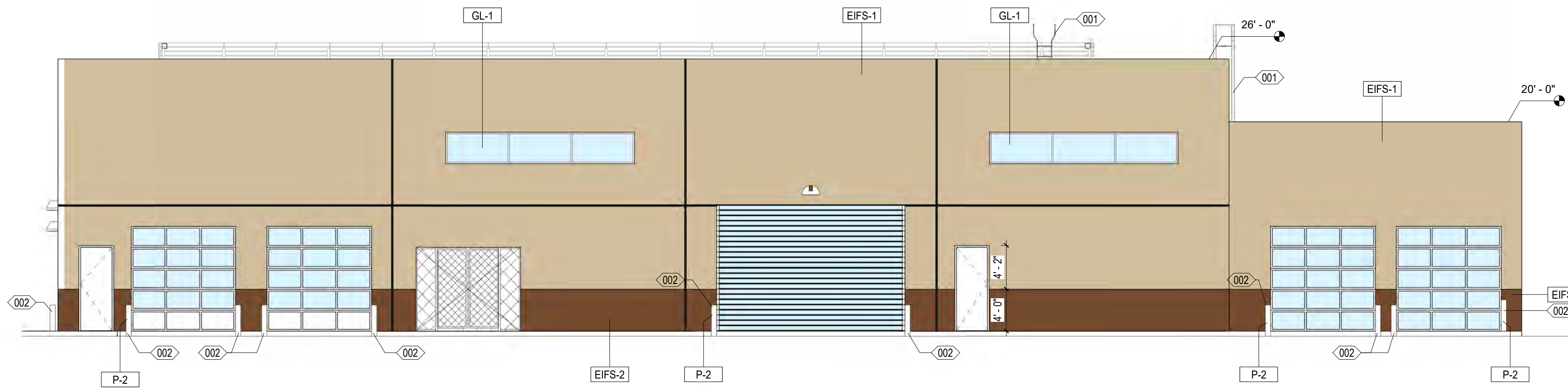


1 ROOF PLAN

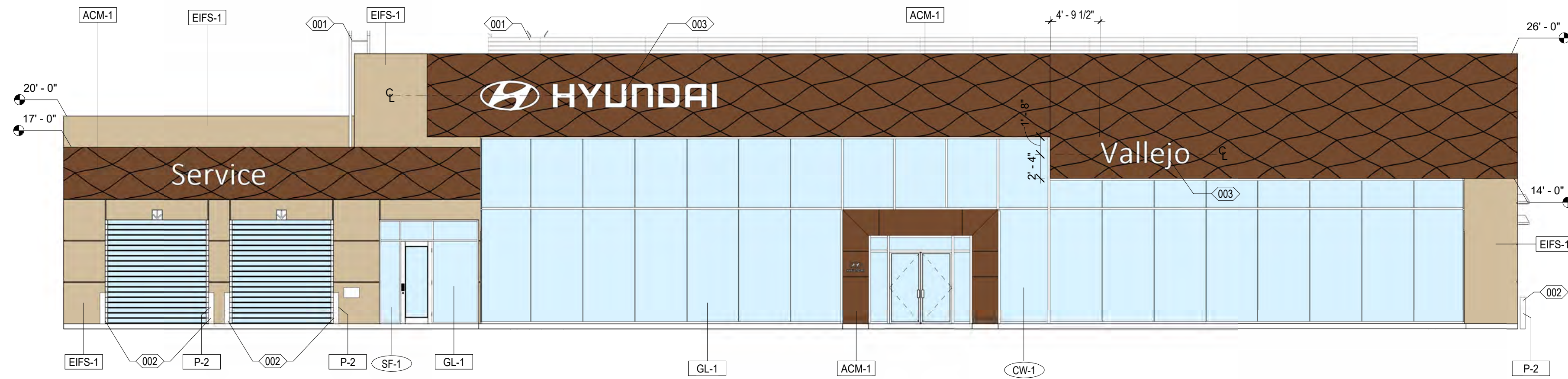
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

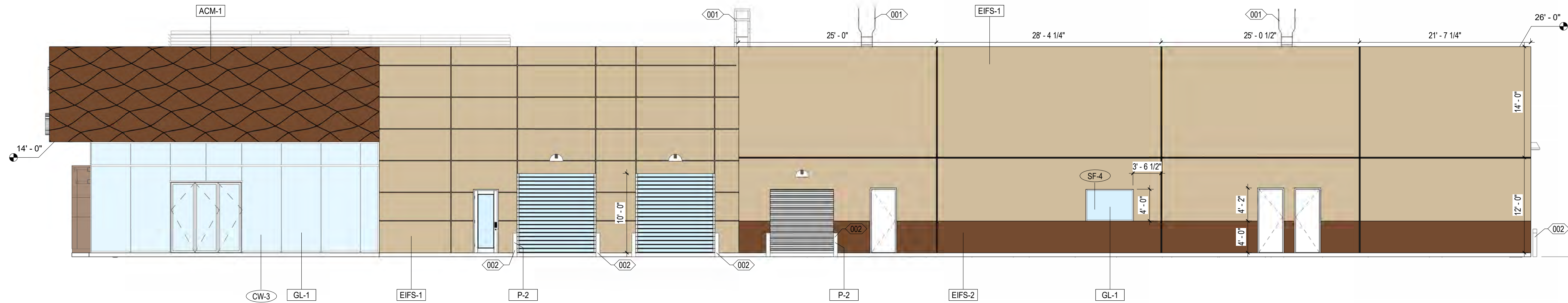




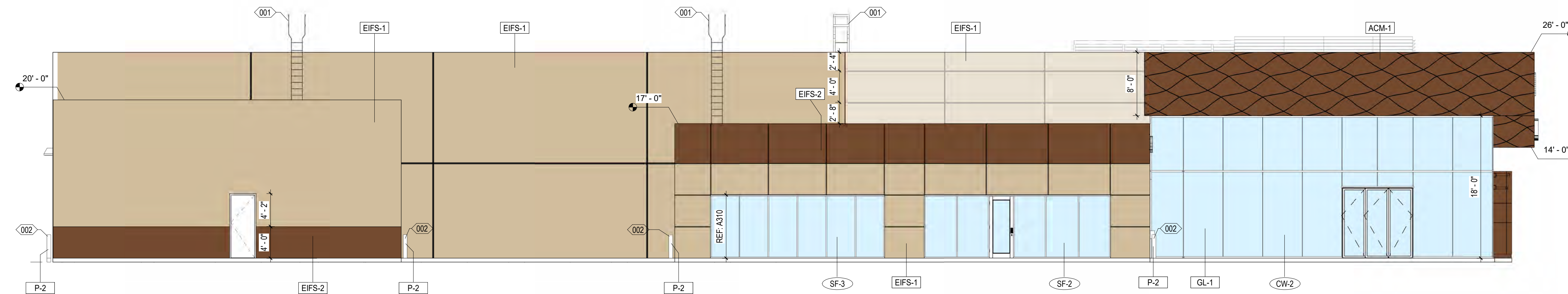
4 BUILDING ELEVATION - BACK
1/8" = 1'-0"



3 BUILDING ELEVATION - FRONT
1/8" = 1'-0"



2 BUILDING ELEVATION - SIDE 1
1/8" = 1'-0"



1 BUILDING ELEVATION - SIDE 2
1/8" = 1'-0"

EXTERIOR FINISHES



NOTE: ALL SHOWROOM GLAZING TO BE KAWNEER 1600 WALL SYSTEM 2 CURTAIN WALL. CLEAR ANODIZED ALUMINUM FINISH. STRUCTURAL GLAZING AT VERTICAL MULLIONS SPACED 2'-0" ON CENTER. EXPRESSED CLEAR ANODIZED FRAME AT HORIZONTAL MULLION. GLAZING AT EXTERIOR CURTAIN WALL TO BE VITRO'S COMERCIAL INSULATING GLASS UNIT WITH SOLARBAN 72 ON STARPHIRE GLASS AND CLEAR GLASS INTERIOR TILE.

REFERENCE CIVIL DRAWINGS, ALL PROPOSED FINISHED FLOOR HEIGHTS SHOWN ARE AT 10'-6"

CONSULTANTS

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Landscape Architect

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Walnut Creek, CA 94596

P: 925-933-2563

PROJECT NAME

VALLEJO AUTO COMPLEX

PROJECT DESCRIPTION

NEW HYUNDAI FACILITY

PROJECT ADDRESS

500 REDWOOD ST. VALLEJO,
CA 94590

OWNER INFORMATION

Wise Auto Group

Phone: 916-580-8222

jreavis@wiseautogroup.com



GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE



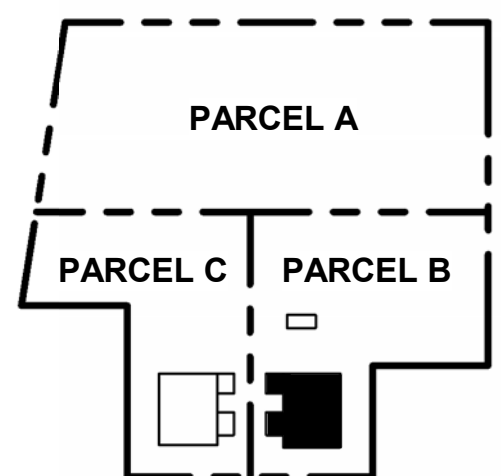
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN



SHEET NAME

PROPOSED HYUNDAI
ELEVATIONS

SHEET NUMBER

D200

CONSULTANTS

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Landscape Architect

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P: 925-933-2563

PROJECT NAME

VALLEJO AUTO
COMPLEX

PROJECT DESCRIPTION

NEW AUTO COMPLEX

PROJECT ADDRESS

500 REDWOOD ST.
VALLEJO, CA 94590

OWNER INFORMATION

Wise Auto Group

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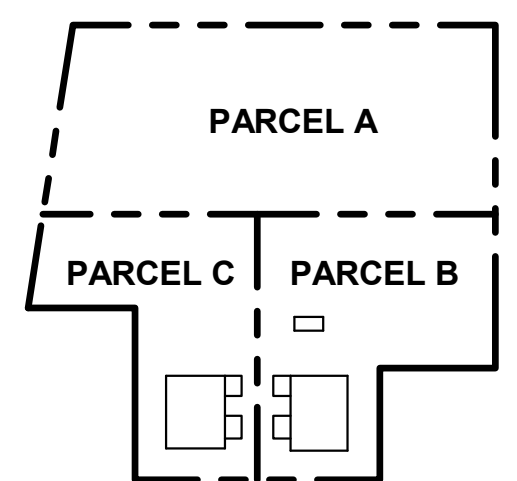
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024	1	DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN

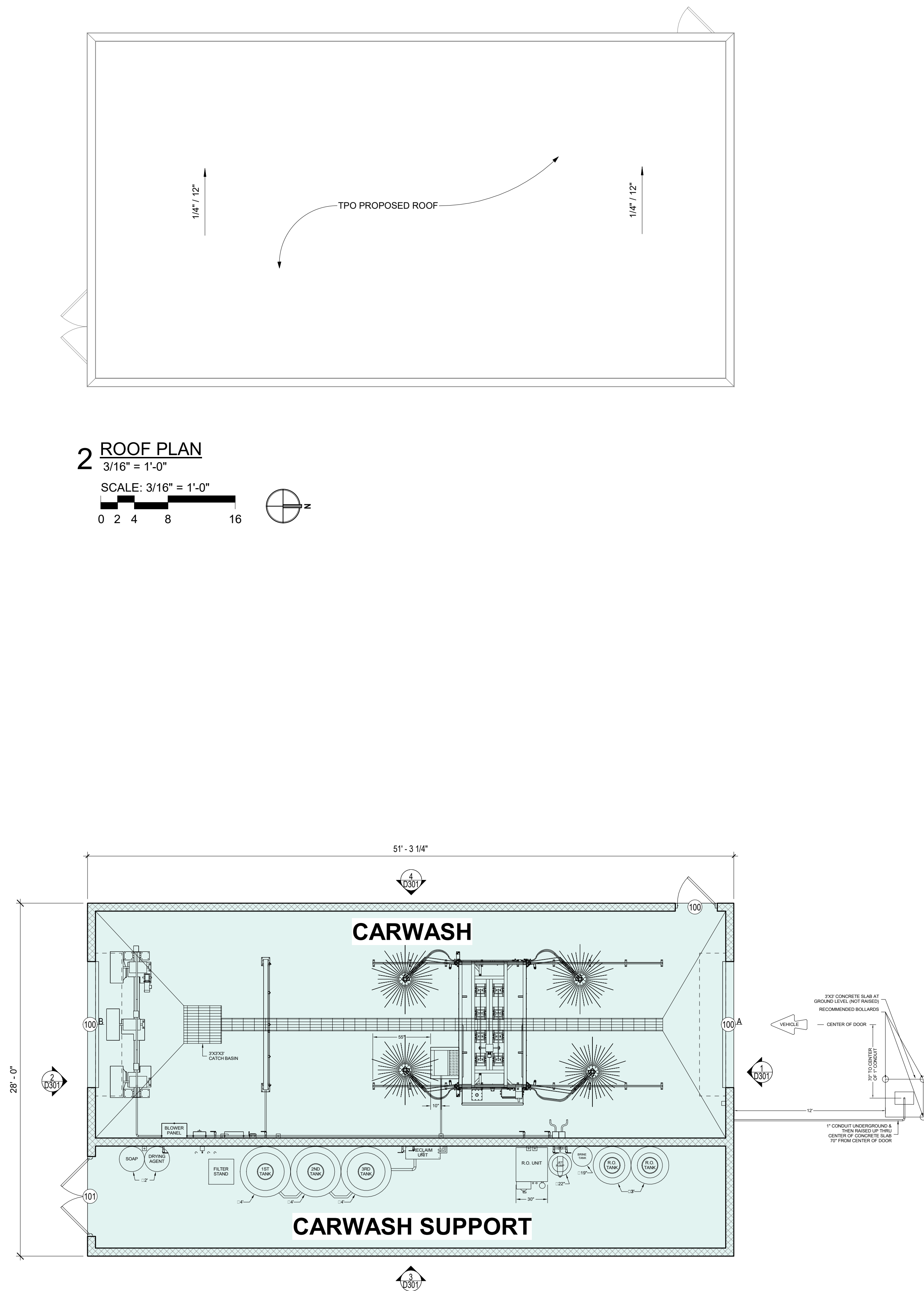


SHEET NAME

PROPOSED CAR WASH PLAN

SHEET NUMBER

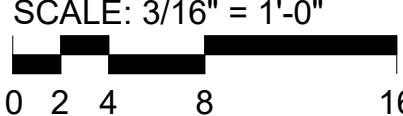
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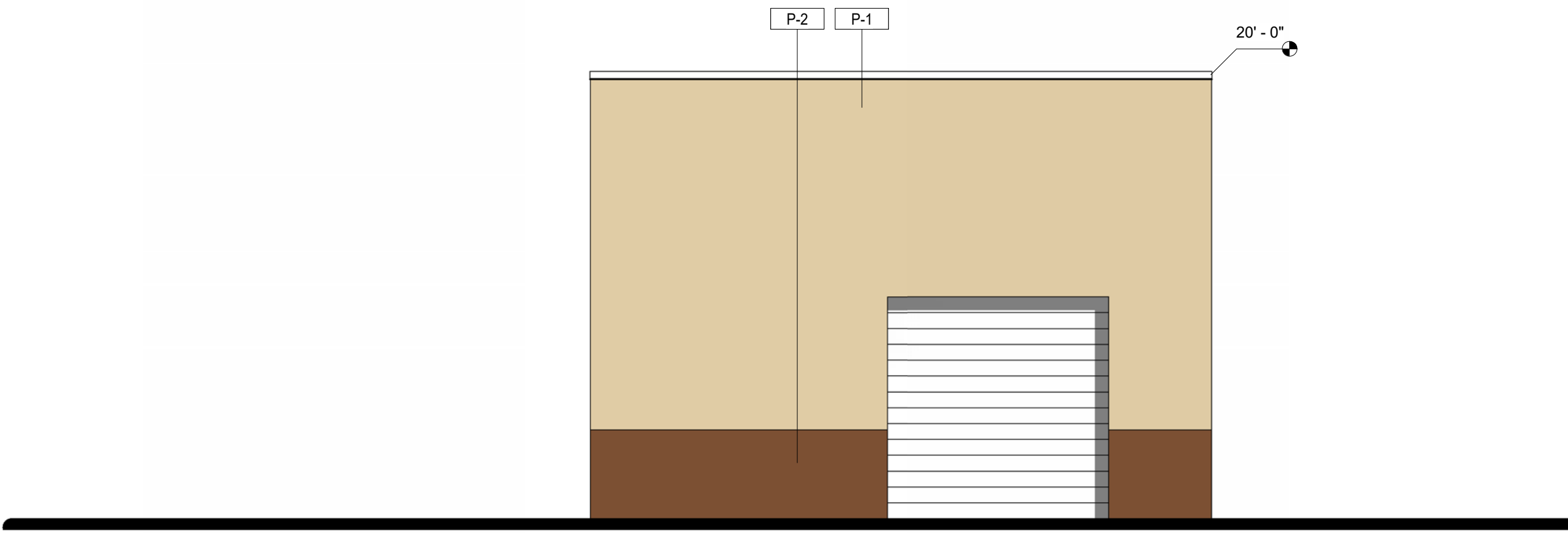


1 PROPOSED CAR WASH PLAN

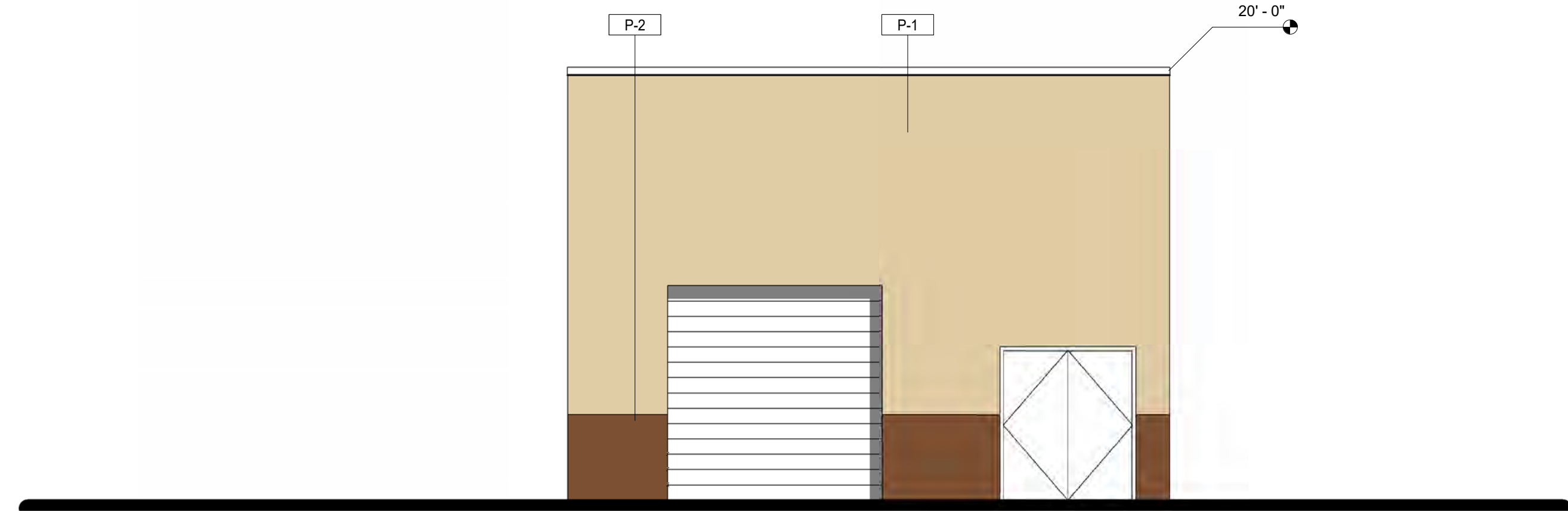
3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

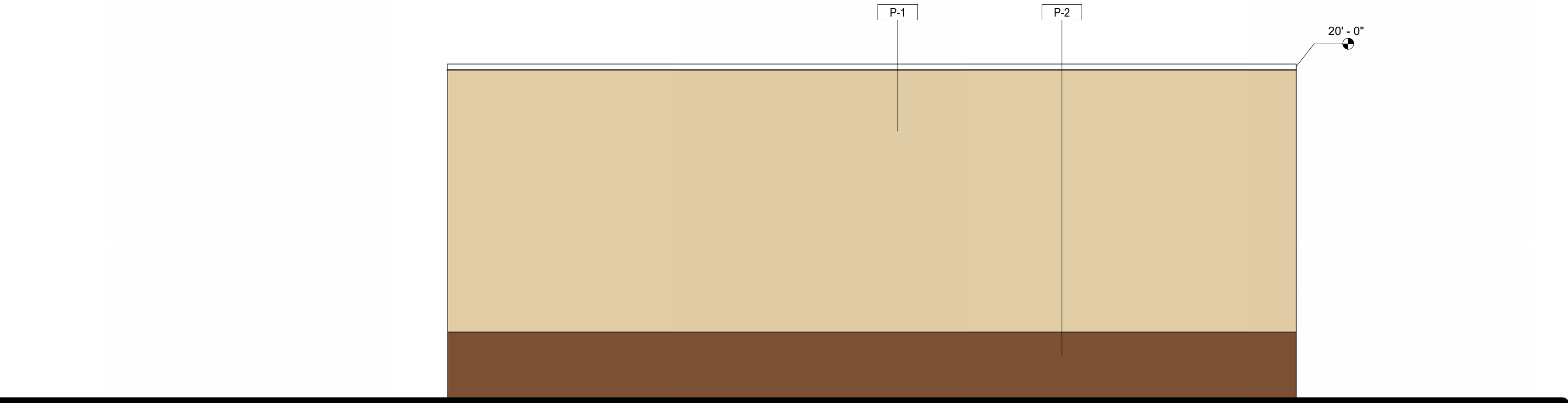




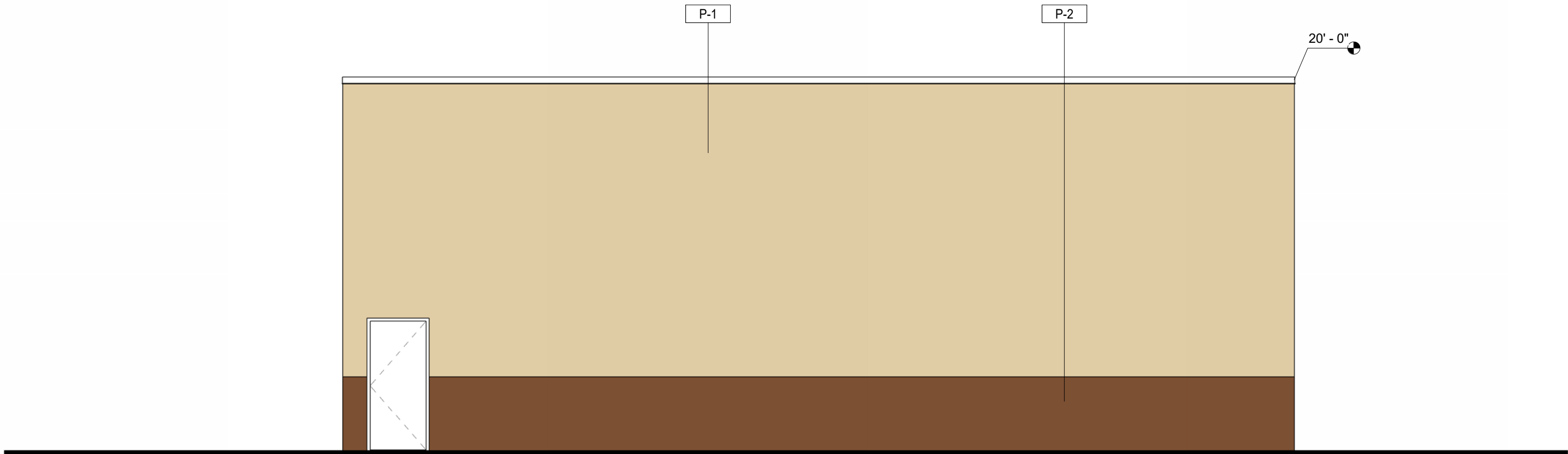
1 PROPOSED BUILDING ELEVATIONS - WEST
3/16" = 1'-0"



2 PROPOSED BUILDING ELEVATIONS - SOUTH
3/16" = 1'-0"



3 PROPOSED BUILDING ELEVATIONS - EAST
3/16" = 1'-0"



4 PROPOSED BUILDING ELEVATIONS - NORTH
3/16" = 1'-0"

EXTERIOR FINISHES

P-1

P-2

SHERWIN WILLIAMS #9111
"ANTLER VELVET"

SHERWIN WILLIAMS
#6104 "KAFFEE"

TO MATCH HYUNDAI
FINISH STANDARDS

REFERENCE CIVIL DRAWINGS, ALL PROPOSED FINISHED FLOOR
HEIGHTS SHOWN ARE AT 13'-6"

CONSULTANTS
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P: 925-933-2583

PROJECT NAME

**VALLEJO AUTO
COMPLEX**

PROJECT DESCRIPTION

NEW AUTO COMPLEX

PROJECT ADDRESS

**500 REDWOOD ST.
VALLEJO, CA 94590**

OWNER INFORMATION

Wise Auto Group
Phone: 916-580-8222
jreavis@wiseautogroup.com



GOREE PROJECT NUMBER

A22006

STAMP / SIGNATURE



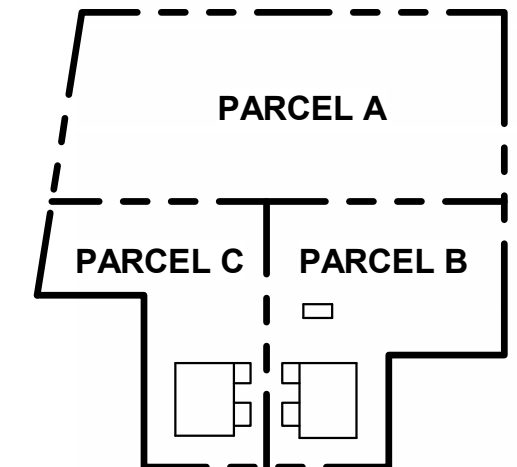
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024	1	DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN



SHEET NAME

**PROPOSED CAR WASH
ELEVATIONS**

SHEET NUMBER

D301

CONSULTANTS

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A22006

STAMP / SIGNATURE



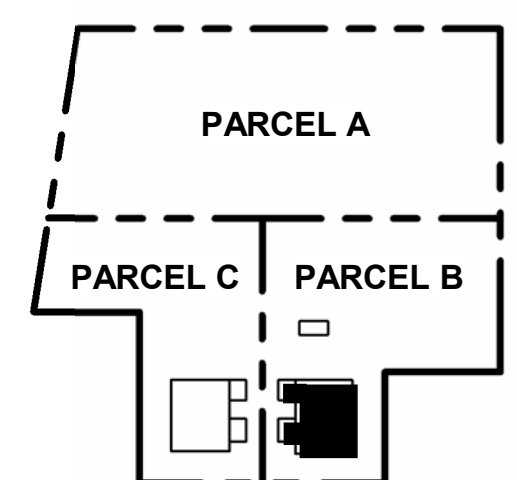
ISSUE DATE

05/23/2024

ISSUE HISTORY

DATE:	MARK:	DESCRIPTION:
05/23/2024		DEVELOPMENT RESUBMITTAL
06/23/2024		

KEY PLAN

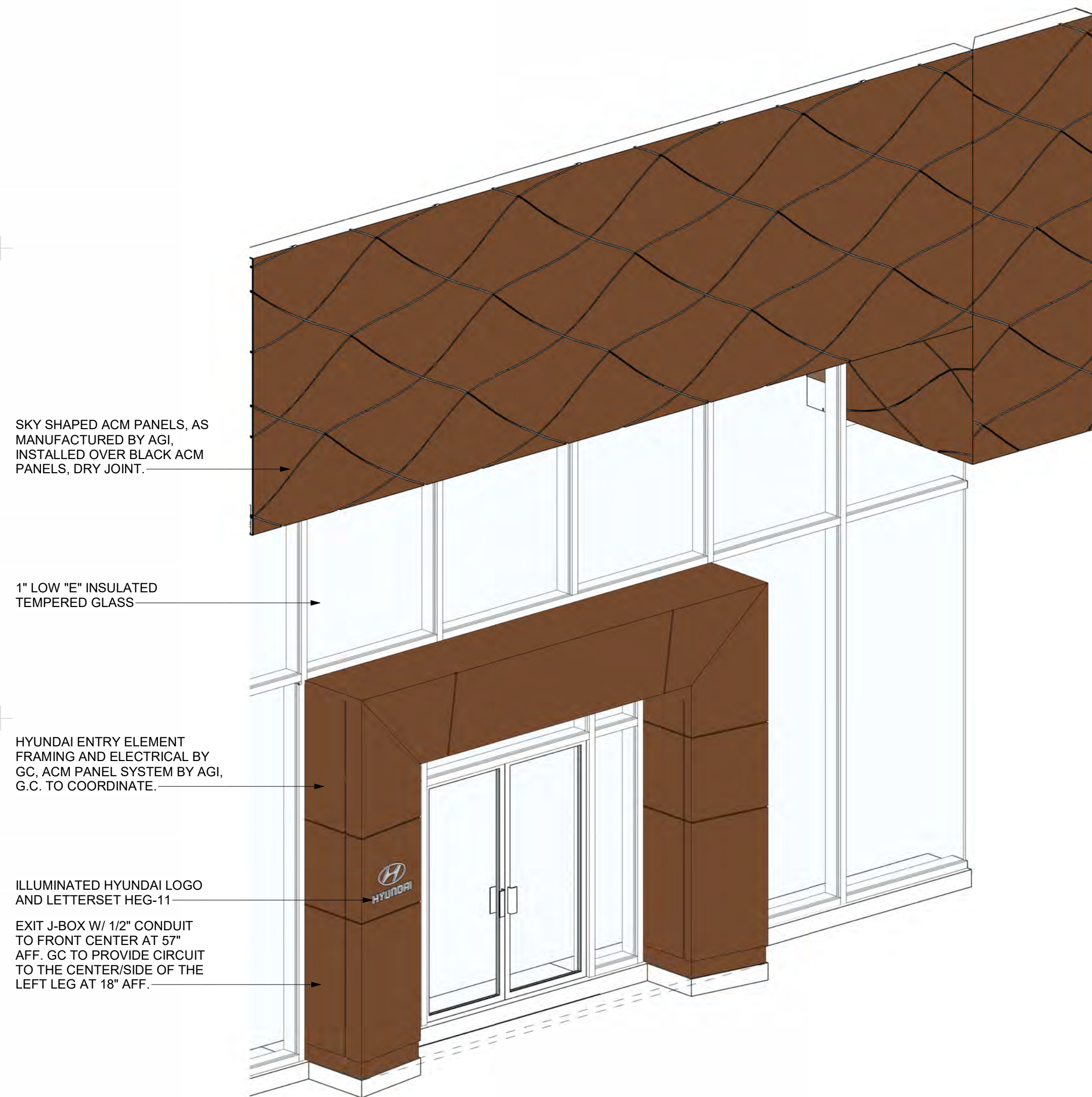


SHEET NAME

**ENTRY ELEMENT & INCLINED
COLUMNS**

SHEET NUMBER

D312



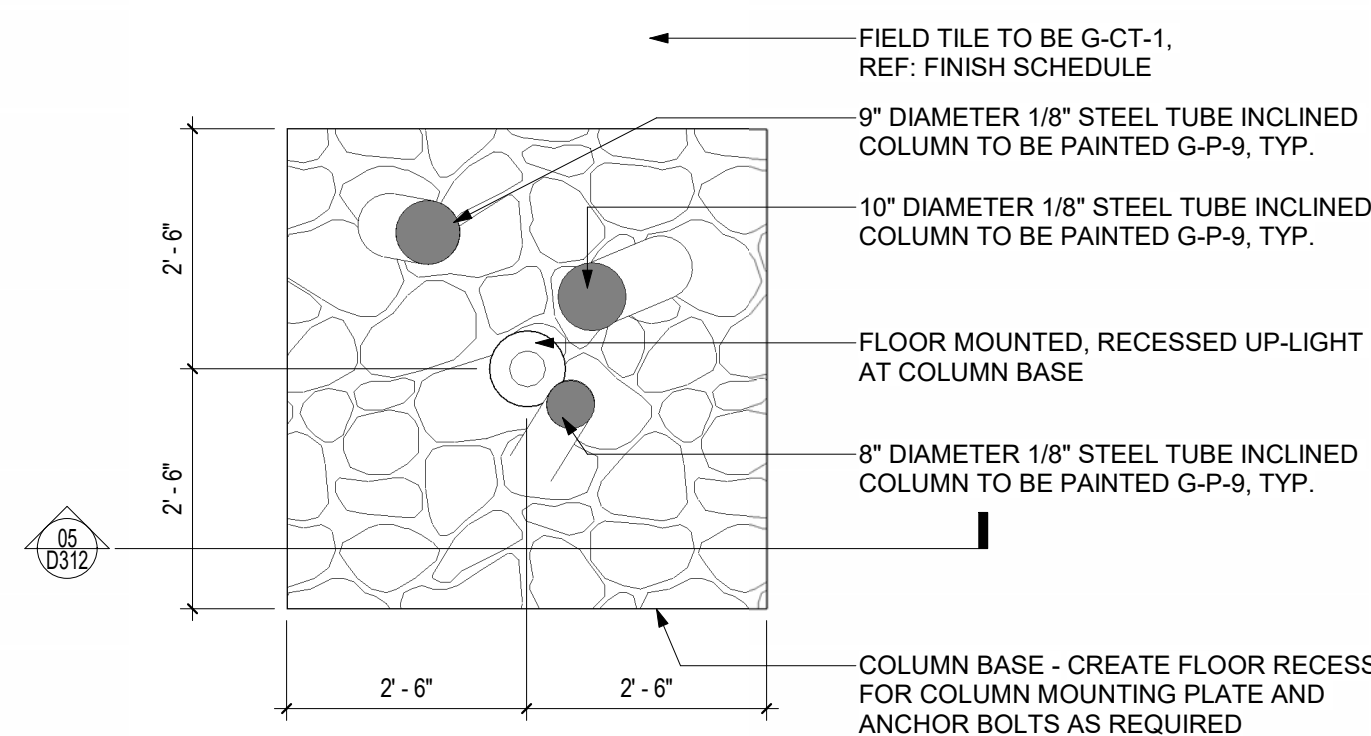
SKY SHAPED ACM PANELS, AS
MANUFACTURED BY AGI,
INSTALLED OVER BLACK ACM
PANELS, DRY JOINT.

1" LOW "E" INSULATED
TEMPERED GLASS

HYUNDAI ENTRY ELEMENT
FRAMING AND ELECTRICAL BY
G.C. ACM PANEL SYSTEM BY AGI,
G.C. TO COORDINATE.

ILLUMINATED HYUNDAI LOGO
AND LETTERSET HEG-11
EXIT J-BOX W/ 1/2" CONDUIT
TO FRONT CENTER AT 57"
AFF. G.C. TO PROVIDE CIRCUIT
TO THE CENTER/SIDE OF THE
LEFT LEG AT 18" AFF.

09 ENTRY ELEMENT - 3D



FIELD TILE TO BE G-CT-1,
REF. FINISH SCHEDULE

9" DIAMETER 1/8" STEEL TUBE INCLINED
COLUMN TO BE PAINTED G-P-9, TYP.

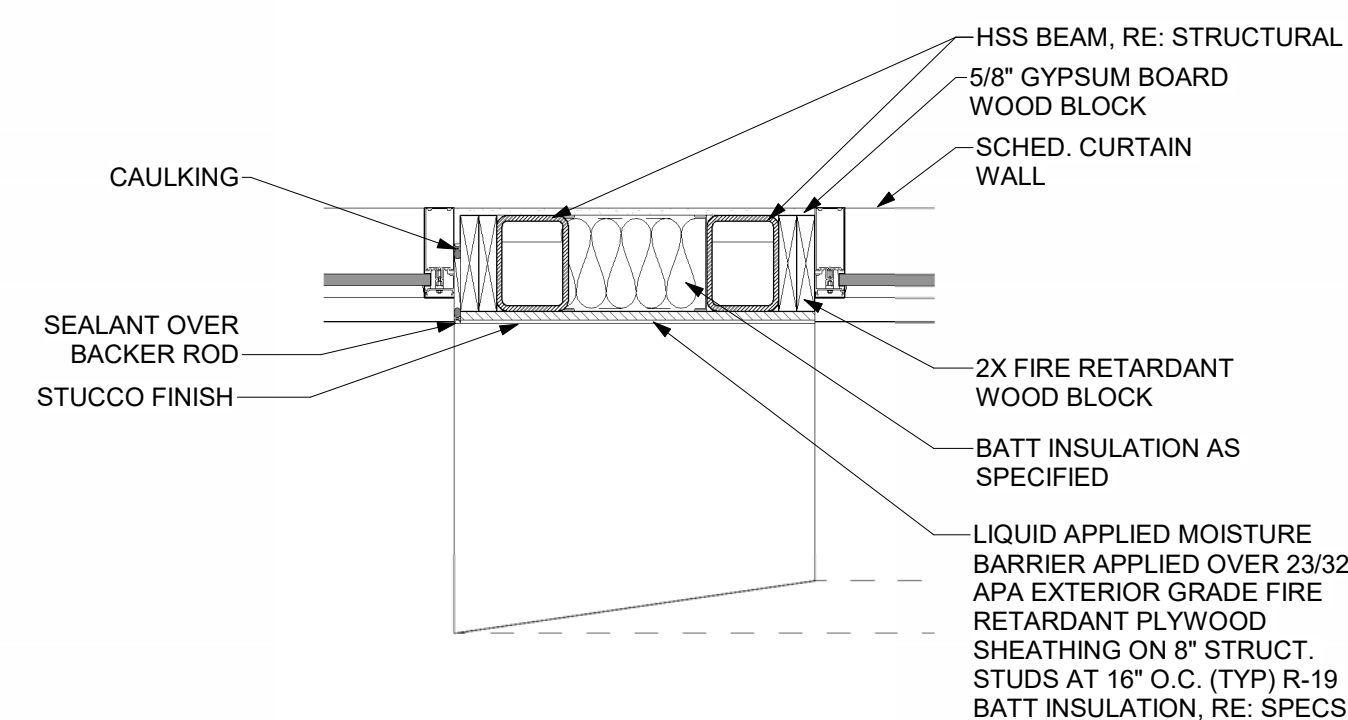
10" DIAMETER 1/8" STEEL TUBE INCLINED
COLUMN TO BE PAINTED G-P-9, TYP.

FLOOR MOUNTED, RECESSED UP-LIGHT
AT COLUMN BASE

8" DIAMETER 1/8" STEEL TUBE INCLINED
COLUMN TO BE PAINTED G-P-9, TYP.

COLUMN BASE - CREATE FLOOR RECESS
FOR COLUMN MOUNTING PLATE AND
ANCHOR BOLTS AS REQUIRED

06 NOTED PLAN - FIRST FLOOR - Callout 2
1/2" = 1'-0"



HSS BEAM, RE: STRUCTURAL

5/8" GYPSUM BOARD

WOOD BLOCK

-SCHED. CURTAIN
WALL

2X FIRE RETARDANT
WOOD BLOCK

BATT INSULATION AS
SPECIFIED

LIQUID APPLIED MOISTURE
BARRIER APPLIED OVER 23/32"

APA EXTERIOR GRADE FIRE
RETARDANT PLYWOOD

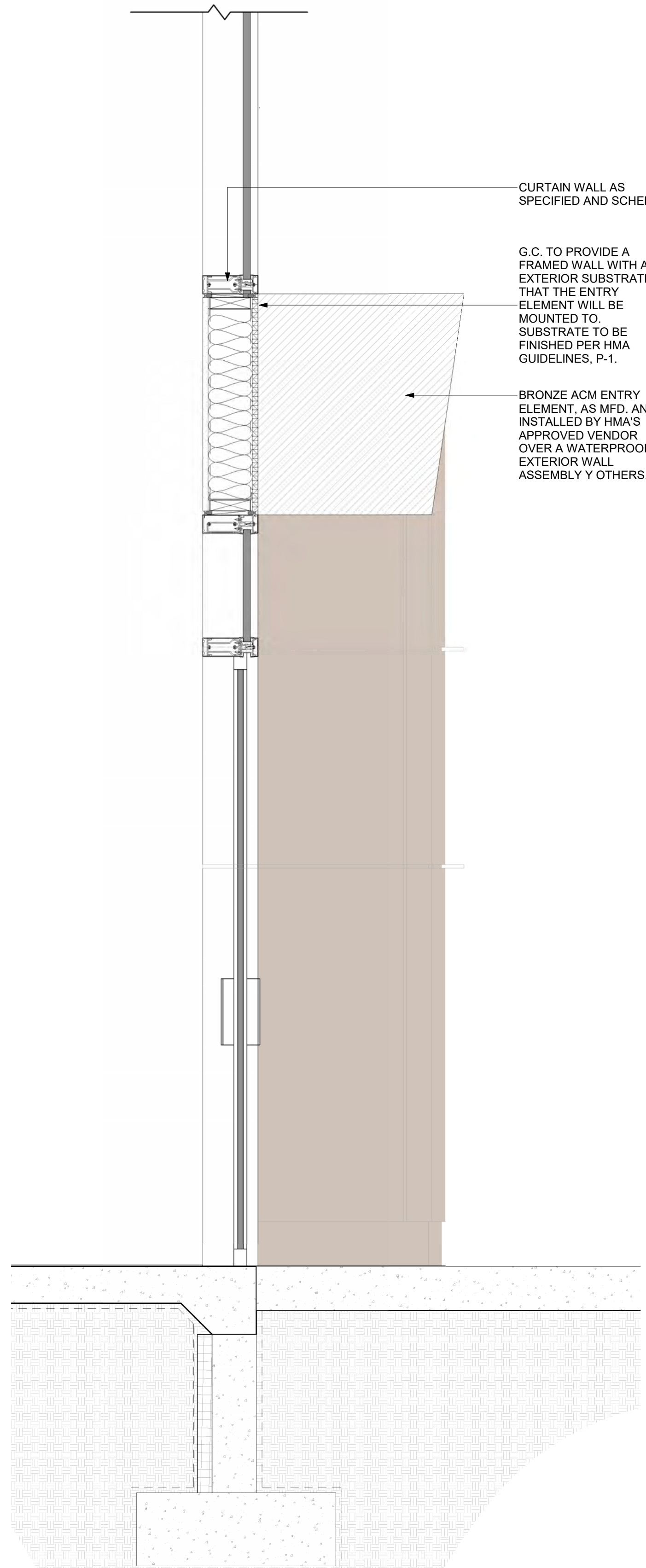
SHEATHING ON 8" STRUCT.

STUDS AT 16" O.C. (TYP) R-19

BATT INSULATION, RE: SPECS

04 NOTED PLAN - FIRST FLOOR - Callout 1 - Callout 1
3/4" = 1'-0"

03 HYUNDAI ENTRY ELEMENT - SECTION @ DOOR
1" = 1'-0"

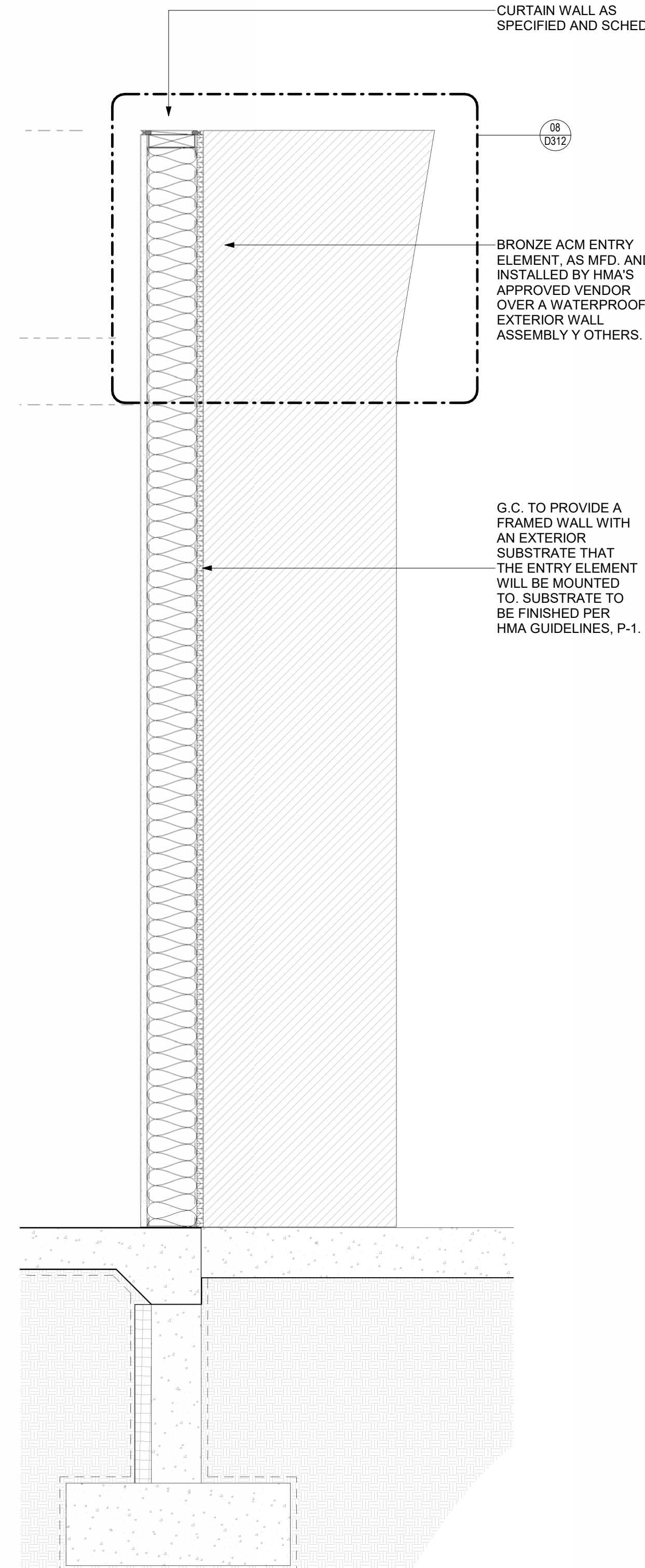


CURTAIN WALL AS
SPECIFIED AND SCHED.

G.C. TO PROVIDE A
FRAMED WALL WITH AN
EXTERIOR SUBSTRATE
THAT THE ENTRY
ELEMENT WILL BE
MOUNTED TO.
SUBSTRATE TO BE
FINISHED PER HMA
GUIDELINES, P-1.

BRONZE ACM ENTRY
ELEMENT, AS MFD. AND
INSTALLED BY HMA'S
APPROVED VENDOR
OVER A WATERPROOF
EXTERIOR WALL
ASSEMBLY Y OTHERS.

02 ENTRY ELEMENT - SECTION AT ACM
1" = 1'-0"

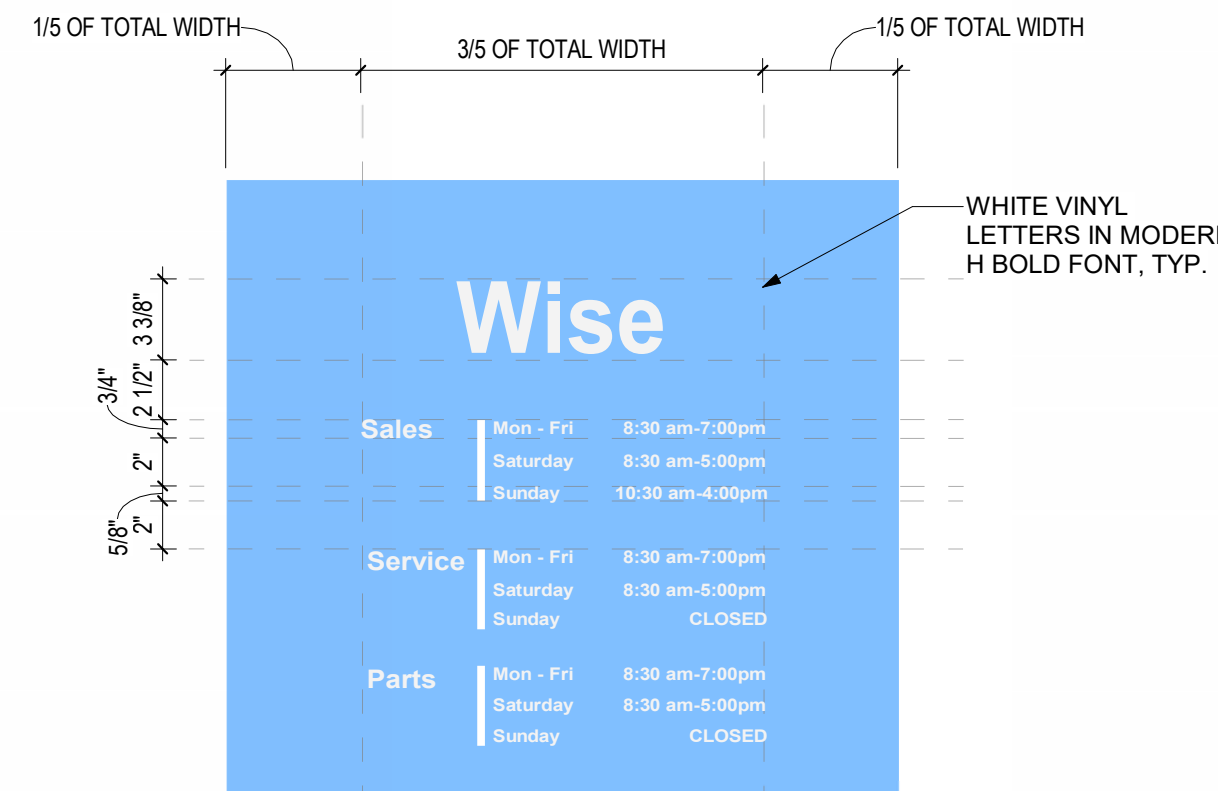


CURTAIN WALL AS
SPECIFIED AND SCHED.

BRONZE ACM ENTRY
ELEMENT, AS MFD. AND
INSTALLED BY HMA'S
APPROVED VENDOR
OVER A WATERPROOF
EXTERIOR WALL
ASSEMBLY Y OTHERS.

G.C. TO PROVIDE A
FRAMED WALL WITH
AN EXTERIOR
SUBSTRATE THAT
THE ENTRY ELEMENT
WILL BE MOUNTED
TO. SUBSTRATE TO
BE FINISHED PER
HMA GUIDELINES, P-1.

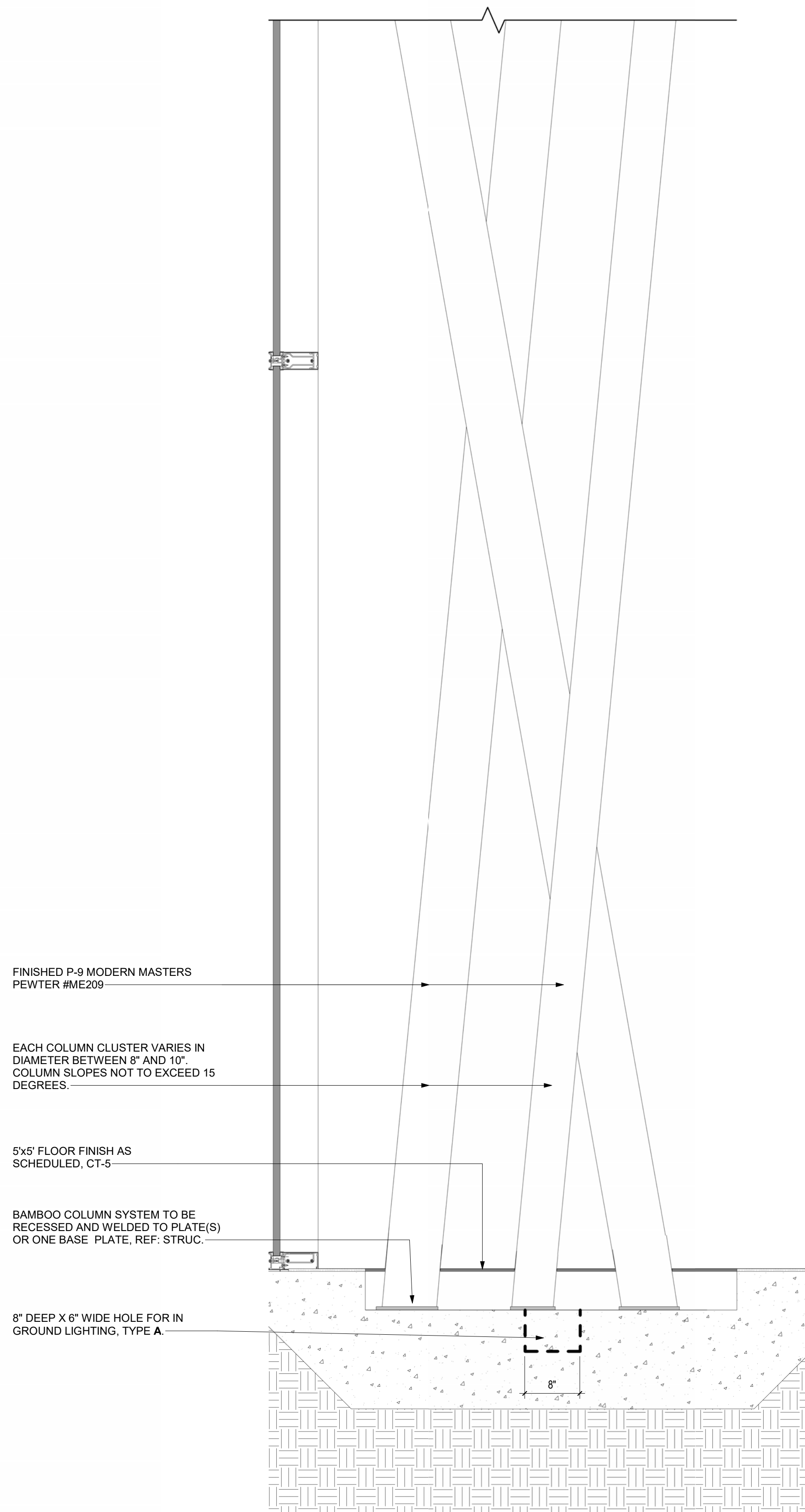
07 DAYS AND HOURS OF OPERATION SIGN
1 1/2" = 1'-0"



WHITE VINYL
LETTERS IN MODERN
H BOLD FONT, TYP.

NOTE: PLACE STORE HOUR INFORMATION
PLACKARD AT THE SERVICE DRIVE ENTRANCE.

05 INCLINED COLUMNS - SECTION
1" = 1'-0"



FINISHED P-9 MODERN MASTERS
PEWTER #ME209

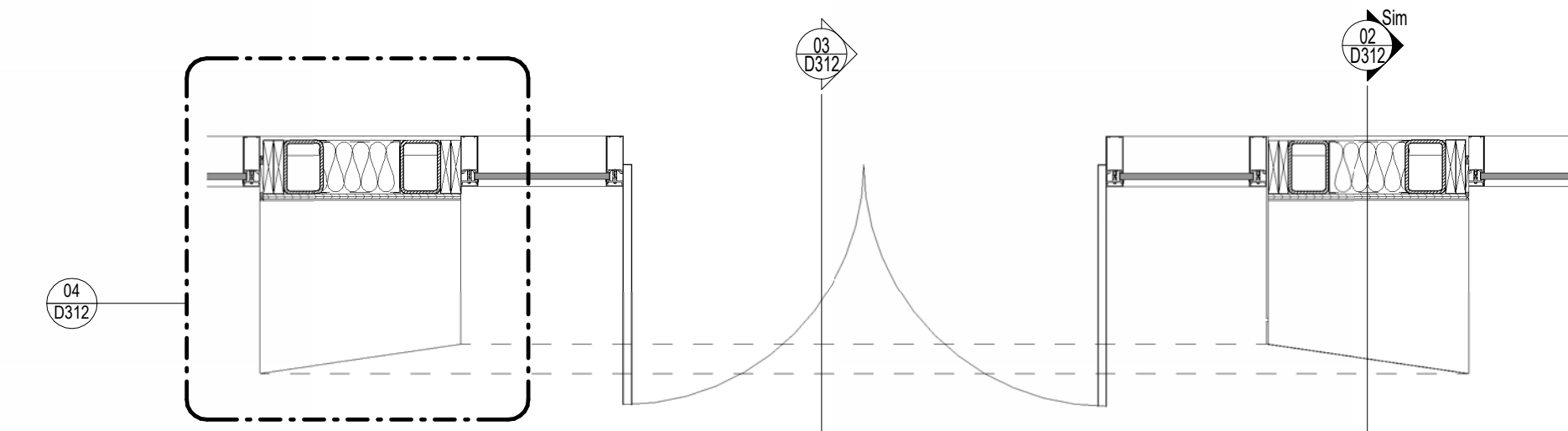
EACH COLUMN CLUSTER VARIES IN
DIAMETER BETWEEN 8" AND 10"
COLUMN SLOPES NOT TO EXCEED 15
DEGREES.

5'x5' FLOOR FINISH AS
SCHEDULED, CT-5

BAMBOO COLUMN SYSTEM TO BE
RECESSED AND WELDED TO PLATE(S)
OR ONE BASE PLATE, REF: STRUC.

8" DEEP X 6" WIDE HOLE FOR IN
GROUND LIGHTING, TYPE A

01 NOTED PLAN - FIRST FLOOR - Callout 1
1/2" = 1'-0"



Attachment 2 - Images

Figure 1 – Vicinity Map



Figure 2 – Proposed Site Plan



Attachment 2 - Images

Figure 3 – Proposed Rendering



Figure 4 – Material Sample Board

